

REVISIONS/DATES		
NO.	DATE	DESCRIPTION

OWNER AND CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING WORK AND RECORD THE PROPERTY OF THE ARCHITECT. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULES FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

**SCISSORS & SCOTCH**  
TENANT FINISH REMODEL & EXPANSION

2835 S 170TH PLAZA  
SUITE 212  
OMAHA, NEBRASKA

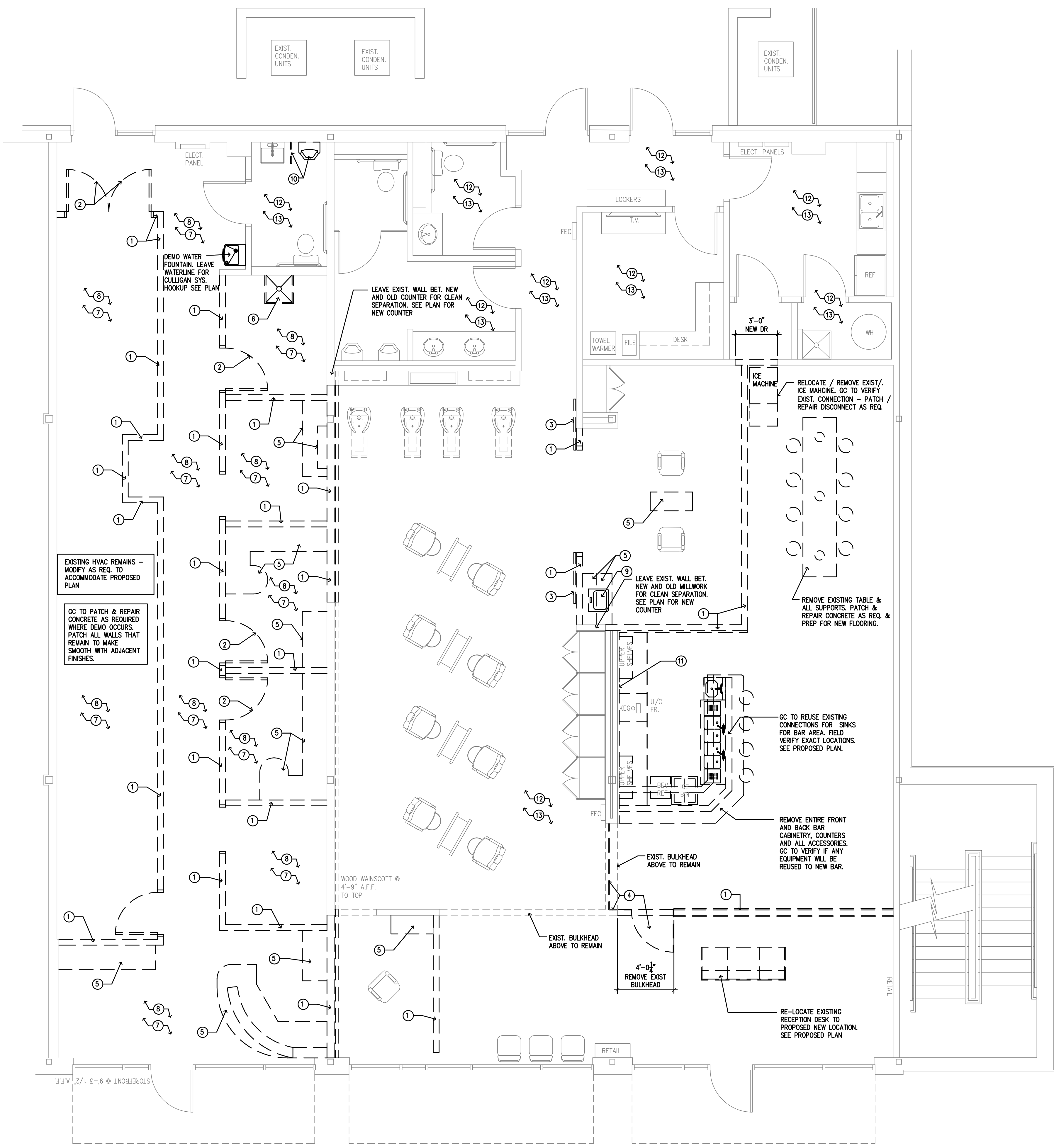
CREATE + BUILD + ENHANCE

**GRID**  
**ARCHITECTURE, LLC**

T. (402) 980-6625  
F. (866) 443-7821

PRELIMINARY  
NOT FOR CONSTRUCTION

**D1.1**  
DEMO PLAN & NOTES



- CODED DEMO NOTES:** PATCH & REPAIR ALL EXISTING WALLS AS REQ.
- 1 REMOVE EXISTING WALLS w/GYP, BD, FINISHES & ALL ACCESSORIES
  - 2 REMOVE EXISTING DOOR, DOOR FRAMES, DOOR STOPS, CLOSERS, HARDWARE, ETC.
  - 3 REMOVE EXISTING BARN DOOR, DOOR SLIDER, HARDWARE, ETC.
  - 4 REMOVE EXISTING FRAMELESS GLASS DOOR AND GLASS SYSTEM. SEE PROPOSED PLAN FOR NEW FRAMELESS DOOR CONFIGURATION.
  - 5 REMOVE EXISTING COUNTER, MILLWORK & ALL ACCESSORIES.
  - 6 REMOVE MOPSINK & ACCESSORIES. SUBCONTRACTOR TO CUT & CAP ALL UNUSED CONDUIT AT FIN. FLR LEVEL FILLING W/INSULATION & PATCHING AS REQUIRED.
  - 7 EXISTING FLOORING & BASE TO BE REMOVED AND PREPPED FOR NEW FLOORING. . SEE PROPOSED PLANS.
  - 8 REMOVE EXISTING CEILING TILES, CEILING GRID AND ALL ACCESSORIES
  - 9 REMOVE EXISTING SINK & ACCESSORIES. SUB-CONTRACTOR TO ROTATE PLUMBING CONNECTION / ROUGH-OUT TO ACCOMMODATE PROPOSED SINK IN NEW CABINETRY. SEE PROPOSED PLANS.
  - 10 REMOVE EXISTING URINAL & URINAL SCREEN & ACCESSORIES. SUBCONTRACTOR TO CUT & CAP ALL UNUSED CONDUIT AT FIN. FLR LEVEL FILLING W/INSULATION & PATCHING AS REQUIRED.
  - 11 REMOVE EXISTING STONE FINISH ON WALL. SEE PROPOSED PLAN & SCHEDULES FOR NEW FINISH
  - 12 EXISTING FLOORING TO REMAIN.
  - 13 EXISTING CEILING SYSTEM TO REMAIN

- GENERAL DEMOLITION NOTES:**
1. SUBCONTRACTOR SHALL CUT AND CAP ALL UNUSED EXISTING FLOOR CONDUIT AT FINISHED FLOOR LEVEL, FILLING WITH INSULATION AND PATCHING WITH CONCRETE. VERIFY ALL LOCATIONS
  2. PATCH ALL EXISTING WALLS TO REMAIN WHERE ADJACENT WALLS HAVE BEEN REMOVED. MATCH EXISTING MATERIALS, TEXTURE AND FINISH WHERE NOTED
  3. REMOVE ALL DEMOLISHED MATERIALS FROM THE SITE AS NECESSARY. HOWEVER, MATERIAL REMOVAL MAY BE REQUIRED MORE FREQUENTLY SO SCRAP MATERIALS DO NOT HINDER THE PROGRESS OF OTHER TRADES.
  4. FACE OF NEWLY EXTENDED WALLS SHALL BE FLUSH WITH THE FACE OF THE EXISTING WALL
  5. ALL SUBCONTRACTORS TO USE CAUTION DURING DEMOLITION. DO NOT DAMAGE SALVAGEABLE MATERIALS OR FINISHES TO REMAIN. THE COST OF ANY ITEMS DAMAGED WILL BE DEDUCTED FROM THE CONTRACT AMOUNT.
  6. SUBCONTRACTOR SHALL VISIT THE SITE BEFORE SUBMITTING A BID. VERIFY THAT ALL SALVAGEABLE MATERIALS ARE IN GOOD WORKING CONDITION. SUBCONTRACTORS ARE RESPONSIBLE FOR REPLACING ANY INADEQUATE MATERIAL WITH NEW @ SUBCONTRACTOR'S SOLE COST & EXPENSE IF NOT BROUGHT TO TENANT'S ATTENTION PRIOR TO BID SUBMITTAL.
  7. ALL EXISTING WALLS TO REMAIN SHALL BE PATCHED/SKIM COATED AS REQUIRED TO MAKE SMOOTH W/NEW ADJACENT WALLS.
  8. ALL INTERIOR SURFACES DAMAGED OR LEFT UNFINISHED BY DEMOLITION SHALL BE PATCHED TO MATCH EXISTING ADJACENT SURFACES IN MATERIAL, COLOR & TEXTURE.
  9. CUT & PATCH CONCRETE AS REQUIRED -COORDINATE LOCATION OF ALL PROPOSED PLUMBING/HVAC AND OTHER CUTS OR PATCHING REQUIRED FOR DEMO AND PROPOSED ITEMS.
  10. THE CONTRACTOR SHALL COORDINATE WITH THE LANDLORD/OWNER ALL PROVISIONS REQUIRED FOR DUST CONTROL, DEBRIS REMOVAL SHUT-OFFS, ETC.
  11. CONTRACTOR SHALL USE OWNERS ACCESS ROUTE FOR WORKMEN, MATERIAL SUPPLY AND REMOVAL TO CONSTRUCTION DEBRIS CONTAINER. INTERIOR FINISHES SHALL BE PROTECTED AT ALL TIMES.
  12. ANY WORK THAT AFFECTS ADJACENT AREAS OF THE SPACE WILL NEED TO BE COORDINATED WITH OWNER.
  13. REMOVE EXISTING INTERIOR DOORS, DOOR FRAMES, DOOR STOPS, CLOSERS, HARDWARE, ETC. WHERE NOTED
  14. ALL WALLS DESIGNATED FOR DEMOLITION TO BE REMOVED COMPLETELY INCLUDING ALL MATERIALS ABOVE CEILING HEIGHT (IE METAL STUD KICKERS, SUPPORTS, FASTENERS, BRACING, ETC.) ALL FASTENERS TO THE FLOOR SHALL BE REMOVED BELOW, OR FLUSH WITH, THE CONCRETE FLOOR.
  15. FRAMING SUBCONTRACTORS SHALL PROVIDE WOOD BLOCKING IN WALLS FOR ALL WALL MOUNTED FIXTURES, SIGNS, EQUIPMENT, CABINETS, COAT RACKS, DOOR BUMPERS STOPS, TOILET ACCESSORIES, ETC. AS NEEDED.
  16. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS. CONTACT ARCHITECT WITH ANY DISCREPANCIES OR CONFLICTS THAT OCCUR ON THE PLAN WITH FIELD CONDITIONS.

**PROPOSED DEMO PLAN**      NORTH

1/4" = 1'-0"

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OWNER AND CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING WORK AND SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT AREAS AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT AREAS AND STRUCTURES.

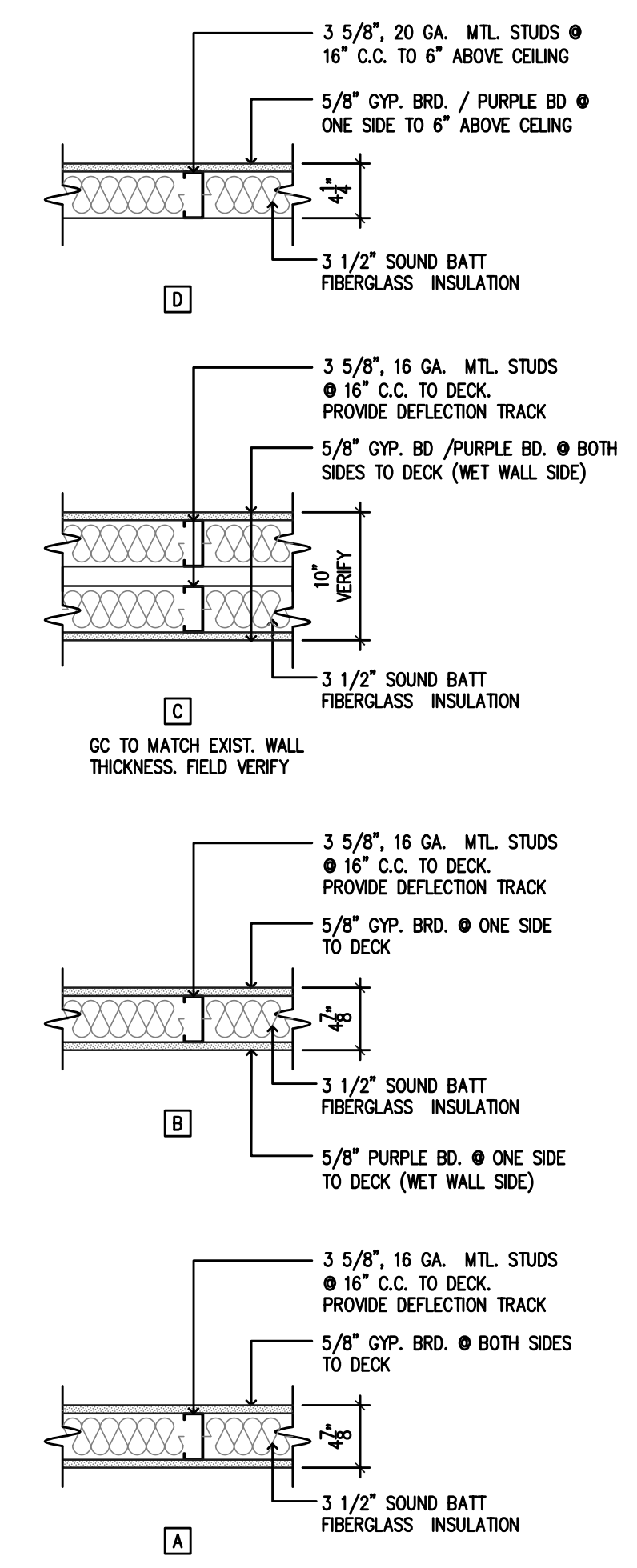
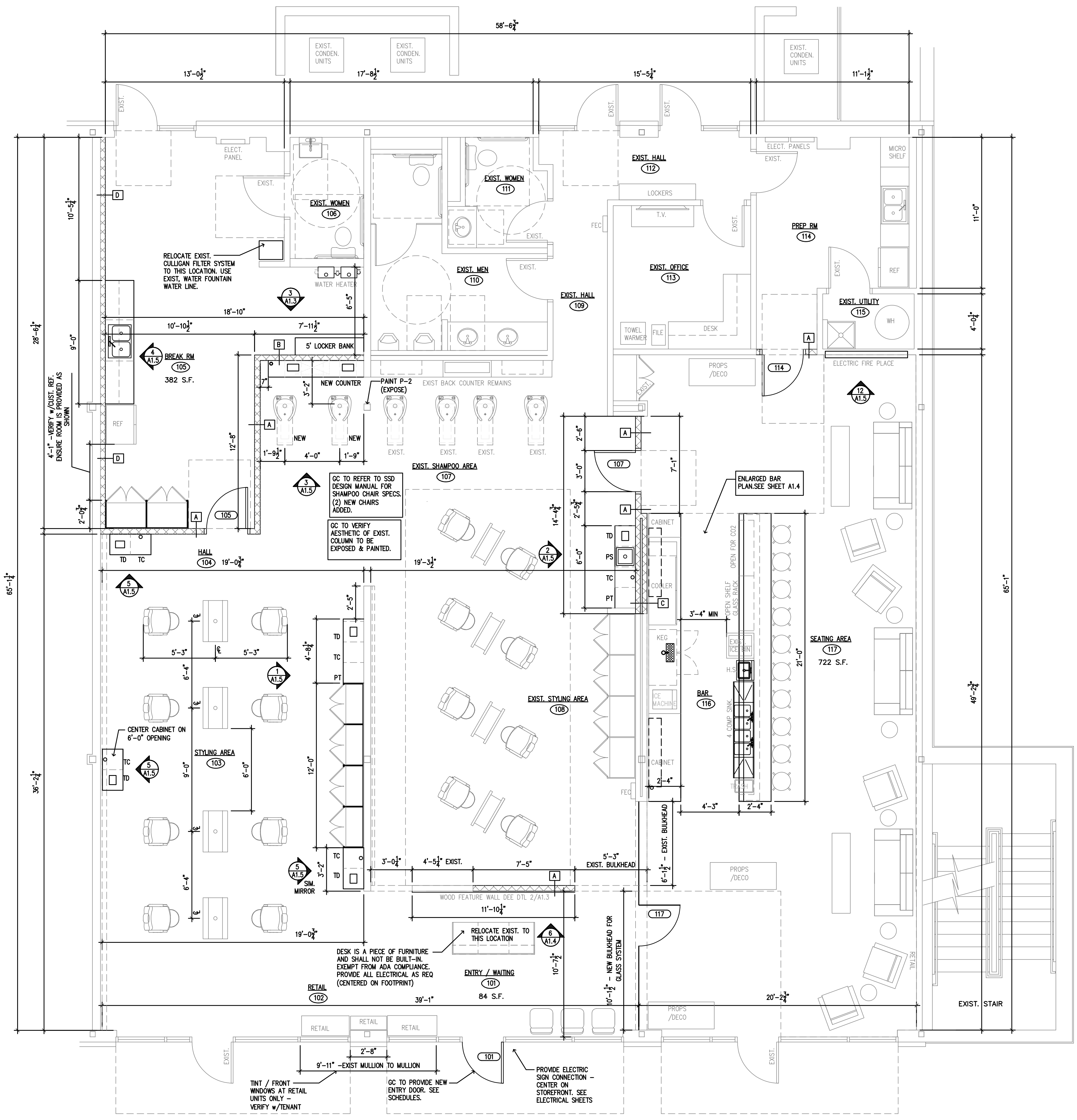
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**TENANT FINISH REMODEL & EXPANSION**  
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PRELIMINARY  
 NOT FOR CONSTRUCTION

**A1.1**  
 PROPOSED FLOOR PLAN



PROPOSED FLOOR PLAN NORTH  
 1/4" = 1'-0"

ROOM FINISH SCHEDULE

GC TO VERIFY ALL FINISHES W/TENANT (SEE PLAN FOR ADDITIONAL INFORMATION)

Table with columns: ROOM #, ROOM NAME, FLOOR FINISH, BASE FINISH, WALL FINISHES (NORTH, SOUTH, EAST, WEST), CEILING FINISH, CEILING HEIGHT, NOTES. Lists finishes for rooms 101-117.

- NOTE 1: THIS AREA HAS NEW AND EXISTING WALLS. PROVIDE NEW FINISHES FOR NEW WALLS AND VERIFY EXIST. FINISHES TO REMAIN W/TENANT.
- NOTE 2: EXISTING WAINSCOTT ON NORTH OR SOUTH WALL REMAINS. PAINT AS SPECIFIED ABOVE.
- NOTE 3: GC TO VERIFY EXISTING STOREFRONT HEIGHT (± 9'-4"). PROVIDE ACT CEILING ABOVE THIS. FIELD VERIFY.
- NOTE 4: GC TO PROVIDE TRANSITION STRIPS WHERE REQUIRED FOR ALL FLOOR FINISH CHANGES. ALL TRANSITION STRIPS TO MEET ADA AND NOT CAUSE ANY TRIP HAZARD.

ALL BLOCKING USE SHALL BE FIRE TREATED BLOCKING. GC TO PROVIDE BLOCKING AS REQUIRED FOR ALL TENANT EQUIPMENT.

GC TO TAKE NECESSARY PRECAUTIONS TO MINIMIZE / ELIMINATE SCRATCHES IN CONCRETE DURING DEMO & CONSTRUCTION. GAUGES WILL NOT BE ALLOWED.

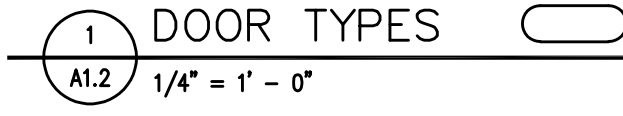
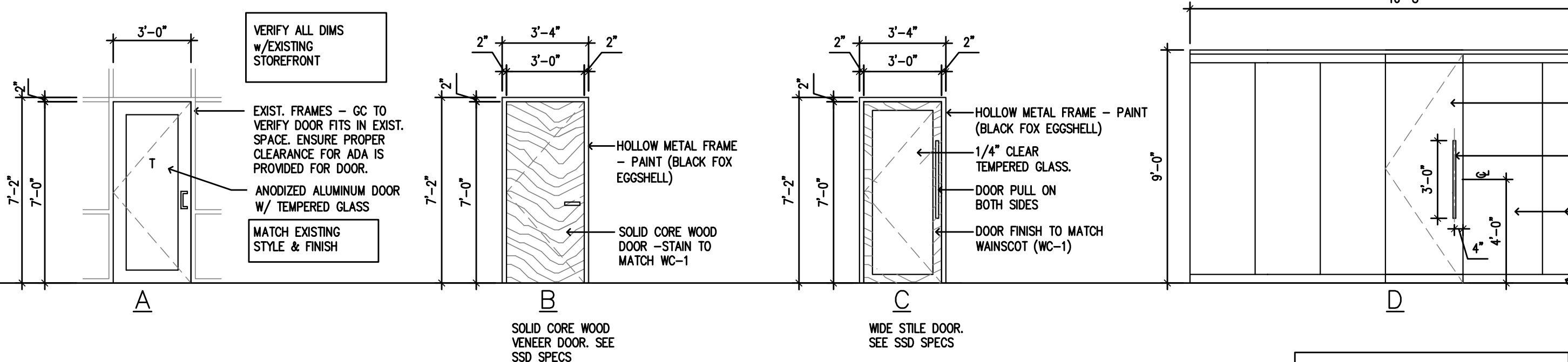
FLOOR, BASE, CEILING, MILLWORK, WALL tables. Includes material and manufacturer information for various finishes like SC-1 sealed concrete, RB1 rubber base, ACT-1 acoustic ceiling tile, etc.

- GENERAL FINISH NOTES
- ALL INTERIOR FINISHES SPECIFIED THROUGHOUT THE SPACE SHALL COMPLY WITH THE CHAPTER 8 SECTION 905.03 FOR MINIMUM FINISHES CLASSIFICATION.
  - SAMPLES OF FINISH COLOURS AND MATERIALS SPECIFIED SHALL BE SUBMITTED FOR APPROVAL TO THE TENANT PRIOR TO COMMENCEMENT OF WORK.
  - INTERIOR WALLS SHALL HAVE 1/2" WATER TIGHT FINISHES AND BUBBLE DASHES.
  - COORDINATE SURFACE OF WALLS TO RECEIVE DAMN PAINT TO BE FINISHED TO A HIGH STANDARD SO AS NOT TO REFLECT IMPERFECTIONS IN WALL CONSTRUCTION OR FINISHES.
  - ALL PAINT FINISHES AND PRIMERS MUST BE LOW OR NO VOC'S (VOLATILE ORGANIC COMPOUNDS).
  - TYPICAL FLOOR COLOURING TRANSITION IS AT CENTERLINE OF DOOR OR CENTERLINE OF OPENING UNLESS INDICATED OTHERWISE.
  - COLOR COORDINATE SHALL BE USED AT ALL LOCATIONS TO MATCH WALL PAINT OR LAMINATE. COLOR TO BE APPROVED BY TENANT.

DOOR SCHEDULE GC TO VERIFY ALL FINISHES W/TENANT

Table with columns: DOOR MARK, LOCATION, LEAF SIZE, MATERIAL, FINISH, TYPE, FRAME, HARDWARE, LOCK, RATING, NOTES. Lists door types 101, 105, 107, 114, 117.

- NOTE 1: GC TO VERIFY EXISTING HARDWARE & MODIFY AS REQ. TO PROVIDE HARDWARE SPECIFIED
- NOTE 2: DOOR STAIN TO MATCH EXISTING.
- HARDWARE SET #1: 3 EA. OFFSET PIVOTS, 1 EA. DOOR STOP, etc.
- HARDWARE SET #2: 3 EA. HINGES, (HEAVY WEIGHT) 'MOKINNEY' 14A3786, 4.5" X 4.5"
- HARDWARE SET #3: 3 EA. HINGES, 'MOKINNEY', TA2714, 4.5" X 4.5"
- HARDWARE SET #4: 2 EA. DOOR PULL, OR LAWRENCE # LP36MBL



- DOOR SCHEDULE NOTES:
- ALL DOOR HARDWARE AND ACCESSORIES SHALL COMPLY WITH THE MOST CURRENT RELEASE OF THE AMERICAN DISABILITIES ACT.
  - CHECK FLOOR PLAN FOR DOOR SWINGS.
  - MEANS OF EGRESS DOORS SHALL REMAIN READILY OPERABLE FROM THE SIDE WITH EGRESS WITHOUT THE NEED OF KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT.
  - MOUNT DOOR CLOSER ON PUSH SIDE OF DOOR.
  - TEMPLATE DOOR CLOSER TO MAX. ALLOWABLE SWING
  - PROVIDE PANIC & FIRE EXIT HARDWARE AS REQUIRED PER CODE.

- ACCESSIBILITY WORK SCOPE
- GC SHALL UPDATE WHATEVER IS POSSIBLE TO COMPLY W/ADA. MODIFY / PROVIDE PER BELOW STANDARDS WHERE POSSIBLE. PROVIDING MIN. 20% OF TOTAL COSTS FOR UPGRADE TO ADA COMPLIANCE.
- GC TO UPGRADE EXISTING RESTROOMS PER BELOW TO THE BEST ABILITY POSSIBLE.
    - A. ADA TANK TYPE WATER CLOSET. SEAT HEIGHT AT 18" A.F.F.
    - B. GRAB BARS BY AMERICAN SPECIALTIES, INC. SERIES 3800, OR APPROVED EQUAL. MOUNT AT 2'-11" A.F.F.
      - (1) 3'-0" LONG BAR AT BACK WALL - HOLD 6" FROM CORNER
      - (2) 3'-6" LONG BAR AT SIDE WALL - HOLD 12" FROM CORNER AND MOUNT @ 35" A.F.F. TO CENTERLINE
      - (3) VERTICAL GRAB BAR - MOUNT @ 39" A.F.F. AND 39" FROM BACK WALL. GRAB BAR TO BE A MINIMUM OF 18" LONG.
    - C. EXIST. SURFACE MOUNTED LAV SHALL REMAIN - PROVIDE ADA LEVER FAUCET & TRUBRO #103-EZ 'SNAP-ON' DRAIN PIPE INSULATION AT EXPOSED PLUMBING ONLY IF NOT PRESENT
    - D. MIRROR - MOUNT SO THE BOTTOM EDGE OF THE REFLECTIVE SURFACE IS 40" MAX. A.F.F. FIELD COORDINATE. ALL MIRROR SIZES SHALL BE FIELD VERIFIED.
    - E. SURFACE MOUNTED DUAL TOILET PAPER DISPENSER BY AMERICAN SPECIALTIES, INC. OR APPROVED EQUAL. MOUNT @ 2'-0" A.F.F. TO CENTERLINE AND 3'-0" TO FARTHEST EDGE FROM REAR WALL.
    - F. SANITARY NAPKIN DISPOSAL, BY AMERICAN SPECIALTIES, INC OR APPROVED EQUAL. MOUNT @ 1'-8" A.F.F. TO CENTERLINE - (IN WOMEN'S ONLY)
    - G. SURFACE MOUNTED SOAP DISPENSER. MOUNT SO BOTTOM OF PAPER SLOT IS 4'-0" A.F.F. (MAX)
    - H. SURFACE MOUNTED SOAP DISPENSER BY AMERICAN SPECIALTIES OR APPROVED EQUAL - MOUNT @ 3'-4" AFF TO BOTTOM OF DISPENSER.
  - ENSURE EXISTING ADA SIGNAGE MEETS CURRENT CODES. MOUNT SIGNAGE TO WALL ADJACENT TO LATCH SIDE OF DOOR @ 60" A.F.F. TO CENTERLINE OF SIGNAGE PER A.D.A. REQUIREMENTS

- FRAMELESS GLASS SYSTEM
- SEE SSD DESIGN MANUAL FOR RAIL SIZES, SPECS AND SAMPLE SHOP DRAWINGS.
- DESCRIPTION:
- > THIN FRAME SYSTEM
  - > FINISH: ANODIZED BLACK
  - > GLAZING TYPE: CLEAR
- MONOLITHIC VISION GLAZING 1/2" THICK FULLY TEMPERED FLOAT GLASS
- PROVIDE 1/4" GAP BETWEEN GLASS AND ADJACENT WALL. DO NOT CAULK JOINT UNLESS NOTED OTHERWISE.
- KEYED LOCK ON BAR SIDE. THUMBTURN ON SALON SIDE.

- HOLLOW METAL FRAMES:
- > 18 GA. COLD ROLLED STEEL
  - > WELDED FRAME GROUND SMOOTH
  - > 3 SILENCER HOLES PER STRIKE
  - > 2 SILENCER HOLES PER HEAD
  - > 14 GA. STRIKE REINFORCED PLATE
  - > 12 GA. CLOSER REINFORCED (PRE-PRIMED GRAY)
  - > 9 GA. UNIVERSAL HINGE TAP PLATES, PROJECTION WELDED FOR 4 1/2" TEMPLATE TYPE HINGES
  - > PAINT FRAMES PT-1 SW 7020 BLACK FOX

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SCISSORS & SCOTCH

TENANT FINISH REMODEL & EXPANSION

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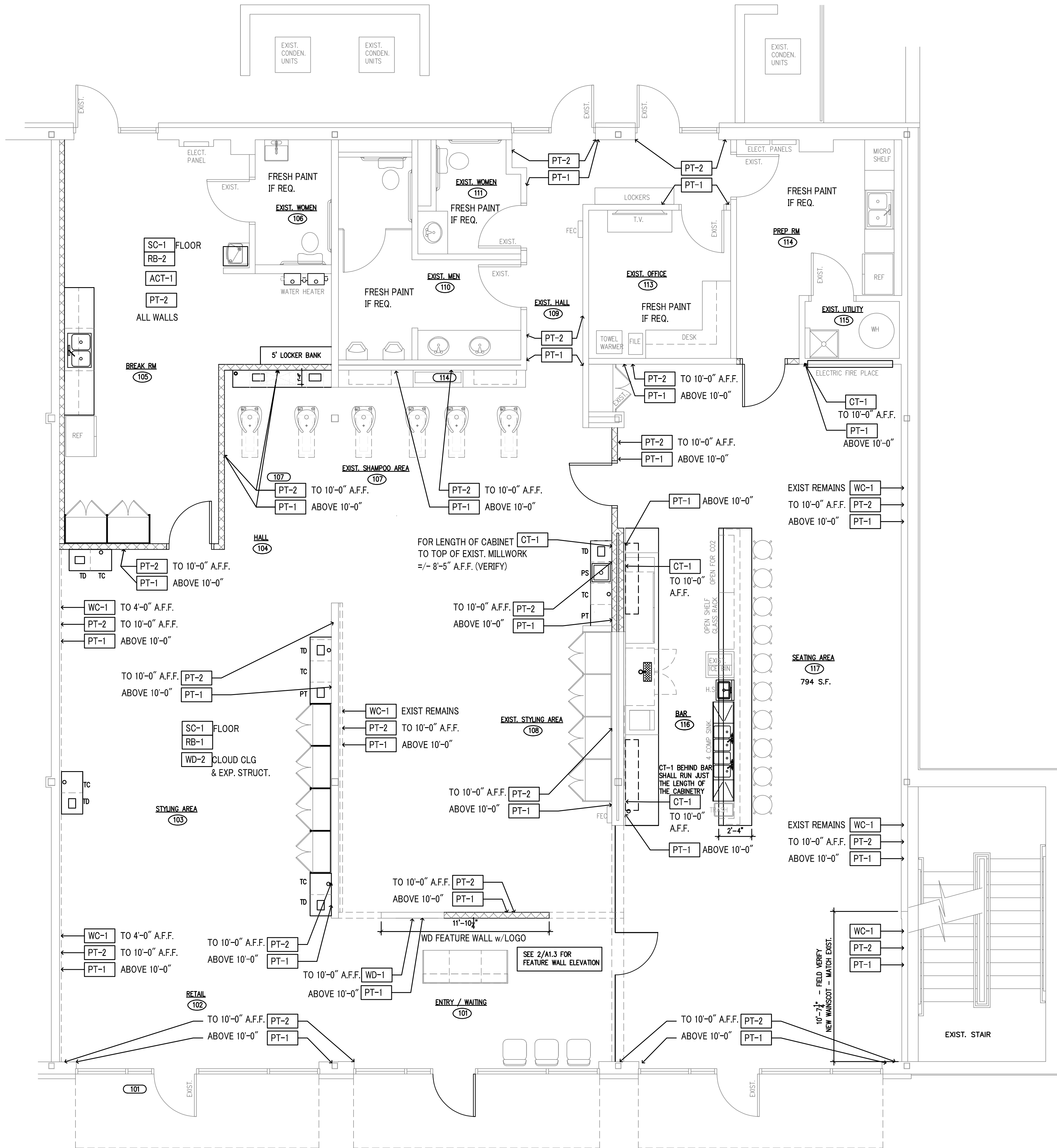
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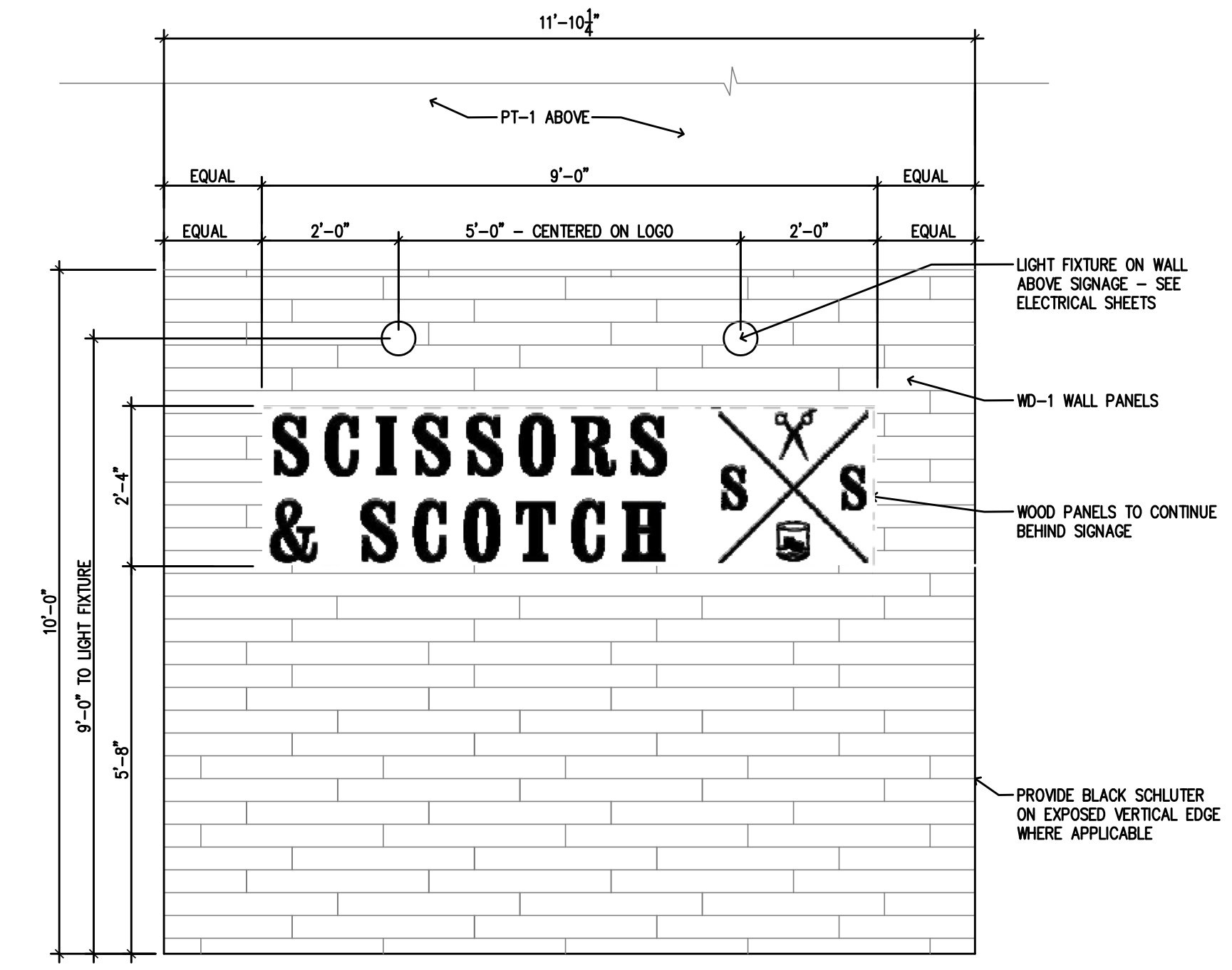
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A1.2  
SCHEDULES

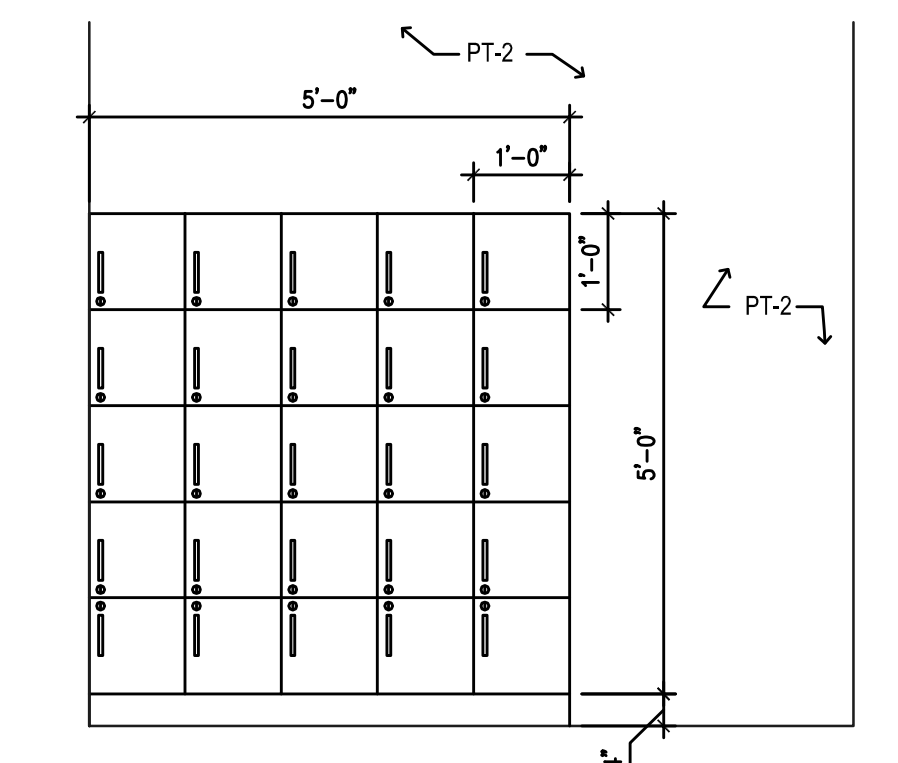




1 FINISH PLAN  
A1.3 1/4" = 1'-0"



2 WOOD FEATURE WALL ELEVATION  
A1.3 1/2" = 1'-0"



3 LOCKER ELEV. (BREAK RM 116)  
A1.3 1/2" = 1'-0"

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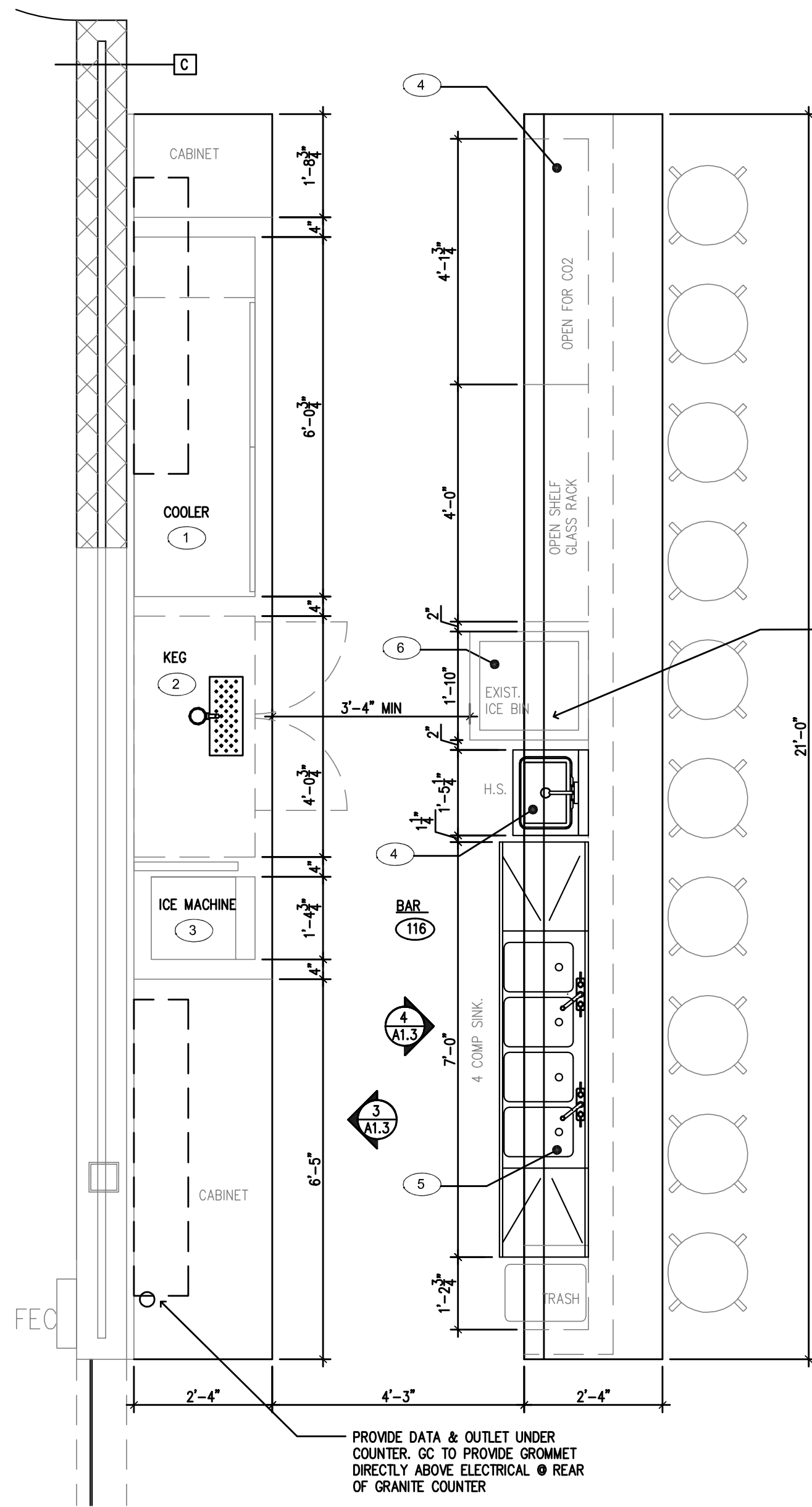
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PRELIMINARY  
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**A1.3**  
FINISH PLAN



GC TO REUSE EXISTING CONNECTIONS FOR SINKS FOR BAR AREA. FIELD VERIFY EXACT LOCATIONS.

MOUNT SODA GUN TO RIGHT OF ICE BIN.

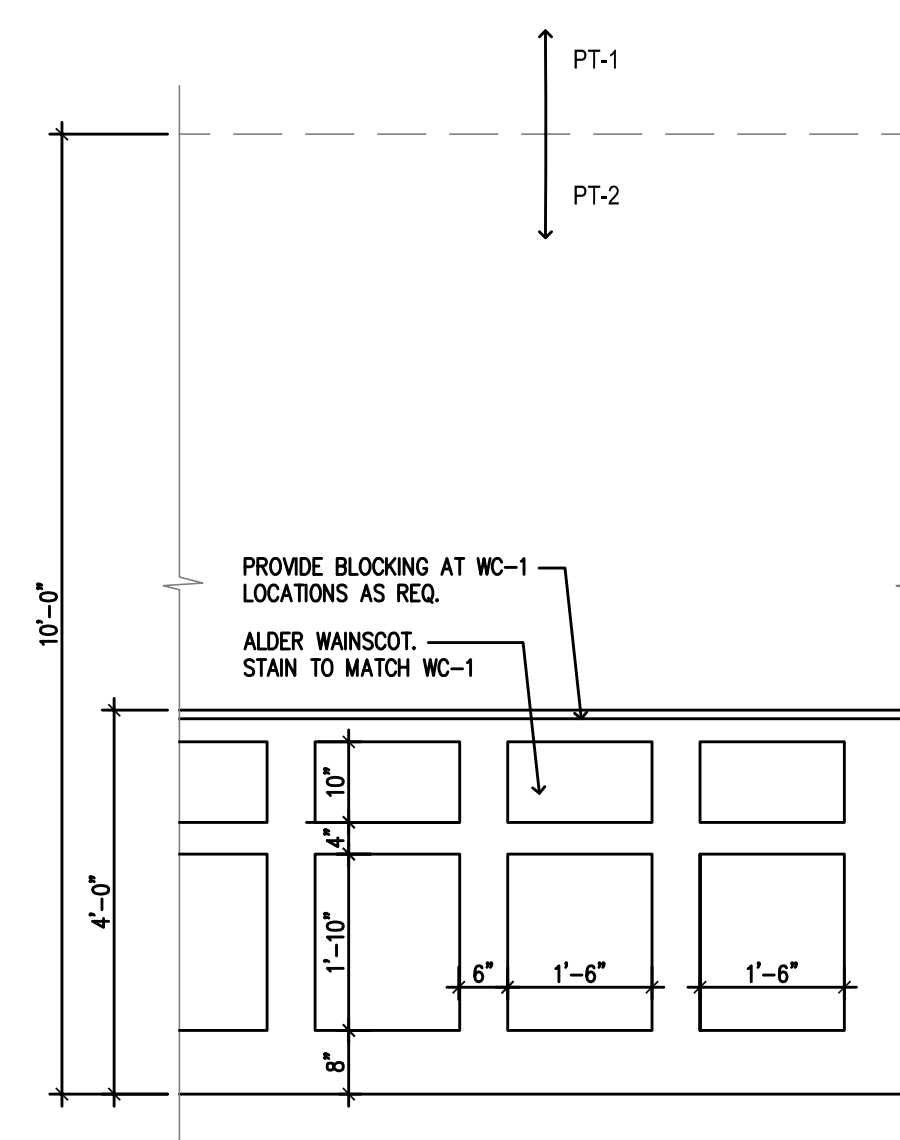
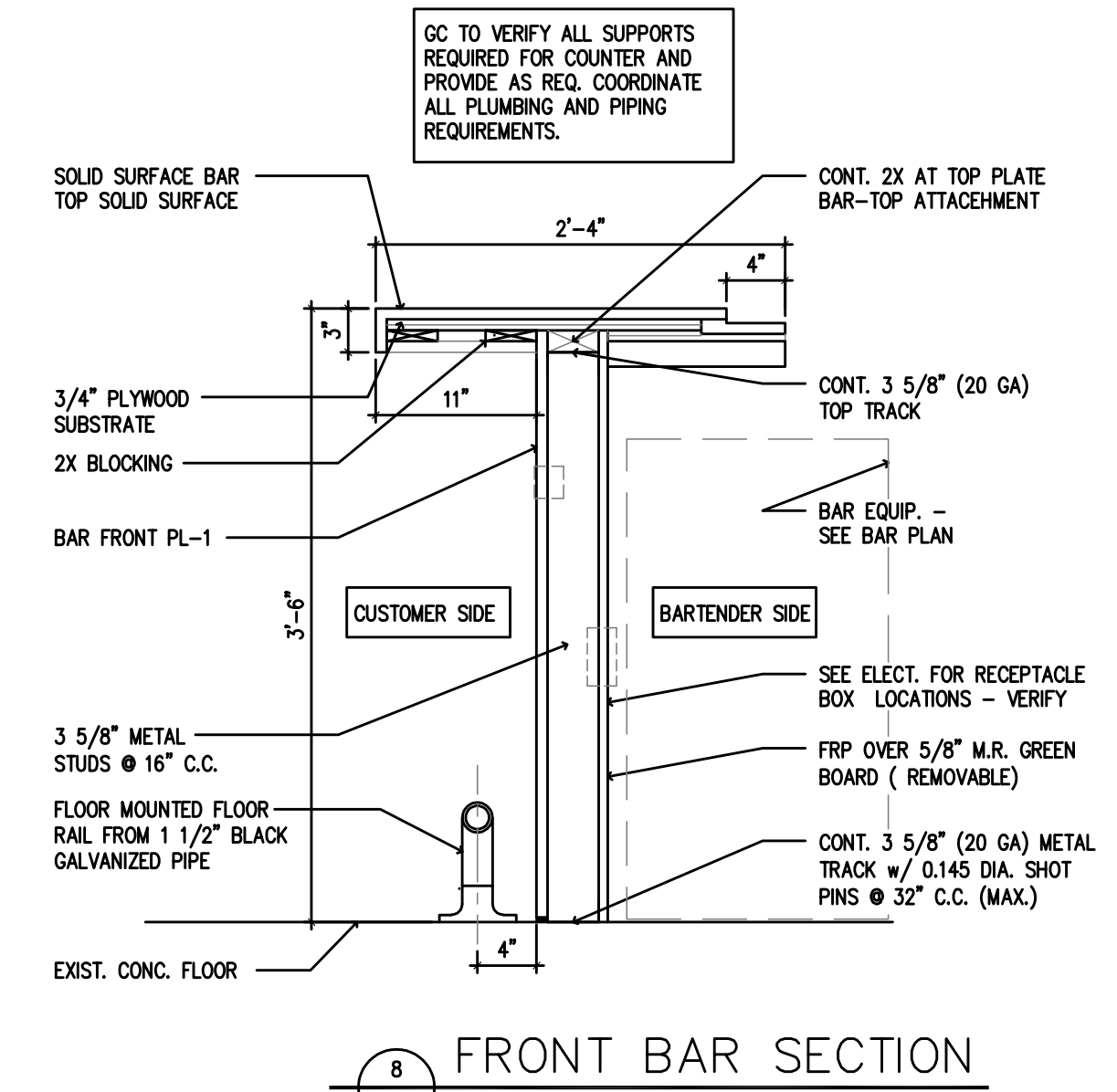
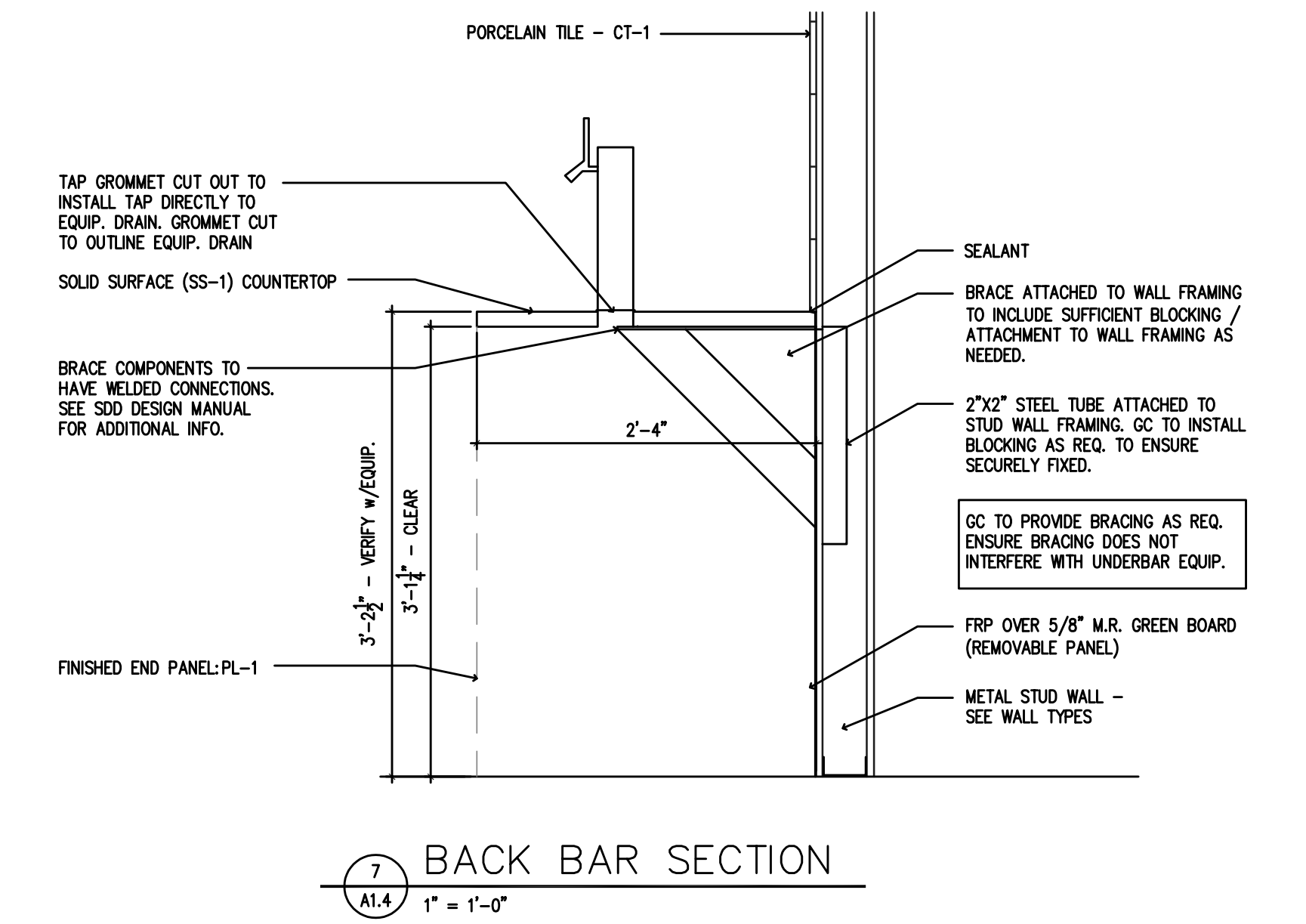
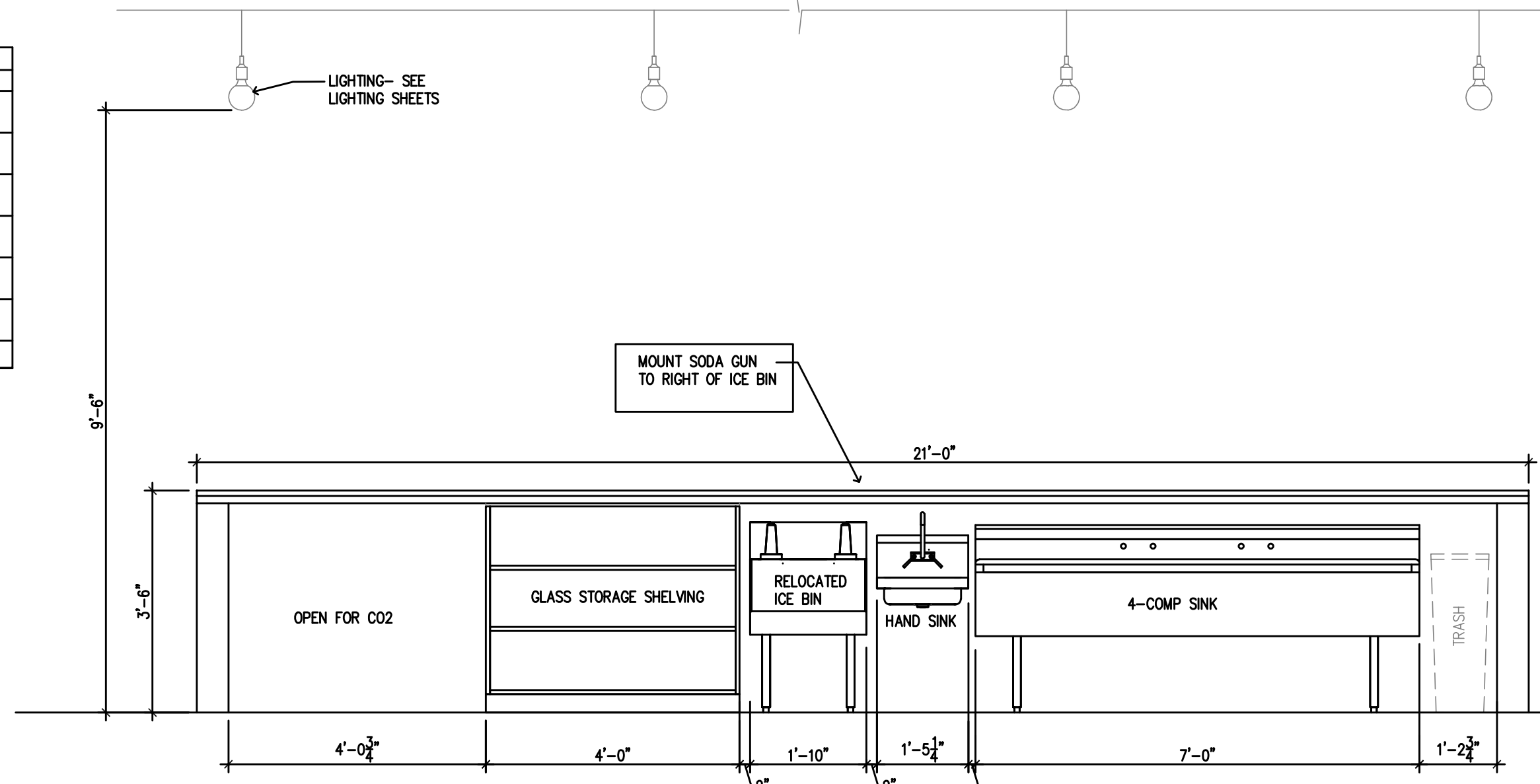
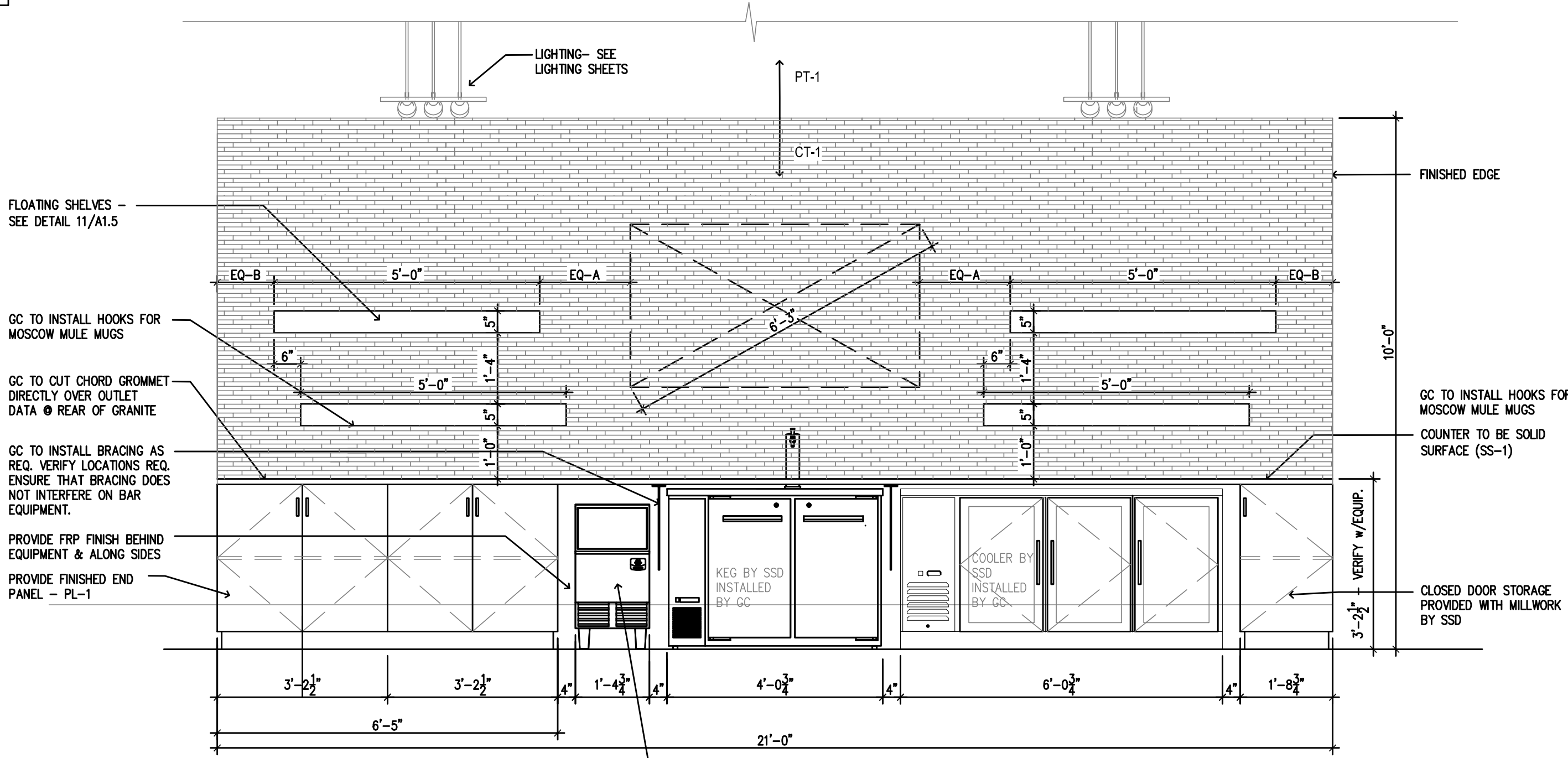
2 AT.3

1 BAR PLAN  
1/2" = 1'-0"

ITEM NO.	QUANTITY	CATEGORY	MANUFACTURER	MODEL #
1	SEE PLAN	NARROW GLASS DR. BACK BAR REFRIGERATOR w/LED LIGHTING - BLACK - 72 3/4" (W) X 24 7/16" (D) X 36 1/4" (H)	AVANTCO	UBB-72G-HC 73"
2	SEE PLAN	DOUBLE TAP KEGERATOR BEER DISPENSER - BLACK - 48 3/4" (W) X 24 3/8" (D) X 35 5/8" (H)	AVANTCO	UDD-48-HC
3	SEE PLAN	BULLET CUBE UNDERCOUNTER ICE MACHINE - 79LBS/DAY, AIR COOLED 16 7/10" (W) X 21" (D) X 32 7/10" (H)	MOTAK	KT-UI-75
4	SEE PLAN	HAND SINK - VERIFY IF EXIST. IS RELOCATED / REUSED. VERIFY DIMENSIONS	EXIST.	EXIST.
5	SEE PLAN	4 COMPARTMENT SINK, STAINLESS STEEL BAR SINK WITH 18" DRAINBOARDS EACH END - 84" (W) X 18" (D) 29" (H) (33" (H) TO BACKSPLASH)	ADVANCE TABCO	SLB-74C
6	SEE PLAN	ICE-BIN - REUSE EXISTING ICE BIN - VERIFY w/TENANT. VERIFY DIMENSIONS	EXIST.	EXIST.

2 FRONT BAR ELEVATION  
1/2" = 1'-0"

3 BACK BAR ELEVATION  
1/2" = 1'-0"



4 FRONT BAR ELEVATION (SERVICE SIDE)  
1/2" = 1'-0"

5 WAINSCOT ELEVATION  
1/2" = 1'-0"

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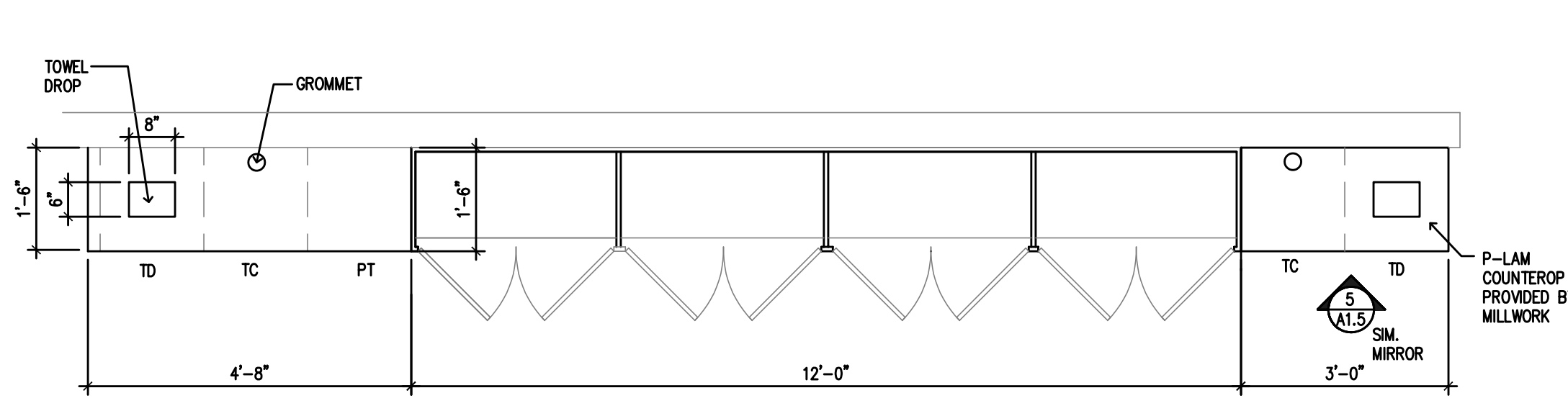
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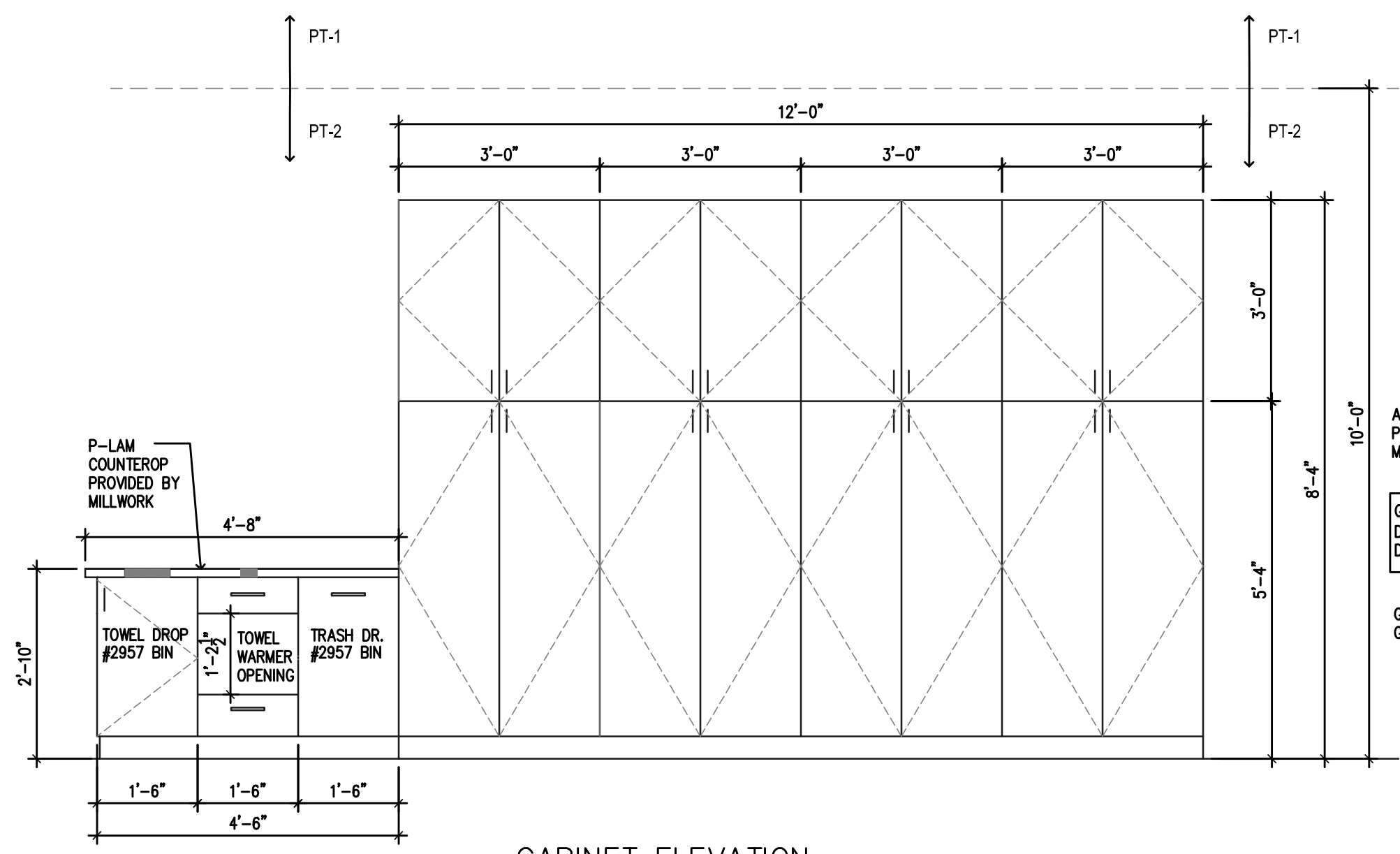
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PRELIMINARY  
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**A1.4**  
BAR PLAN, EQUIPMENT SCHEDULE & BAR ELEVATIONS

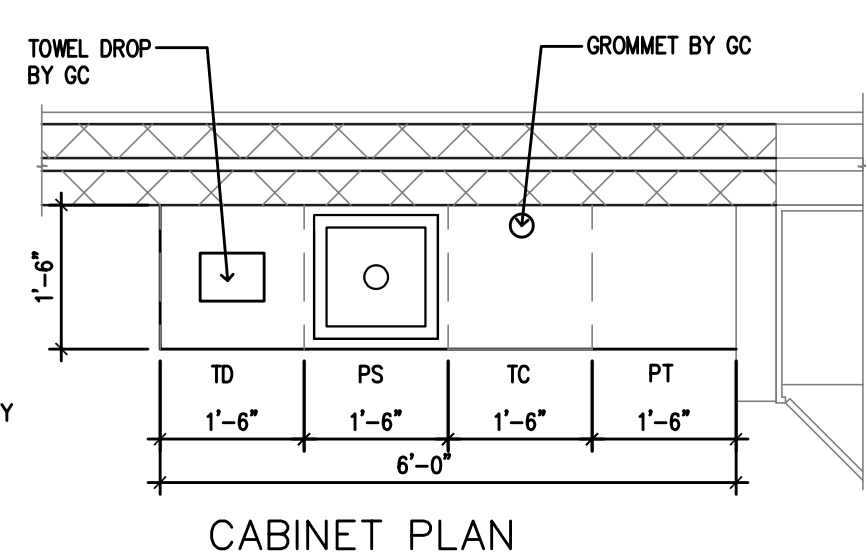


CABINET PLAN

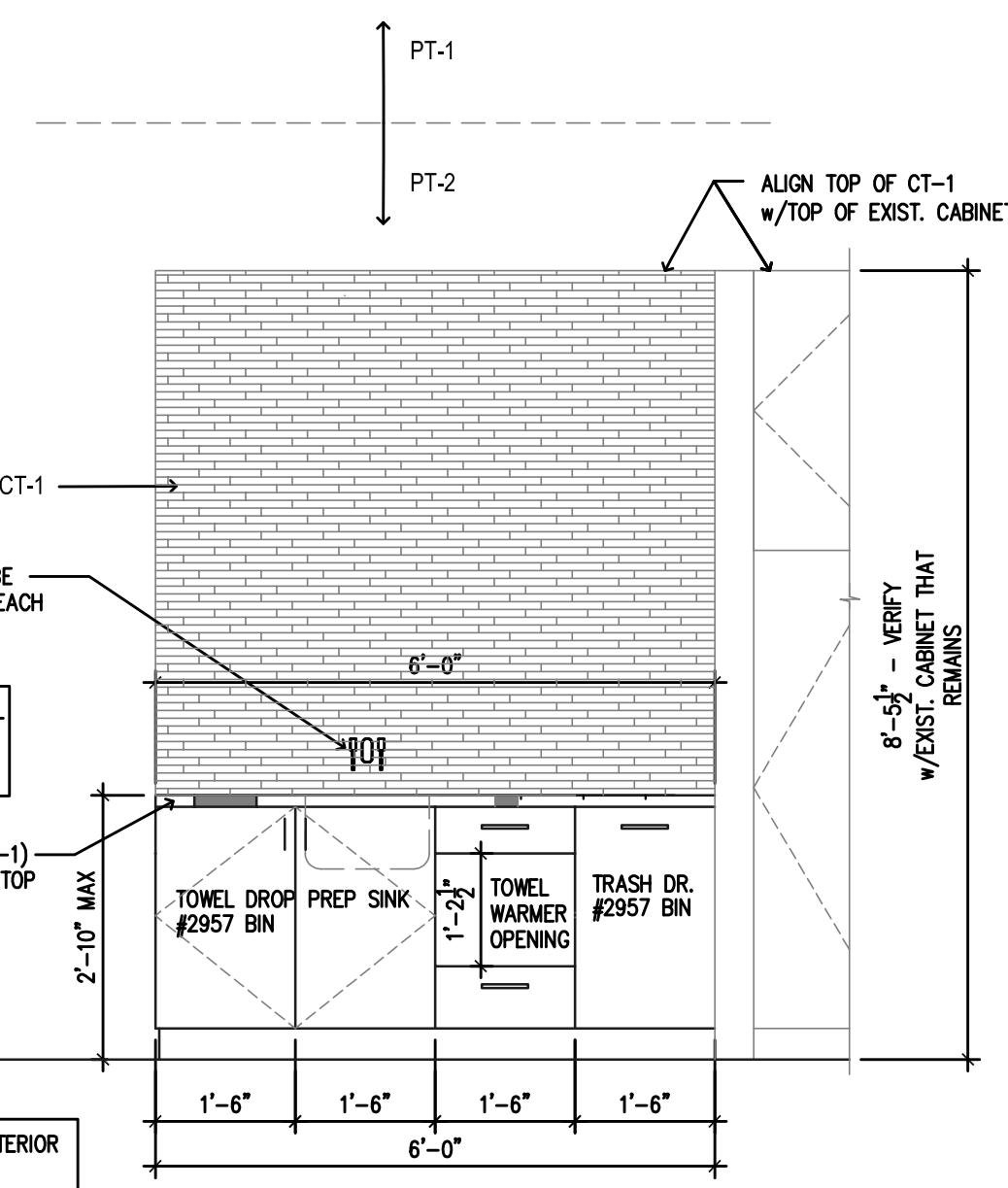


CABINET ELEVATION

1 CABINET ELEV. + PLAN (STYLING AREA 103)  
1/2" = 1'-0"

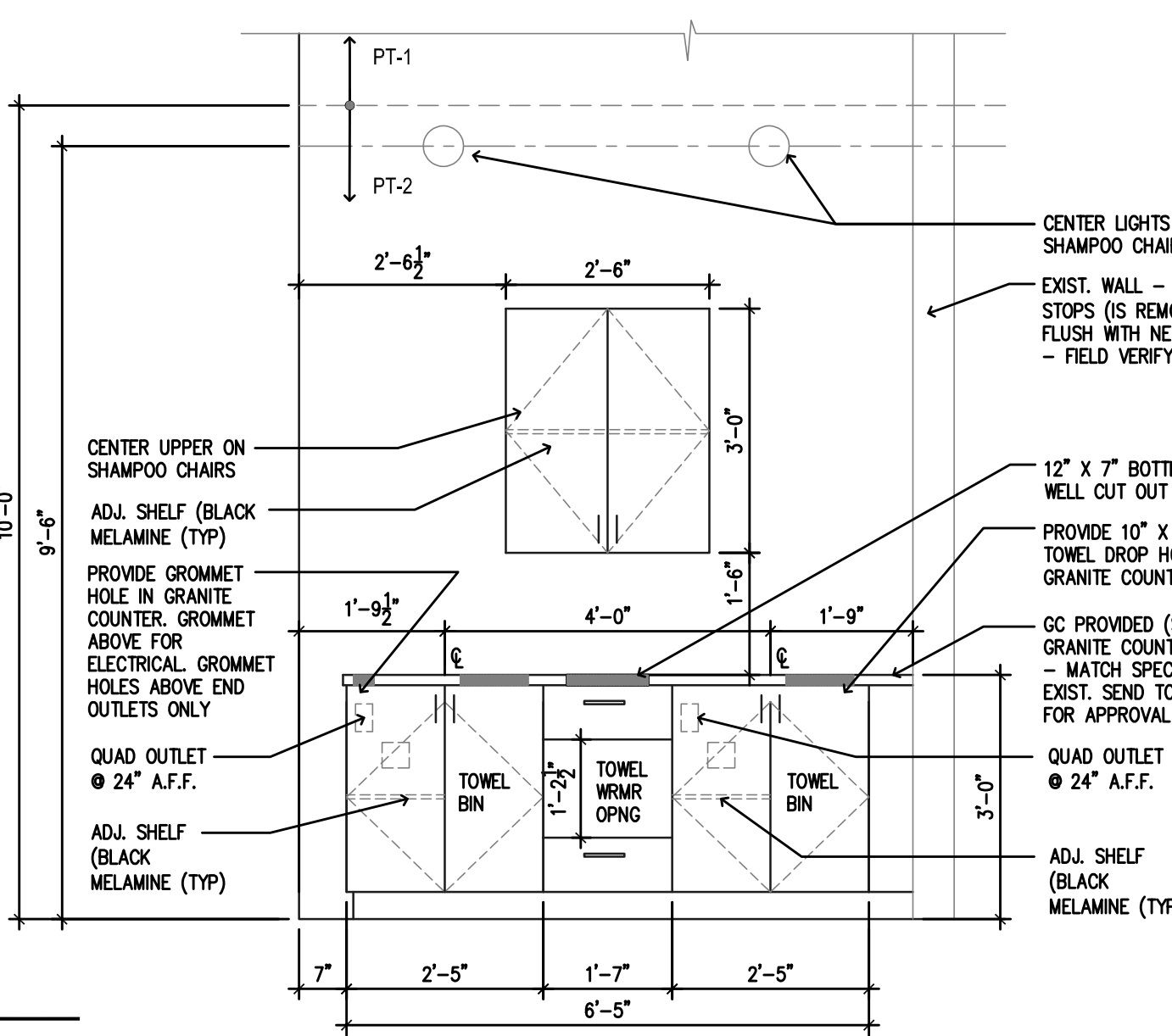
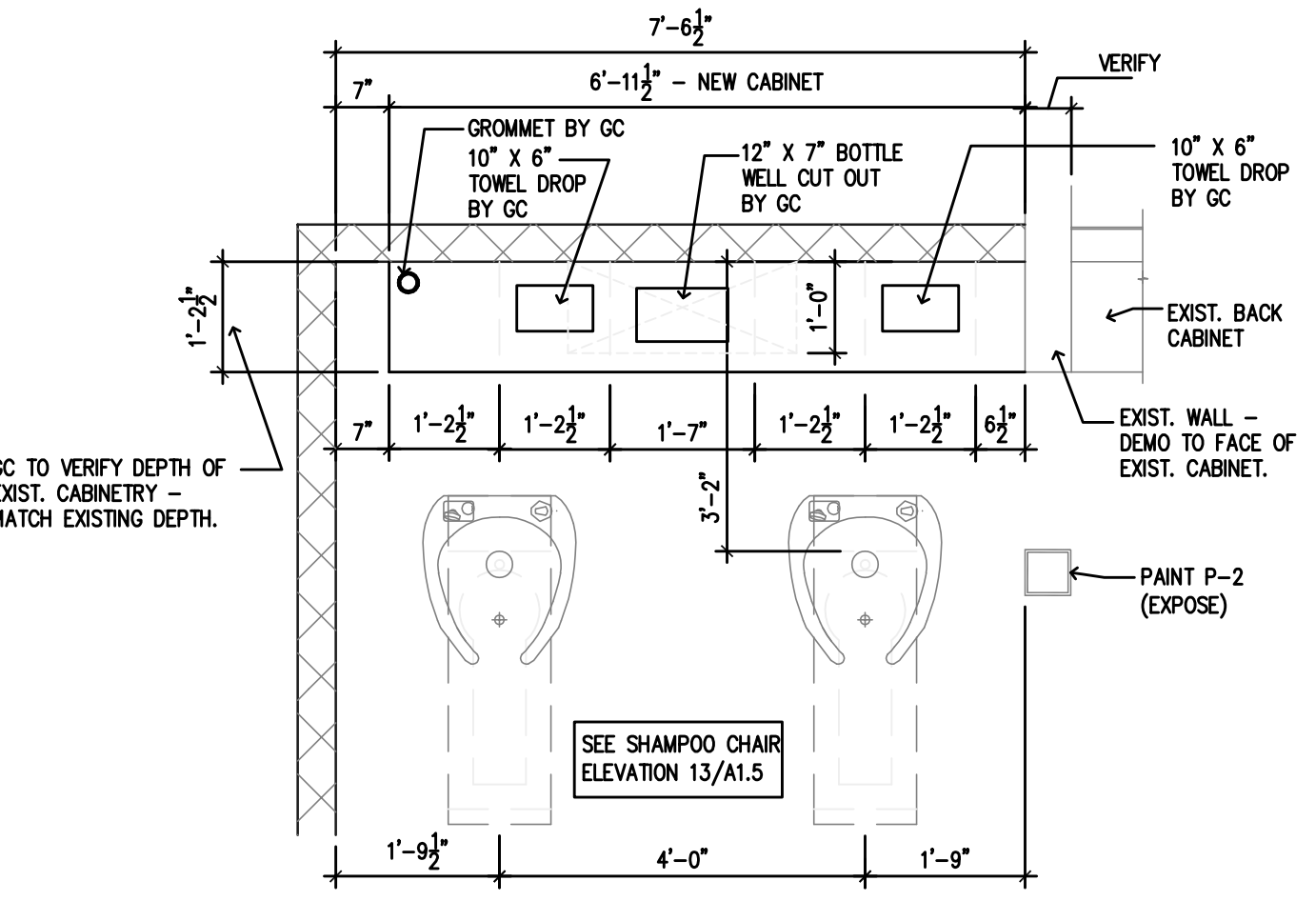


CABINET PLAN



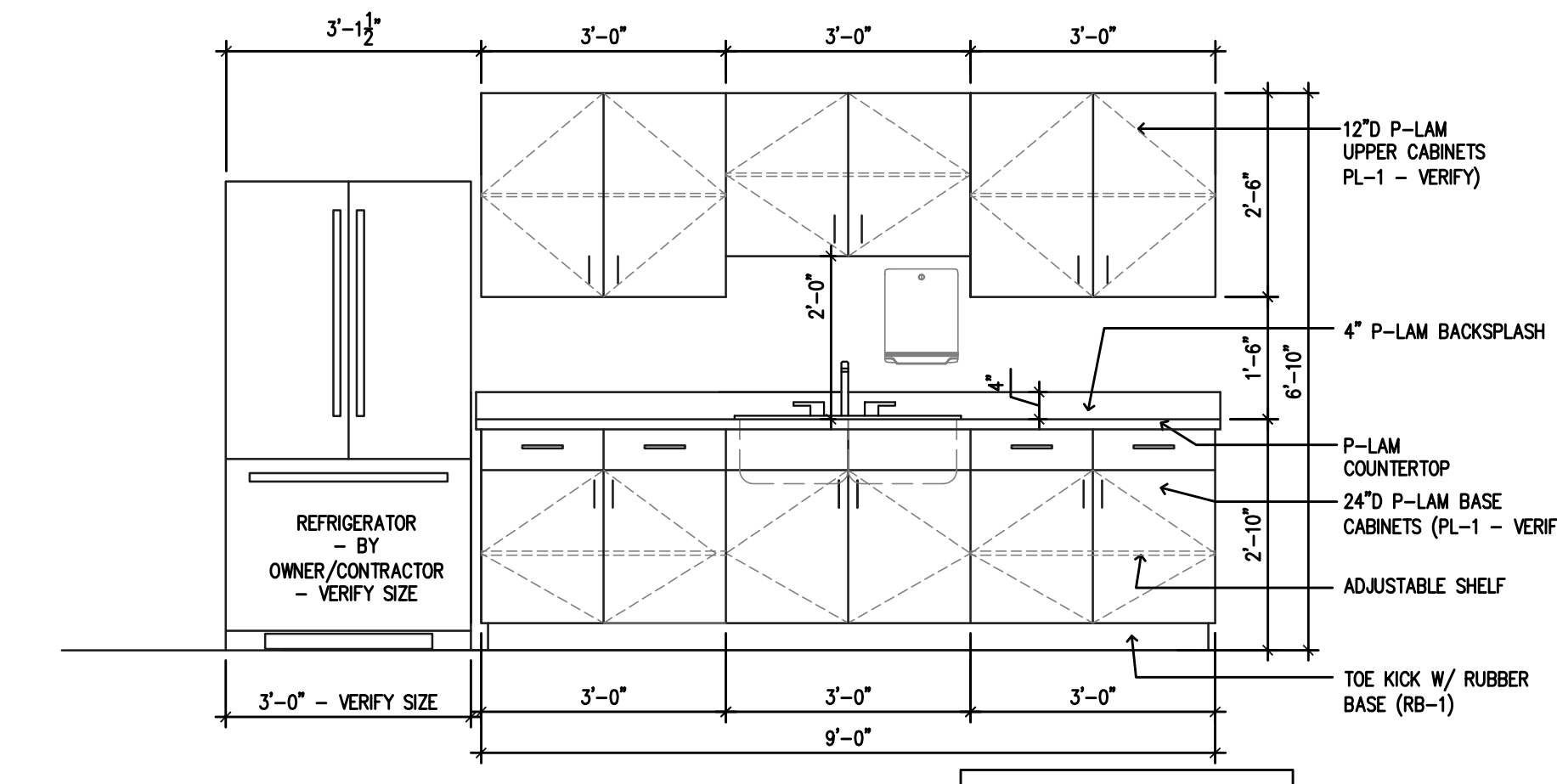
CABINET ELEVATION

2 CABINET ELEV. + PLAN (STYLING AREA 103)  
1/2" = 1'-0"

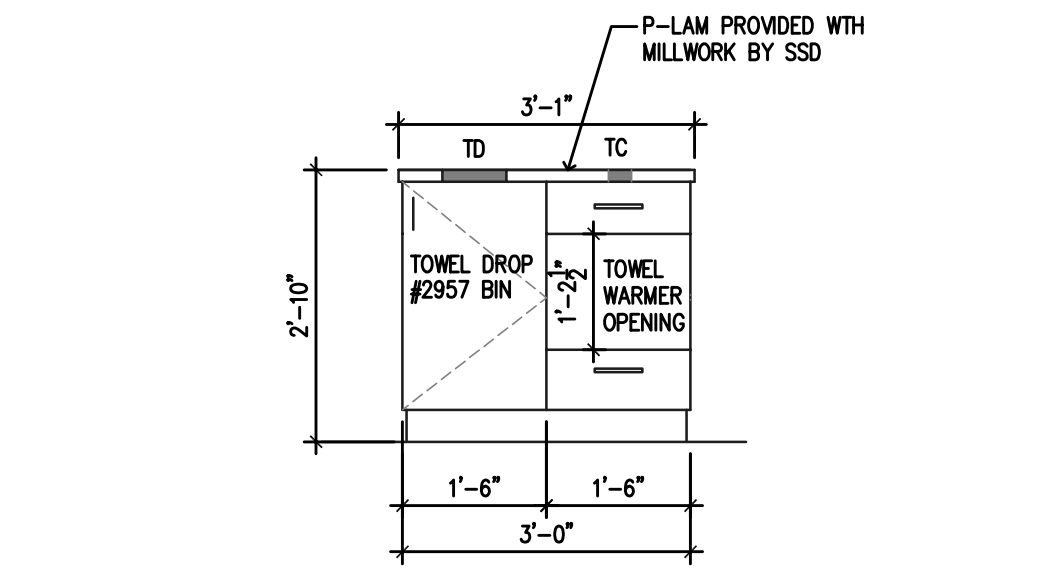


3 CABINET ELEV. + PLAN (SHAMPOO AREA 107)  
1/2" = 1'-0"

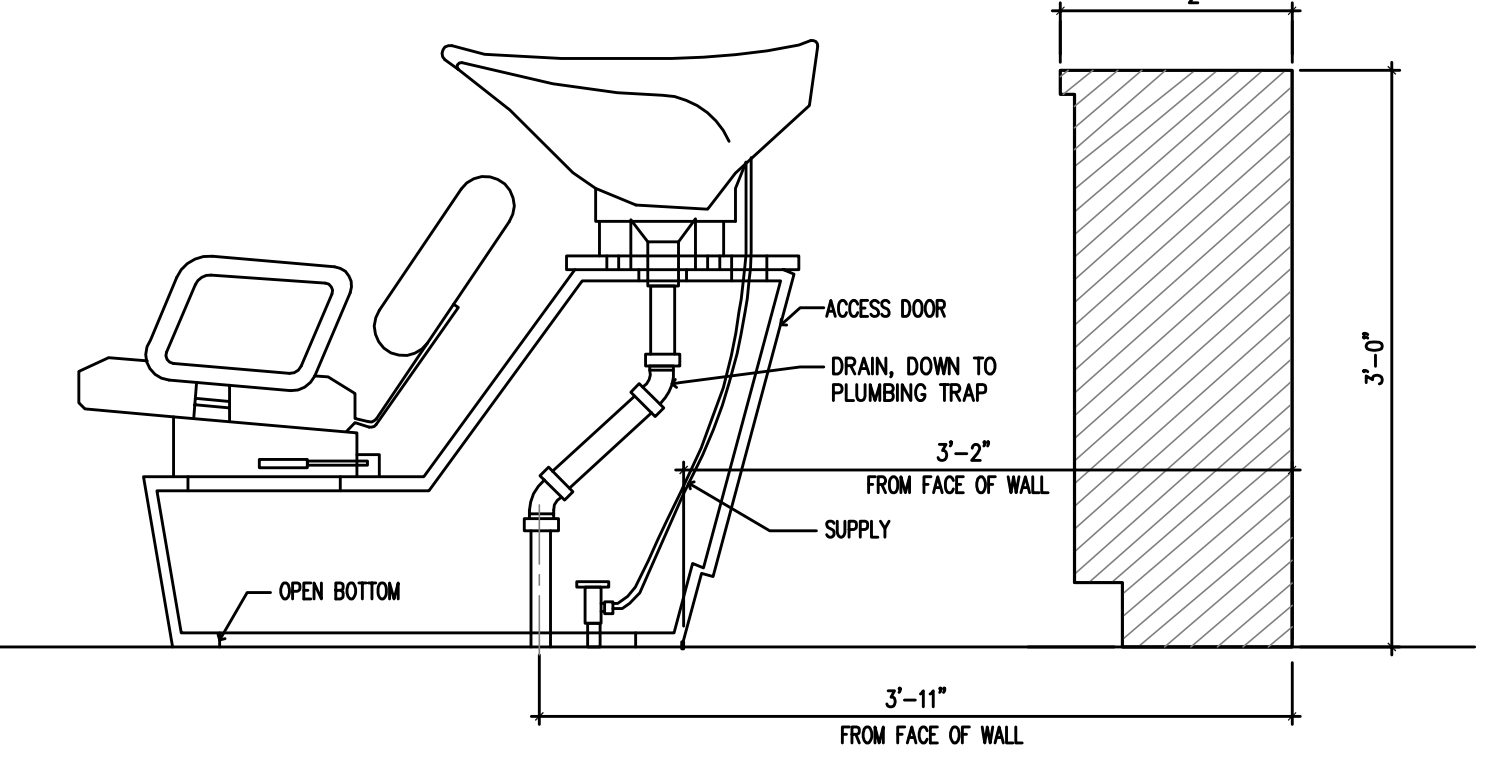
- GENERAL MILLWORK NOTES:**
1. PROVIDE ONE-PIECE, FINISHED END PANELS AT ALL EXPOSED CASEWORK SIDES.
  2. PROVIDE CONTINUOUS BLOCKING WITHIN NEW WALLS AS REQUIRED FOR ALL WALL MOUNTED CASEWORK, FIXTURES ACCESSORIES AND EQUIPMENT. ANCHOR BLOCKING BETWEEN STUDS, AT THE FACE OF THE STUDS, FOR THE ENTIRE WIDTH OF THE ITEM TO BE MOUNTED ON THE WALL. VERIFY VERTICAL LOCATION OF THE BLOCKING WITH THE MOUNTING HEIGHT REQUIRED AND THE REQUIREMENTS OF THE ITEM TO BE MOUNTED ON THE WALL.
  3. PROVIDE LOCKS ON CABINETS DOORS AND/OR DRAWERS WHERE INDICATED AND AS REQUIRED BY TENANT. VERIFY LOCK REQUIREMENTS W/TENANT.
  4. PROVIDE GROMMETS AS REQUIRED. COORDINATE NUMBER AND LOCATION WITH OWNER.
  5. RADIUS ALL OUTSIDE CORNERS AT COUNTERTOPS.
  6. PROVIDE CONTINUOUS SEALANT BEAD AT PERIMETER OF ALL COUNTERTOP EDGES - COLOR SHALL MATCH LAMINATE COLOR.
  7. PROVIDE WOOD FILLERSTRIPS AT CABINETS AS REQUIRED. FILLER STRIPS SHALL BE MANUFACTURED BY CABINET MANUFACTURER AND SHALL MATCH CABINET FINISH.
  8. VERIFY ALL APPLIANCE DIMENSIONS SUPPLIED BY TENANT FOR CLEARANCE AND INSTALLATION REQUIREMENTS PRIOR TO INSTALLATION OF MILLWORK.
  9. SCRIBE ALL COUNTERTOPS TO WALLS FOR AN ACCURATE FIT. APPLY SEALANT CONT. @ PERIMETER EDGES - 1/8" JOINT MAXIMUM.
  10. EXTERIOR SURFACES & EXPOSED TO VIEW SURFACES SHALL BE PLASTIC LAMINATE. INTERIOR SURFACES SHALL BE MELAMINE UNLESS NOTED OTHERWISE.
  11. PROVIDE COVER CAPS OVER ALL EXPOSED SCREWS, COLOR TO MATCH ADJACENT LAMINATE.



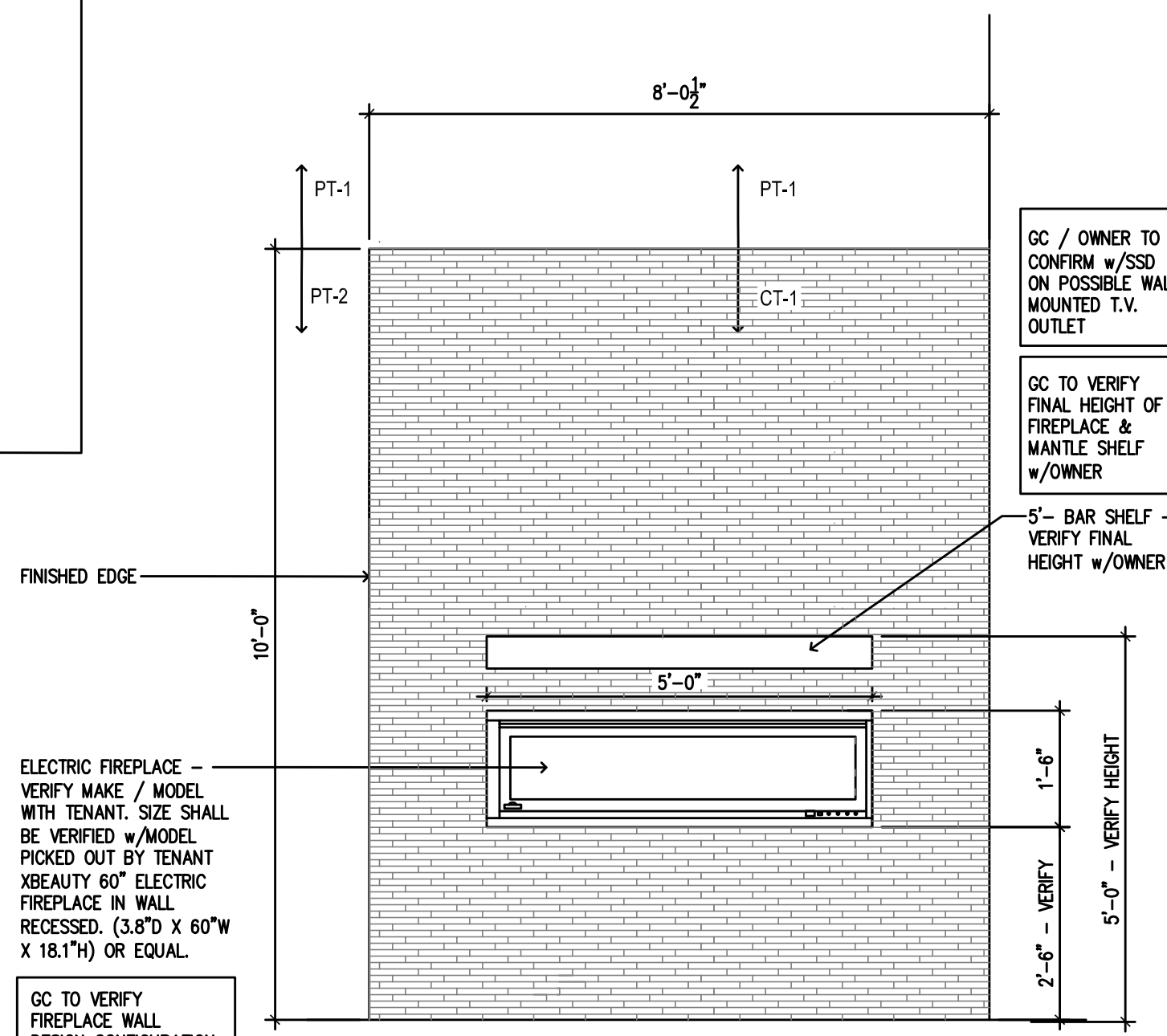
4 CABINET ELEV. (BREAK RM 116)  
1/2" = 1'-0"



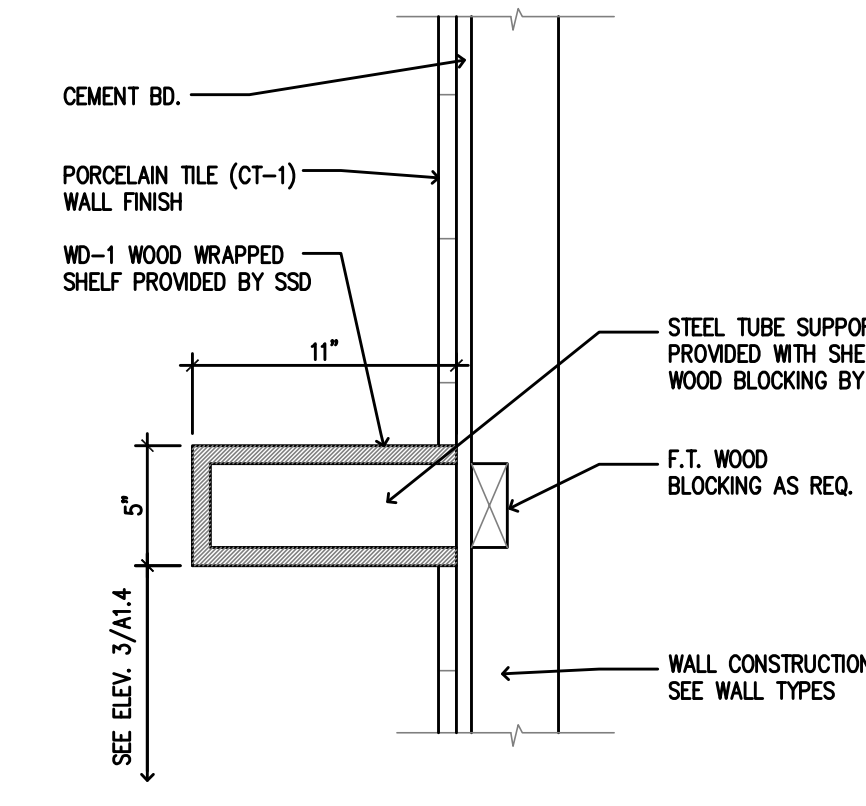
5 CABINET ELEV. (STYLING AREA 107)  
1/2" = 1'-0"



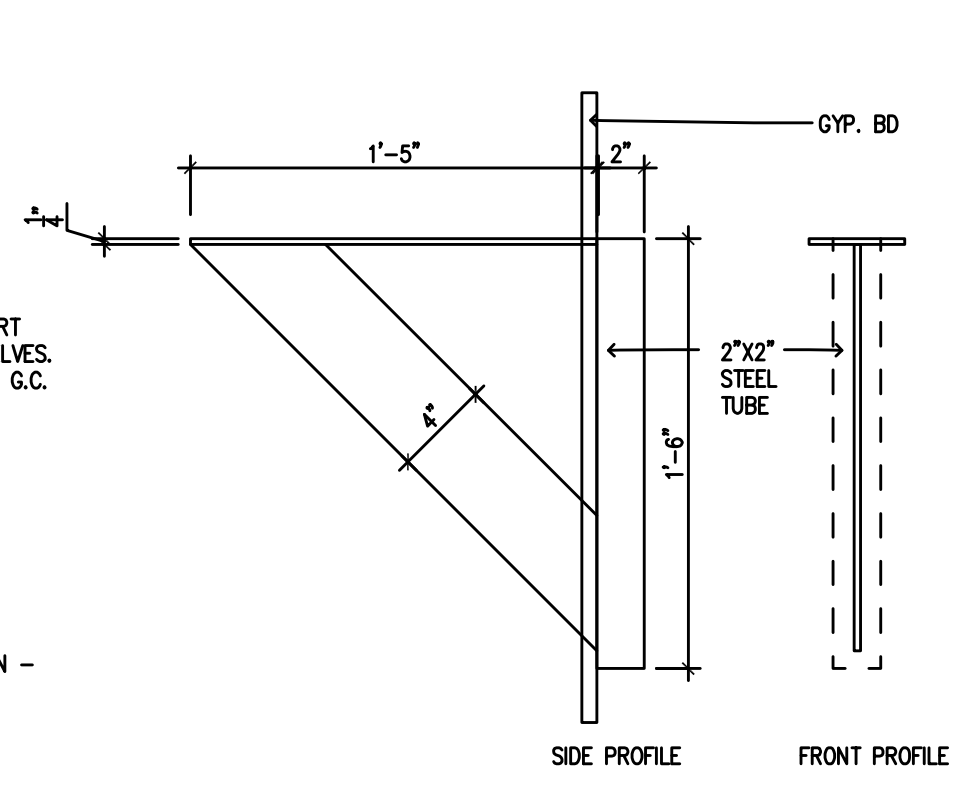
13 SHAMPOO CHAIR DETAIL  
1" = 1'-0"



12 FIREPLACE WALL  
1/2" = 1'-0"



11 FLOATING SHELF  
1 1/2" = 1'-0"



10 BACK BAR BRACING  
1 1/2" = 1'-0"



6 TYP. WAINSCOT FABRICATION DETAIL  
N.T.S.



9 TYP. WAINSCOT BTM RAIL DETAIL  
N.T.S.



7 TYP. WAINSCOT TOP RAIL DETAIL  
N.T.S.



8 TYP. WAINSCOT MID RAIL DETAIL  
N.T.S.

REVISIONS/DATES		
NO.	DATE	DESCRIPTION

**SCISSORS & SCOTCH**  
TENANT FINISH REMODEL & EXPANSION

2835 S 170TH PLAZA  
SUITE 212  
OMAHA, NEBRASKA

**GRID ARCHITECTURE, LLC**

T. (402) 980-6625  
F. (866) 443-7821

PRELIMINARY  
NOT FOR CONSTRUCTION

**A1.5**  
MILLWORK PLANS & ELEVATIONS



REVISIONS/DATES		
NO.	DATE	DESCRIPTION

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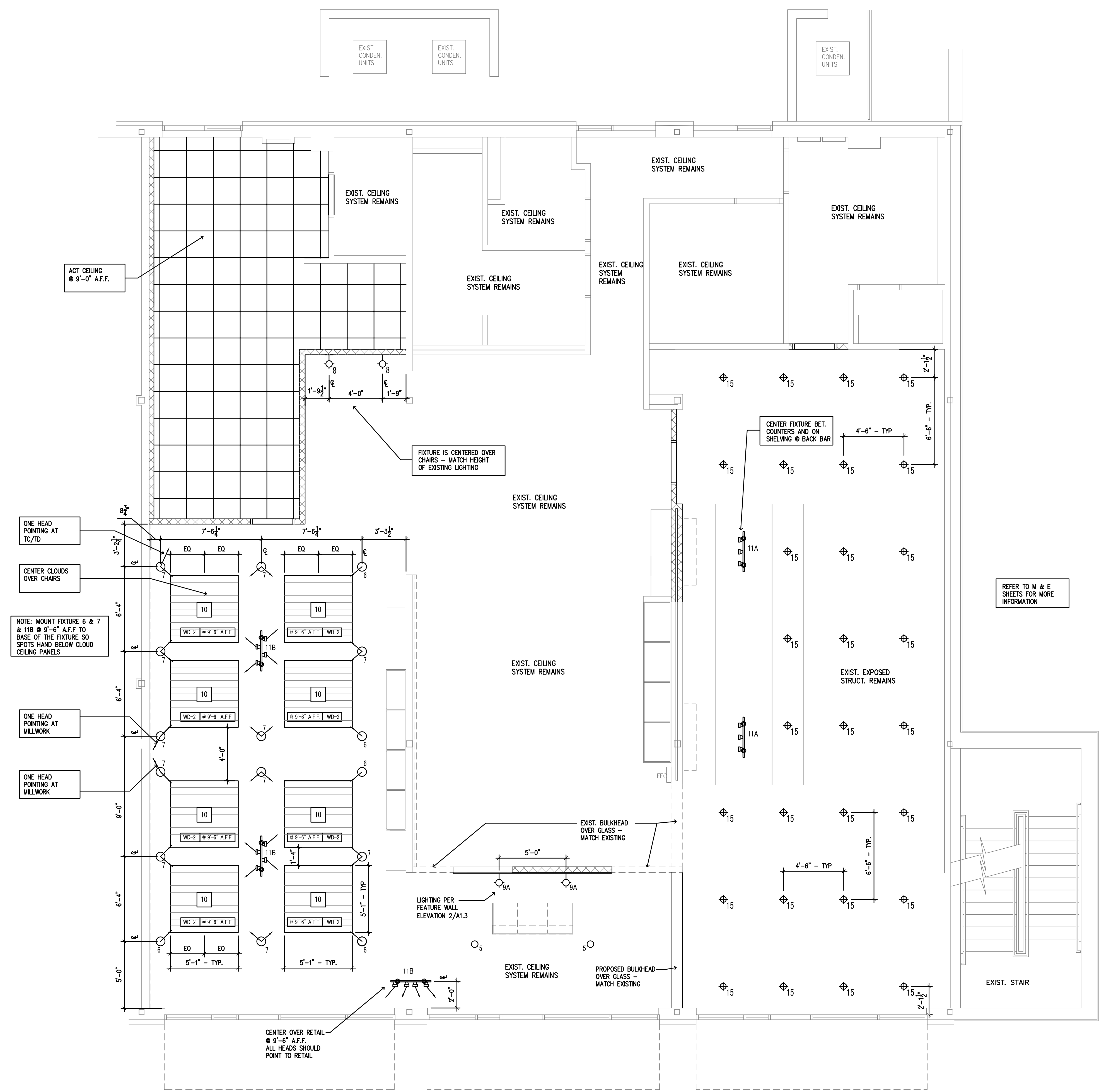
2835 S 170TH PLAZA  
SUITE 212  
OMAHA, NEBRASKA

CREATE + BUILD + ENHANCE

**GRID** ARCHITECTURE, LLC  
T. (402) 980-6625  
F. (866) 443-7821

PRELIMINARY  
NOT FOR CONSTRUCTION

**A1.6**  
REFLECTED CEILING  
PLAN & NOTES



**FIXTURE SCHEDULE**

SYMBOL	MARK	DESCRIPTION
	1	MANUF: RAB RECESSED FLAT PANEL TROFFER FINISH: WHITE SIZE: 24" X 24" SEE ELECTRICAL SHEETS FOR DISTRIBUTION GC HAS OPTION TO USE #2 LIGHT PER DESIGN MANUAL
	5	MANUF: PROGRESS LIGHTING / P5741 -31 /30K FINISH: BLACK SIZE: 6"W X 12"H SURFACE MOUNTED
	7	MANUF: WAC LIGHTING / WP-LED415-30-ABK POINT INWARD @ CHAIR FINISH: ARCHITECTURAL BLACK SIZE: 6.75"W X 7.75"H MOUNT @ 9'-6" A.F.F.
	8	MANUF: MILLENNIUM LIGHTING ARM / RGN23-ASB, SHADE /RESTO (RASR-58) FINISH: ALUMINUM SATIN BLACK SIZE: 23" X 14" - MOUNT TO MATCH EXIST. LIGHTING
	9A	MANUF: dweLED / 790576791296 FINISH: BLACK SHADE /RESTO (RASR-58) FINISH: ALUMINUM SATIN BLACK SIZE: 11 1/2" X 24.5" X 11.4" MOUNT @ 9'-0" A.F.F.
	10	MANUF: ENVISION SQUARE SLIM RECESSED PANEL DOWNLIGHT w/ JUNCTION BOX & UNIVERSAL MOUNTING PLATE FINISH: BLACK TRIM SIZE: 6" X 6"
	11A	MANUF: NORA NTE-864 MAX MINI LED TRACK - 41 DEGREE SPREAD FINISH: BLACK SIZE: 3 HEADS ON BLACK 2' SINGLE CIRCUIT TRACK (NT-301)
	11B	MANUF: NORA NTE-864 MAX MINI LED TRACK - 41 DEGREE SPREAD FINISH: BLACK SIZE: 4 HEADS ON BLACK 4' SINGLE CIRCUIT TRACK (NT-302)
	15	MANUF: MAXIM EARLY ELECTRIC FABRIC CHORD PENDANT FINISH: ANTIQUE BRASS SIZE: 3.5" X 2" X 2" MOUNT @ 9'-6" A.F.F.

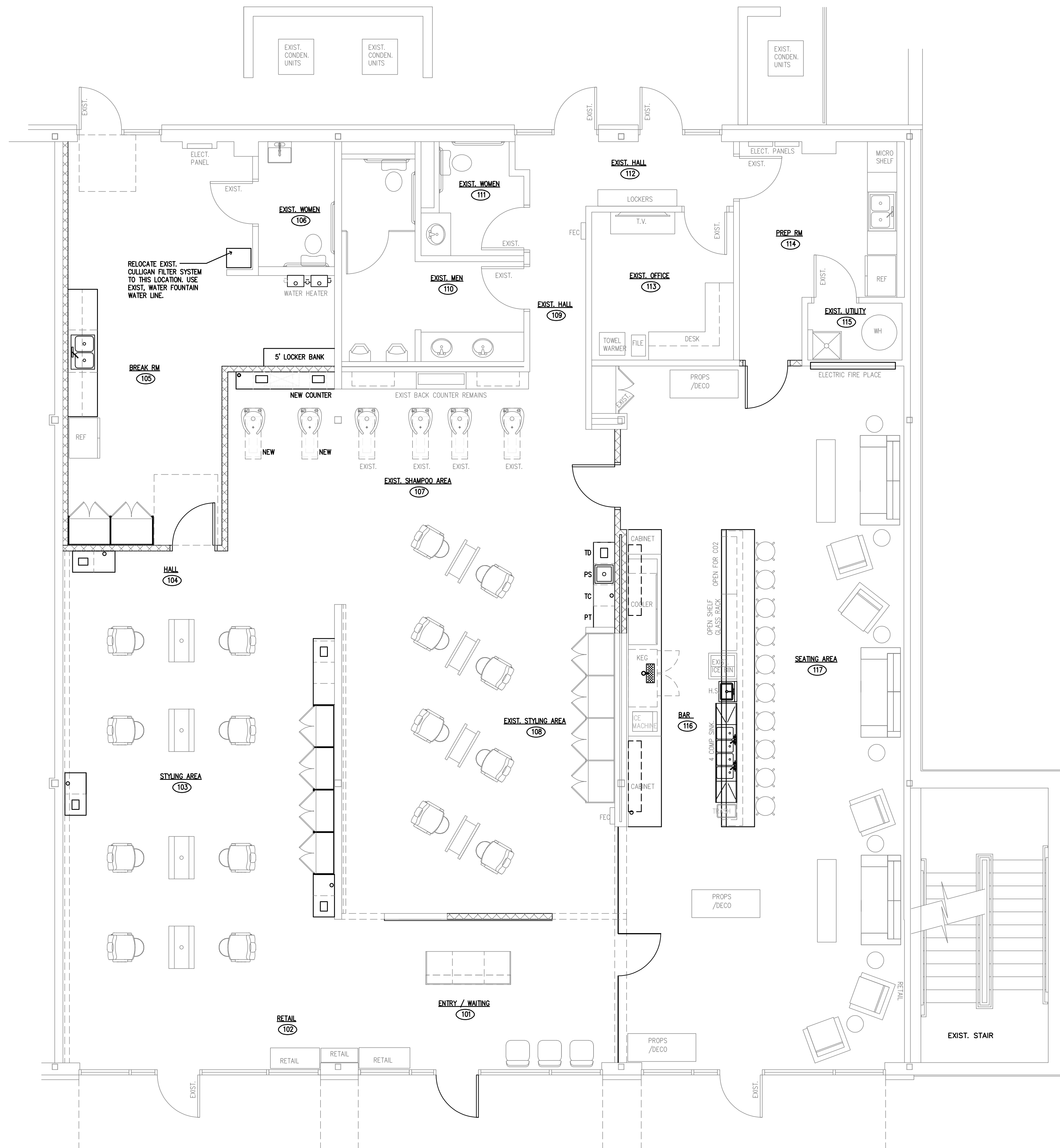
**GENERAL REFLECTED CEILING NOTES:**

1. PROVIDE AND INSTALL ALL NECESSARY BLOCKING FOR CEILING SYSTEMS.
2. COORDINATE LOCATION OF EXIT SIGNAGE, EMERGENCY LIGHTING, AND ANY OTHER CEILING MOUNTED LIFE/SAFETY SYSTEMS W/ ELECTRICAL.
3. CENTER ACT GRIDS IN ROOMS, U.N.O.
4. WALL MOUNTED EXIT LIGHTS SHALL BE MOUNTED 6" ABOVE DOOR FRAME & CENTERED ON DOOR.
5. CEILING MOUNTED EXIT LIGHTS SHALL BE MOUNTED 10" FROM WALL & CENTERED ON DOOR.
6. REFER TO MECHANICAL AND LIGHTING SHEETS FOR MORE INFORMATION IN REGARDS TO LIGHTING SPECS AND DIFFUSER LOCATIONS.GC TO ALSO CONFIRM WITH SSD DESIGN MANUAL.
7. ALL CEILING ELEMENTS SHOULD BE CENTERED IN TILE U.N.O.
8. ALL ABOVE CEILING SYSTEMS SHALL BE DESIGNED TO ACCOMMODATE CEILING HEIGHTS CALLED OUT AND CEILING FIXTURES SPECIFIED. SEE ELECTRICAL SHEETS FOR MORE INFO. & SSD DESIGN MANUAL. CEILING DROPS WILL NOT BE CONSIDERED TO ACCOMODATE REROUTING OF SYSTEMS.

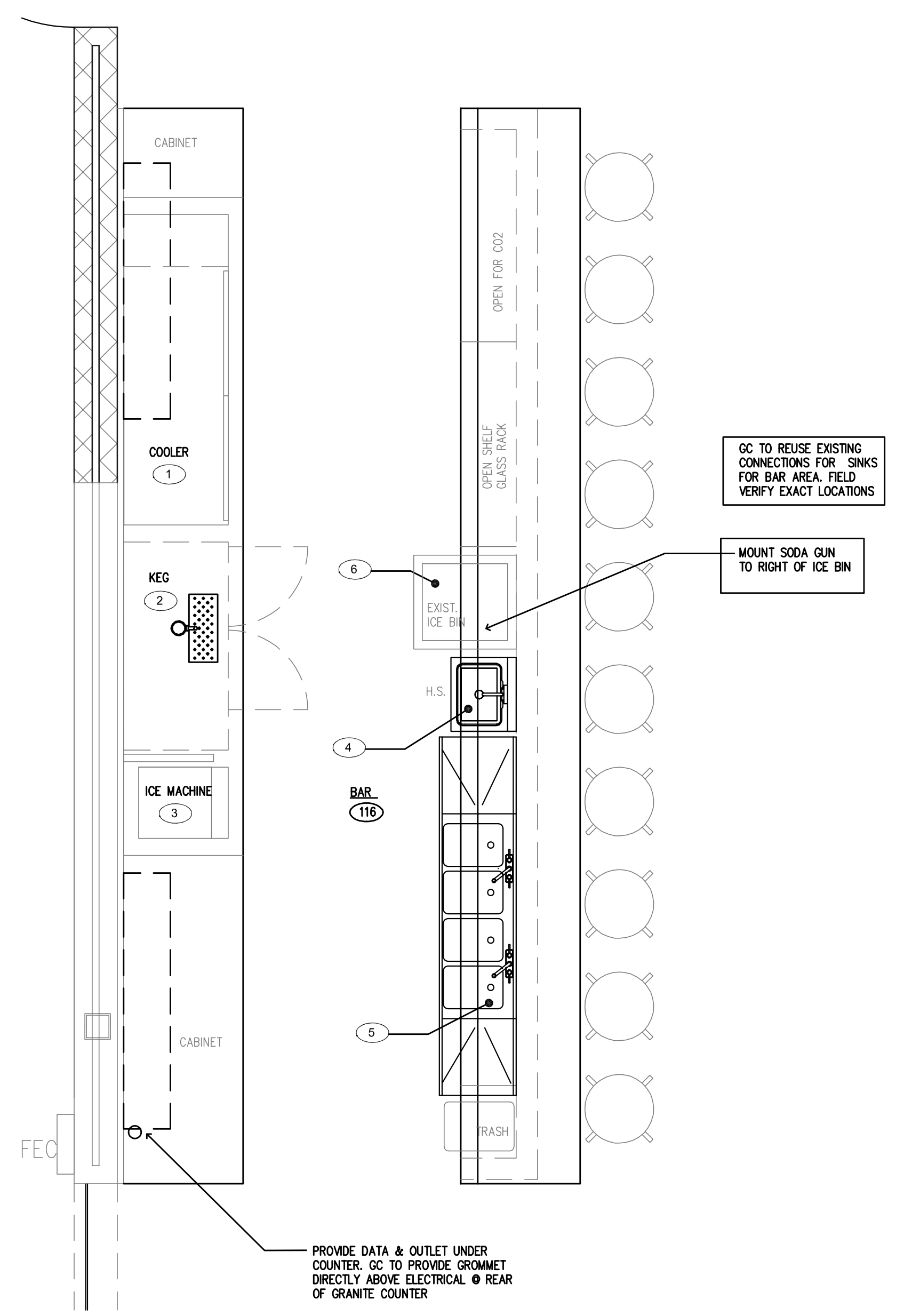
REFLECTED CEILING PLAN NORTH  
1/4" = 1'-0"







**POWER PLAN**  
1/4" = 1'-0"  
NORTH



**BAR POWER PLAN**  
1/2" = 1'-0"  
NORTH



FIXTURE SCHEDULE

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LIGHTING PLAN  
1/4" = 1'-0"

