

BVH ARCHITECTURE

ADDENDUM

ADDENDUM NO.: #01

DATE: 01/31/2024

PROJECT: Woodhouse Ford Pro: Building Improvements

PROJECT #: 23043

TO: Prospective Bidders

This Addendum is issued by the Architect to all bidders of record prior to receipt of proposals. Bidders shall acknowledge receipt of this addendum by so indicating on the Proposal Form. Failure to do so may subject Bidder to disqualification. All information and instructions given herein shall become a part of the Contract Documents.

GENERAL

1. Specifications for the metal building insulation and roof liner are attached.
2. All revised drawings are attached.

DRAWINGS

1. AD1.1 - DEMO PLAN

- a. 1 - FIRST FLOOR - DEMO PLAN
 - i. Add notes 8 and 4 to walls at the existing Parts Storage room.
 - ii. Added note 36 to the floor plan demo notes. "Remove existing 1/2" plywood sheathing as shown on drawing in prep for new 3/4" sheathing."

2. A0.5 - ARCHITECTURAL SITE PLAN

- a. Sheet for reference only.
- b. Stripping is by the owner.

3. A1.1A - FIRST FLOOR PLAN - AREA A & B

- a. 1 - FIRST FLOOR PLAN - AREA A
 - i. Revised plywood sheathing on the exterior wall of LOBBY 2.
 - ii. Added two callouts.
 1. 2/6.2 - "PLAN DETAIL - OUTSIDE CORNER 2 (FORD PRO WALL)
 2. 3/6.2 - "PLAN DETAIL - OUTSIDE CORNER (FORD PRO WALL)
 - iii. Added missing door tag 2B (see A7.1 notes).
 - iv. Added door #15 at CORR 15.
 - v. Added additional Note 12 at CORR 15.
 - vi. Revised all gridlines to match structural drawings.
 - vii. Added missing dimension to paint stripe in Service Drive

- b. 2 - FIRST FLOOR PLAN - AREA B

- i. Added note to firestop existing rated wall.

4. A1.2B - FIRST FLOOR PLAN - AREA C

- a. 1 - FIRST FLOOR PLAN - AREA C

- i. Add two M60 walls at COMPRESSOR 30 & ELEC. 42
 - ii. Add a HM flush door #30 at COMPRESSOR 30
 - iii. Add floor plan note #24
 - iv. Added additional note #18 at west wall of SERVICE 32
 - v. Revised all gridlines
 - b. Removed detail #2 from sheet.
- 5. A1.4 - ENLARGED PLANS & INTERIOR ELEVATIONS**
- a. Elevations 20&21:
 - i. Added additional notes to elevations
 - b. 11 - LOBBY ELEVATION - NORTH
 - i. Revised control joint location
 - c. 18 - LOBBY ELEVATION - SOUTH
 - i. Added additional notes
 - ii. Added detail references and new detail 4/6.2.
- 6. A2.1 - FIRST FLOOR RCP - AREA A&B**
- a. Revised Alternate 2 text. See attached specs.
- 7. A2.2 - FIRST FLOOR RCP - AREA C**
- a. Revised Alternate 2 text. See attached specs.
- 8. A5.1 - WALL SECTIONS**
- a. WALL SECTIONS 5&6:
 - i. Revised detail references for overhead door head detail.
 - ii. Added note to provide new gutters per roof plan.
 - b. 2 - WALL SECTION - FORD PRO WALL
 - i. Add note to provide WD blocking behind signage.
 - c. 7 - TYP EXT WALL ASSEMBLIES
 - i. Added note to provide FRT Plywood sheathing.
- 9. A6.1 - DETAILS**
- a. 7 - DETAIL - FORD PRO WALL BASE
 - i. Revised plywood sheathing to $\frac{3}{4}$ ".
 - b. 8 - DETAIL - PARAPET (FORD PRO WALL)
 - i. Revised plywood sheathing to $\frac{3}{4}$ ".
 - c. 12 - DETAIL - AREA A - PONY WALL
 - i. Revised glazing and sill details
 - d. Added detail 4.
- 10. A6.2 - DETAILS**
- a. 2 - PLAN DETAIL - OUTSIDE CORNER 2 (FORD PRO WALL) - Added
 - b. 3 - PLAN DETAIL - OUTSIDE CORNER (FORD PRO WALL) - Added
 - c. 4 - SILL DETAIL - Added
- 11. A7.1 - DOOR AND WINDOW FRAME TYPES/DETAILS**
- a. DOOR SCHEDULE
 - i. Add door #15 & #30
 - ii. Changed door #19 to #2B.
 - iii. Revised width of door #2A.
 - b. Door panel elevations:

- i. Noted G1 glazing
- c. Detail #2: Revised insulation note.
- d. Specs:
 - i. 084213 Aluminum Framed Entrances:
 - 1. Removed note to provide non thermal at interior.
 - 2. Revised finish spec
 - 3. Revised hardware sets
 - ii. 084313 Aluminum Framed Storefronts
 - 1. Revised finish color from black to clear anodized.
 - iii. 08800 Glazing
 - 1. Added CLR part numbers to glazing channels.
 - iv. Hardware Schedule
 - 1. Revised as clouded.

SEE ATTACHED MORRISSEY ENGINEERING ADDENDUM NARRATIVE AND DRAWINGS.

END OF ADDENDUM

addendum

addendum no. 01

date: 2/1/2024

bid date: n/a

project name: Woodhouse Ford Pro

project no: 23416

This addendum is hereby made a part of the contract documents to the same extent as if it were originally included therein. Contract documents shall be considered modified or revised as hereinafter described.

mechanical items

1. Sheet FP1.3 – FLOOR PLAN – FIRE PROTECTION – AREA A
 - a. Add plan showing mezzanine requiring fire protection.
 - b. Add location of fire department connection.
 - c. Add notes for fire service design.
 - d. Add notes for avoiding relocated equipment.
2. Sheet MD1.3 – DEMOLITION FLOOR PLAN – HVAC – AREA C
 - a. Salvage AC unit and unit heater for relocation.
 - b. Revised note for thermostats. All thermostats for new and existing equipment within the scope of work to be replaced with new programmable thermostats meeting energy code requirements.
3. Sheet MD2.3 – DEMOLITION FLOOR PLAN – PLUMBING – AREA C
 - a. Demolish abandoned fire service serving old spray booths.
 - b. Demo refrigerant and condensate piping for relocated ac unit.
 - c. Demo gas piping required for salvaged unit heater.
4. Sheet M1.3 – FLOOR PLAN – HVAC – AREA C
 - a. Relocate AC unit and unit heater. Provide new refrigerant piping for AC unit and gas piping for unit heater.
 - b. Provide new thermostats for AC unit and unit heater.
 - c. Add split system wall mounted unit to condition Elec 42. Add associated refrigerant piping and thermostat.
 - d. Revise thermostat for compressor room to be cooling only thermostat.
 - e. Provide new thermostat in Service 32 previously shown as existing.
5. Sheet M1.6 – ROOF PLAN – MECHANICAL – AREA C
 - a. Add refrigerant piping hood and air cooled heat pump unit for new indoor unit serving Elec 42.
6. Sheet M2.3 – UNDERGROUND PLAN – PLUMBING – AREA C
 - a. Change floor drain in Compressor 30 to floor sink.
7. Sheet M2.6 – FLOOR PLAN – PLUMBING – AREA C

- a. Add gas piping for relocated unit heater.
 - b. Add condensate piping for relocated ac unit and new AC-1 serving Elec 42.
8. Sheet M3.2 – MECHANICAL DETAILS
- a. Add split system detail
9. Sheet M4.1 – MECHANICAL SCHEDULES
- a. Add refrigerant and condensate piping to pipe insulation schedule.
 - b. Add split system air conditioning unit schedule.
10. Mechanical Specifications:
- a. Section 233423 Power Ventilators
 - i. Add Soler & Palau to list of allowable manufacturers.
 - b. Section 235523 Gas-Fired Radiant Heaters
 - i. Add Re-Verber-Ray to list of allowable manufacturers.
 - c. Section 233113 Metal Ducts and Accessories
 - i. Add Louvers & Dampers Inc. to list of allowable manufacturers.

electrical items

- 1. Sheet E1.1 – FLOOR PLAN – LIGHTING – AREA A
 - a. Add HVLS fans and controllers.
 - b. Revise Keynotes
- 2. Sheet E1.3 – FIRST FLOOR PLAN – LIGHTING – AREA C
 - a. Add HVLS fans and controllers.
 - b. Revise Keynotes
- 3. Sheet E2.3 – FIRST FLOOR PLAN – POWER – AREA C
 - a. Add cord reels in Service 32
 - b. Extend existing circuits to relocated mechanical equipment in Parts 29
 - c. Add electrical connection to AC-1 in Electrical Room 42.
- 4. Sheet E2.6 – ROOF PLAN – POWER – AREA C
 - a. Add connection to HP-1.
- 5. Sheet E4.0 – ELECTRICAL SCHEDULES AND DIAGRAMS
 - a. Mechanical Connection Schedule – Add AC-1 and HP-1
- 6. Sheet E4.1 – ELECTRICAL PANEL SCHEDULES
 - a. Revise circuit breakers in Panel S1.
 - b. Revise circuit breakers in Panel H2.
 - c. Revise circuit breakers in Panel A1.
 - d. Revise circuit breakers in Panel H.

end of addendum

SECTION 07213

PRE-ENGINEERED BUILDING INSULATION

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Pre-Engineered Building Insulation for Existing Construction.
- B. Aesthetic roof liner retrofit

1.2 RELATED SECTIONS

- A. N/A

1.3 REFERENCES

- A. ASTM E 84 - Standard Test Method for Surface Burning Characteristics of Building Materials.
- B. ASTM E 96 - Standard Test Method for Water Vapor Transmission of Materials in Sheet Form (Procedure B).
- C. ASTM C 665 - Standard Specification for Mineral-Fiber Blanket Thermal Insulation for Light Frame Construction and Manufactured Housing.
- D. NFPA 255 - Standard Method of Test of Surface Burning Characteristics of Building Materials.
- E. UL 723 - Tests for Surface Burning Characteristics of Building Materials.
- F. ASTM C 1136 - Standard Specification for Flexible, Low Permeance Vapor Retarders for Thermal Insulation.

1.4 DESIGN REQUIREMENTS

- A. Insulating system shall have a continuous vapor barrier inside of building girts, and insulation to provide complete isolation from inside conditioned air.
- C. Roof system shall be an aesthetic retrofit of existing roof system, applied over existing insulation and roof purlins. Existing roof features continuous exterior insulation.

1.5 SUBMITTALS

- A. Submit under provisions of Section 01300.
- B. [\[Product Data\]](#): Manufacturer's data sheets on each product to be used, including:
 - 1. Preparation instructions and recommendations.
 - 2. Storage and handling requirements and recommendations.
 - 3. Installation instructions.
- C. Shop Drawings: Indicate locations of connections and attachments, general details, anchorages and method of anchorage and installation.

- D. Verification Samples: For each finish product specified, two samples, minimum size 6 inches (150 mm) square or long, representing actual products required for this project.
- E. Manufacturer's Certificate: Certify products meet or exceed specified requirements.

1.6 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacturing product systems specified in this section with minimum ten years documented experience.
- B. Installer Qualifications: Company specializing in performing work of this section.
- C. Insulation system components to include a ten-year limited material warranty.

1.7 DELIVERY, STORAGE, AND HANDLING

- A. Store products in manufacturer's unopened packaging until ready for installation.
- B. Store products indoors and protect from moisture, construction traffic, and damage.

1.8 PROJECT CONDITIONS

- A. Maintain environmental conditions (temperature, humidity, and ventilation) within limits recommended by manufacturer for optimum results. Do not install products under environmental conditions outside manufacturer's absolute limits.

PART 2 PRODUCTS

2.1 MANUFACTURERS

- A. Acceptable Manufacturer: Thermal Design, Inc., Simple Saver System. P.O. Box 468, 601 N. Main Street, Madison, NE 68748. ASD. Tel: (800) 255-0776 or (402) 454-6591. Fax: (402) 454-2708. Email: sales@thermaldesign.com, www.thermaldesign.com.
- B. Requests for substitutions will be considered in accordance with provisions of Section 01600.

2.2 MATERIALS

- A. **Walls:** Simple Saver System consists of Blanket Insulation, Wall Insulation, Vapor Barrier Liner Fabric, Thermal Breaks, Straps, and other devices and components in a proprietary insulation system as follows:
 - 1. Wall Insulation: Formaldehyde-free fiberglass blanket or batt complying with ASTM C 991 Type 1, ASTM E 136 and ASTM E 84 with a thermal resistance and thickness as follows:
 - a. R-19, 6" for existing 6.5 inch girts.
 - 2. At walls: Vapor Barrier Liner Fabric: Syseal® type woven, reinforced, high-density polyethylene yarns coated on both sides with a continuous white or colored polyethylene coatings, as follows:
 - a. Product complies with ASTM C 1136, Types I through Type VI.
 - b. Perm rating: 0.02 for fabric and for seams in accordance with ASTM E 96.
 - c. Flame/Smoke Properties:

- 1) 25/50 in accordance with ASTM E 84.
 - 2) Self-extinguishes with field test using matches or butane lighter.
 - d. Ultra violet radiation inhibitor to minimum UVMAX® rating of 8.
 - e. Size and seaming: Manufactured in large custom pieces by triple extrusion welding from roll goods, and fabricated to substantially fit defined building area with minimum practicable job site sealing.
 - f. Provide with factory triple, extrusion welded seams. Stapled seams or heat-melted seams are not acceptable due to degradation of fabric.
 - g. Factory-folded to allow for rapid installation.
 - h. Color:
 - 1) White.
 3. Vapor Barrier Lap Sealant: Solvent-based, Simple Saver polyethylene fabric adhesive.
 4. Vapor Barrier Tape: Double-sided sealant tape 3/4 inch (19 mm) wide by 1/32 inch (.79 mm) thick.
 5. Vapor Barrier Patch Tape: Single-sided, adhesive backed sealant tape 3 inches (76 mm) wide made from same material as Syseal® type liner fabric.
 6. Thermal Breaks:
 - a. 3/16 inch (4.7 mm) thick by 3 inch (76 mm) wide white, closed-cell polyethylene foam with pre-applied adhesive film and peel-off backing applied to existing building girts.
 7. UVMAX Straps:
 - a. 100 KSI minimum yield tempered, high-tensile-strength steel.
 - b. Size: Not less than 0.020 inch (0.50 mm) thick by 1 inch (25 mm) by continuous length.
 - c. Galvanized, primed, and painted to match specified finish color on the exposed side.
 - d. Color:
 - 1) White.
 8. Fasteners:
 - a. For light gage steel: #12 by 3/4 (19 mm) inch plated Tek 2 type screws with sealing washer, painted to match specified color.
 - b. For heavy gage steel: #12 by 1-1/2 inch (38 mm) plated Tek 4 type screws with sealing washer, painted to match specified color.
 9. Wall Insulation Hangers: Fast-R preformed rigid hangers, 32 inch (813 mm) long galvanized steel strips with barbed arrows every 8 inches (203 mm) along its length.
- B. **Roof:** Simple Saver System consists of Perforated Liner Fabric, Straps, and other devices and 07213-3 components in a proprietary insulation system as follows:
1. Vapor Barrier Liner Fabric: Syseal® type woven, reinforced, high-density polyethylene yarns coated on both sides with a continuous white or colored polyethylene coatings, as follows:
 - a. Product complies with ASTM C 1136, Types I through Type VI.
 - b. Syseal liner system fabric perm rating shall not function as a vapor retarder but shall be perforated with 3/16" minimum holes spaced not more than four (4") inches apart in each direction.
 - c. Flame/Smoke Properties:
 - 1) 25/50 in accordance with ASTM E 84.
 - 2) Self-extinguishes with field test using matches or butane lighter.
 - d. Ultra violet radiation inhibitor to minimum UVMAX® rating of 8.
 - e. Size and seaming: Manufactured in large custom pieces by triple extrusion welding from roll goods, and fabricated to substantially fit defined building area with minimum practicable job site sealing.
 - f. Provide with factory triple, extrusion welded seams. Stapled

- seams or heat-melted seams are not acceptable due to degradation of fabric.
- g. Factory-folded to allow for rapid installation.
- h. Color:
 - 1) White.
- 2. Vapor Barrier Lap Sealant: Solvent-based, Simple Saver polyethylene fabric adhesive.
- 3. Vapor Barrier Tape: Double-sided sealant tape 3/4 inch (19 mm) wide by 1/32 inch (.79 mm) thick.
- 4. Vapor Barrier Patch Tape: Single-sided, adhesive backed sealant tape 3 inches (76 mm) wide made from same material as Syseal® type liner fabric
- 5. UVMAX Straps:
 - a. 100 KSI minimum yield tempered, high-tensile-strength steel.
 - b. Size: Not less than 0.020 inch (0.50 mm) thick by 1 inch (25 mm) by continuous length.
 - c. Galvanized, primed, and painted to match specified finish color on the exposed side.
 - d. Color:
 - 1) White.
- 6. Fasteners:
 - a. For light gage steel: #12 by 3/4 (19 mm) inch plated Tek 2 type screws with sealing washer, painted to match specified color.

PART 3 EXECUTION

3.1 EXAMINATION

- A. Verify that building structure including all bracing and any concealed building systems are completed and approved prior to installing liner system and insulation in the structure.
- B. Correct any unsatisfactory conditions before proceeding.
- C. If conditions are the responsibility of another installer, notify Architect of unsatisfactory preparation before proceeding.

3.2 INSTALLATION - GENERAL

- A. Install pre-engineered building insulation system in accordance with manufacturer's installation instructions and the approved shop drawings.
- B. Prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions.
- C. Install in exterior spaces without gaps or voids. Do not compress insulation.
- D. Trim insulation neatly to fit spaces. Insulate miscellaneous gaps and voids.
- E. Fit insulation tight in spaces and tight to exterior side of the sealed liner fabric and around mechanical and electrical services within plane of insulation.
- F. Verify penetrations in existing roof are patch and filled with insulation compatible with existing system.

3.3 WALL INSULATION INSTALLATION

- A. Insulation:
 - 1. Install thermal break to exterior surface of girts as wall sheathing is applied.
 - 2. Install self-sticking foam thermal break to interior surface of girts prior to installation of insulation.
 - 3. Position and secure Fast-R hangers to girts on the inside face of the wall sheathing.
 - 4. Cut insulation to required lengths to fit vertically between girts.
 - 5. Fluff the insulation to the full-specified thickness.
 - 6. Neatly position in place and secure to Fast-R hangers.
 - 7. Ensure that cavities are filled completely with insulation.

- B. Vapor Barrier Fabric:
 - 1. Install vapor barrier fabric in large one-piece custom fabricated pieces to substantially fit defined building areas with minimum practicable job site sealing.
 - 2. Apply the vapor barrier fabric by clamping it in position over eave strap and installing fasteners through the eave strap into each roof strap, permanently clamping the wall fabric between them.
 - 3. Once in position, draw the vapor barrier fabric down over the column flanges to the base angle and install vertical straps along each column and 5 feet 0 inches on center, maximum, fastening to each girt to retain system permanently in place.
 - 4. All seams must be completely sealed and stapled seams not acceptable.

- C. Seal wall fabric to the roof fabric, to the base angle and up the columns to provide a continuous vapor barrier.

3.4 ROOF INSULATION INSTALLATION

- A. Straps:
 - 1. Cut straps to length and install in the pattern and spacings indicated on shop drawings.
 - 2. Tension straps to required value.

- B. Roof Liner Fabric:
 - 1. Install fabric in large one-piece custom fabricated pieces to substantially fit defined building areas with minimum practicable job site sealing.
 - 2. Position pre-folded fabric on the strap platform along one eave purlin.
 - 3. Clamp the two bottom corners at the eave and also centered on the bay.
 - 4. Pull the other end of the pleat-folded fabric across the building width on the strap platform, pausing only at the ridge to fasten the straps and fabric in position where plane of roof changes and to release temporary fasteners on the opposite ridge purlins.
 - 5. Once positioned, install fasteners from the bottom side at each strap/purlins intersection.
 - 6. Trim edges and seal along the rafters.
 - 7. All seams must be completely sealed and stapled seams not acceptable.

- C. Seal liner fabric to the wall fabric.

3.5 CLEANING

- A. Clean dirt or exposed sealant from the exposed vapor barrier fabric.

- B. Remove scraps and debris from the site.

3.6 PROTECTION

- A. Protect system products until completion of installation.
- B. Repair or replace damaged products before completion of insulation system installation.

END OF SECTION

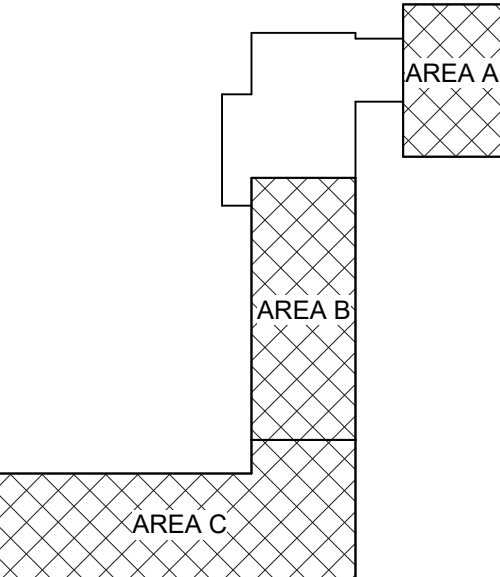
GENERAL DEMOLITION NOTES

- REFERENCE STANDARDS:
 - A. 29 CFR 1926 - U.S. OCCUPATIONAL SAFETY AND HEALTH STANDARDS, CURRENT EDITION.
 - B. NFPA 241 - STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, 2019.
- COMPLY WITH APPLICABLE CODES AND REGULATIONS FOR DEMOLITION OPERATIONS AND SAFETY OF ADJACENT STRUCTURES AND THE PUBLIC.
- QUALITY ASSURANCE:
 - A. DEMOLITION FIRM QUALIFICATIONS: COMPANY SPECIALIZING IN THE TYPE OF WORK REQUIRED.
 - B. MINIMUM OF FIVE YEARS OF DOCUMENTED EXPERIENCE. DO NOT BEGIN REMOVAL WORK UNTIL RECEIPT OF NOTIFICATION TO PROCEED FROM OWNER.
- VERIFY EXISTING FIELD CONDITIONS, REPORT DISCREPANCIES TO ARCHITECT.
- DEMOLITION WORK AS SHOWN ON THE DRAWINGS IS TO INDICATE, IN A GENERAL MANNER, THE REMOVAL OF EXISTING CONSTRUCTION AND IS NOT INTENDED TO BE INCLUSIVE. PROVIDE ALL DEMOLITION REQUIRED TO ACCOMMODATE OR INSTALL ALL WORK FOR ALL TRADES. VERIFY CONDITIONS AT BUILDING SITE.
- FILL EXCAVATIONS, OPEN PITS, AND HOLES IN GROUND AREAS GENERATED AS RESULT OF REMOVALS, USING SPECIFIED FILL, COMPACT FILL IN CIVIL DOCUMENTS.
- SHORING AND BRACING: PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING AND BRACING.
- LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF UTILITIES IN BUILDINGS TO BE DEMOLISHED.
- REFER TO CIVIL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR REQUIRED DEMOLITION AND FOR ITEMS TO REMAIN IN AREAS OF DEMOLITION.
- REMOVE ALL FLOOR/CILING MOUNTED ITEMS, DEVICES, CONDUIT, ETC. TO ACCOMMODATE NEW WORK.
- SEPARATE AREAS IN WHICH DEMOLITION IS BEING CONDUCTED FROM OTHER AREAS THAT ARE STILL OCCUPIED.
- PROVIDE, ERECT, AND MAINTAIN TEMPORARY DUSTPROOF PARTITIONS OF CONSTRUCTION APPROPRIATE FOR THE TASK AND IN LOCATIONS AS DECIDED BY CONSTRUCTION MANAGER AND OWNER.
- CONDUCT OPERATIONS TO MINIMIZE OBSTRUCTION OF PUBLIC AND PRIVATE ENTRANCES AND EXITS; DO NOT OBSTRUCT REQUIRED EXITS AT ANY TIME; PROTECT PERSONS USING ENTRANCES AND EXITS FROM REMOVAL OPERATIONS.
- PROTECT EXISTING CONSTRUCTION TO REMAIN. ALL CONSTRUCTION TO REMAIN WHICH AFFECTED BY DEMOLITION SHALL BE PATCHED, REPAIRED, PROPERLY MEMBERED, AND ALIGNED AS TO LEAVE NO EVIDENCE OF REPAIR.
- CLEAN AND PREPARE ALL SURFACES SCHEDULED TO RECEIVE NEW FINISHES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL ITEMS NOT REMOVED BY OWNER. OWNER RESERVES THE RIGHT TO SALVAGE ITEMS REMOVED BY CONTRACTOR.

FLOOR PLAN DEMO NOTES

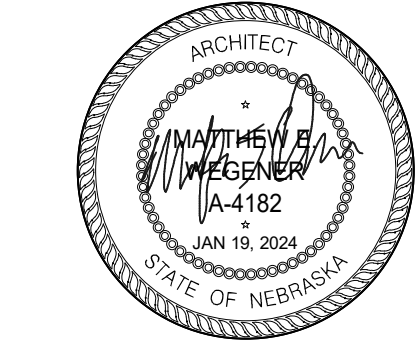
- REMOVE METAL WALL PANEL OF EXISTING EXTERIOR WALL AS REQUIRED TO INSTALL NEW METAL PANEL. SEE ELEVATIONS.
- REMOVE EXISTING EXTERIOR WALL ASSEMBLY FOR NEW OPENING. COORDINATE WITH NEW CONSTRUCTION.
- REMOVE EXISTING OVERHEAD DOOR COMPLETE.
- REMOVE EXISTING WALL CONSTRUCTION COMPLETE.
- REMOVE EXISTING HALF-HEIGHT CMU WALL COMPLETE.
- REMOVE EXISTING STOREFRONT COMPLETE. SEE ELEVATIONS FOR LOCATIONS.
- REMOVE EXISTING INTERIOR STOREFRONT COMPLETE.
- REMOVE EXISTING DOOR, FRAME AND HARDWARE COMPLETE.
- REMOVE EXISTING FLOOR TILE AND BASE. CLEAN/PREP FLOOR AND WALL FOR INSTALLATION OF NEW FINISH FLOOR. COORDINATE WITH EXISTING CONSTRUCTION.
- HOTSY EQUIPMENT, REMOVED BY OWNER. PATCH ROOF PENETRATIONS.
- REMOVE EXISTING CASEWORK COMPLETE.
- REMOVE EXISTING SERVICE LIFT COMPLETE. SALVAGE FOR OWNER.
- REMOVE EXISTING STRUCTURAL STEEL COLUMN. SEE STRUCTURAL DRAWINGS FOR COMPLETE EXTENTS.
- REMOVE EXISTING CAR DISPLAY FEATURE.
- REMOVE EXISTING THICKEND SLAB.
- REMOVE EXISTING BOLLARD.
- REMOVE EXISTING CARPET AND WALL BASE.
- REMOVE EXISTING VINYL FLOOR.
- REMOVE EXISTING FLOOR TILE AND BASE. REMOVE ALL EXISTING GRAB BARS AND TOILET ACCESSORIES (PROTECT OR SALVAGE RECESSED TOWEL DISPENSER COMBO FOR REUSE). REMOVE ALL EXISTING PLUMBING FIXTURES AND MIRRORS, REMOVE ALL COUNTERTOPS, AND ALL TOILET PARTITIONS COMPLETE. CLEAN/PREP FLOOR AND WALL FOR INSTALLATION OF NEW FINISH FLOOR.
- REMOVE EXISTING ROOF LADDER AS REQUIRED FOR NEW WORK. SALVAGE FOR REINSTALLATION.
- REMOVE PORTION OF EXISTING METAL BUILDING COMPLETE. COORDINATE WITH NEW CONSTRUCTION.
- REMOVE EXISTING METAL PANEL.
- REMOVE EXISTING RECEPTION DESK COMPLETE.
- DEMO WALL AS REQUIRED FOR NEW STRUCTURAL CONNECTION.
- REMOVE EXISTING LINER PANEL.
- REMOVE EXISTING EYE WASH STATION. SEE MECH.
- REMOVE EXISTING COLUMN. SEE STRUCT.
- REMOVE EXISTING FURRING WALL. COMPLETE.
- REMOVE CONC. FLOOR SLAB COMPLETE.
- REMOVE EXISTING GWB ABOVE LINER PANEL.
- COORDINATE REMOVAL OF EXTERIOR WALL PANEL WITH STRUCTURAL MODIFICATIONS AT NEW OPENINGS. SALVAGE PANELS FOR RE-USE.
- REMOVE EXISTING HALF-HEIGHT WOOD FRAMED WALL ASSEMBLIES COMPLETE.
- REMOVE EXISTING WOOD FRAMED MEZZANINE AND STAIR ASSEMBLY COMPLETE.
- NEW DOOR IN EXISTING FRAME TO REMAIN. SEE DOOR SCHEDULE.
- PLUMBING TRENCH. SEE PLUMBING DRAWINGS.
- REMOVE EXISTING 1/2" PLYWOOD SHEATHING AS SHOWN ON DRAWING IN PREP FOR NEW 3/4" SHEATHING.

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION
1	02/01/2024	Addendum 1

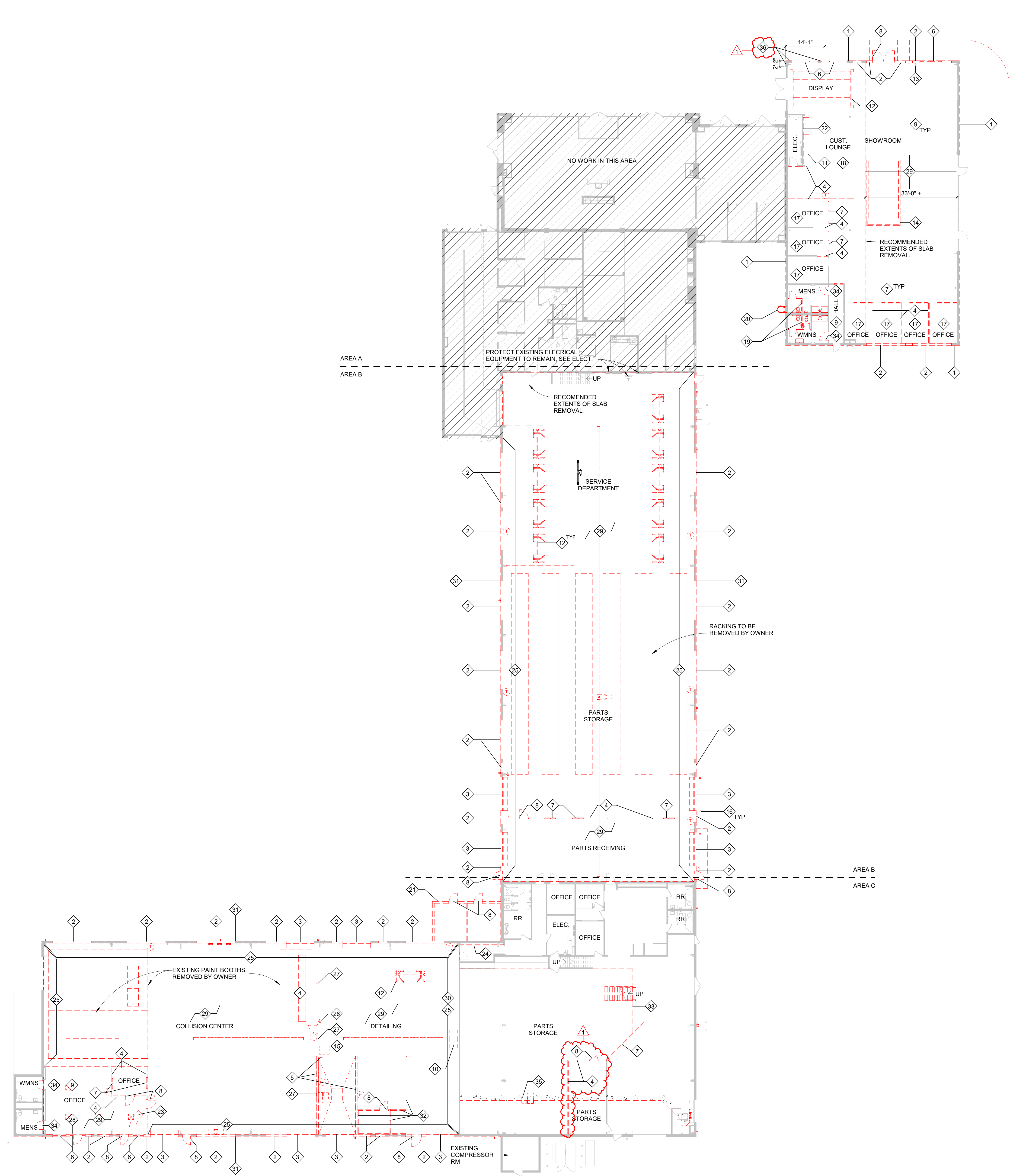


WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS

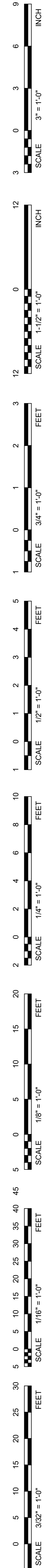
PROJECT: 23043 DATE: DEC 19, 2023
PROJECT STATUS: CD SUBMITTAL



DEMO PLAN



1 FIRST FLOOR - DEMO PLAN
1/16" = 1'-0"



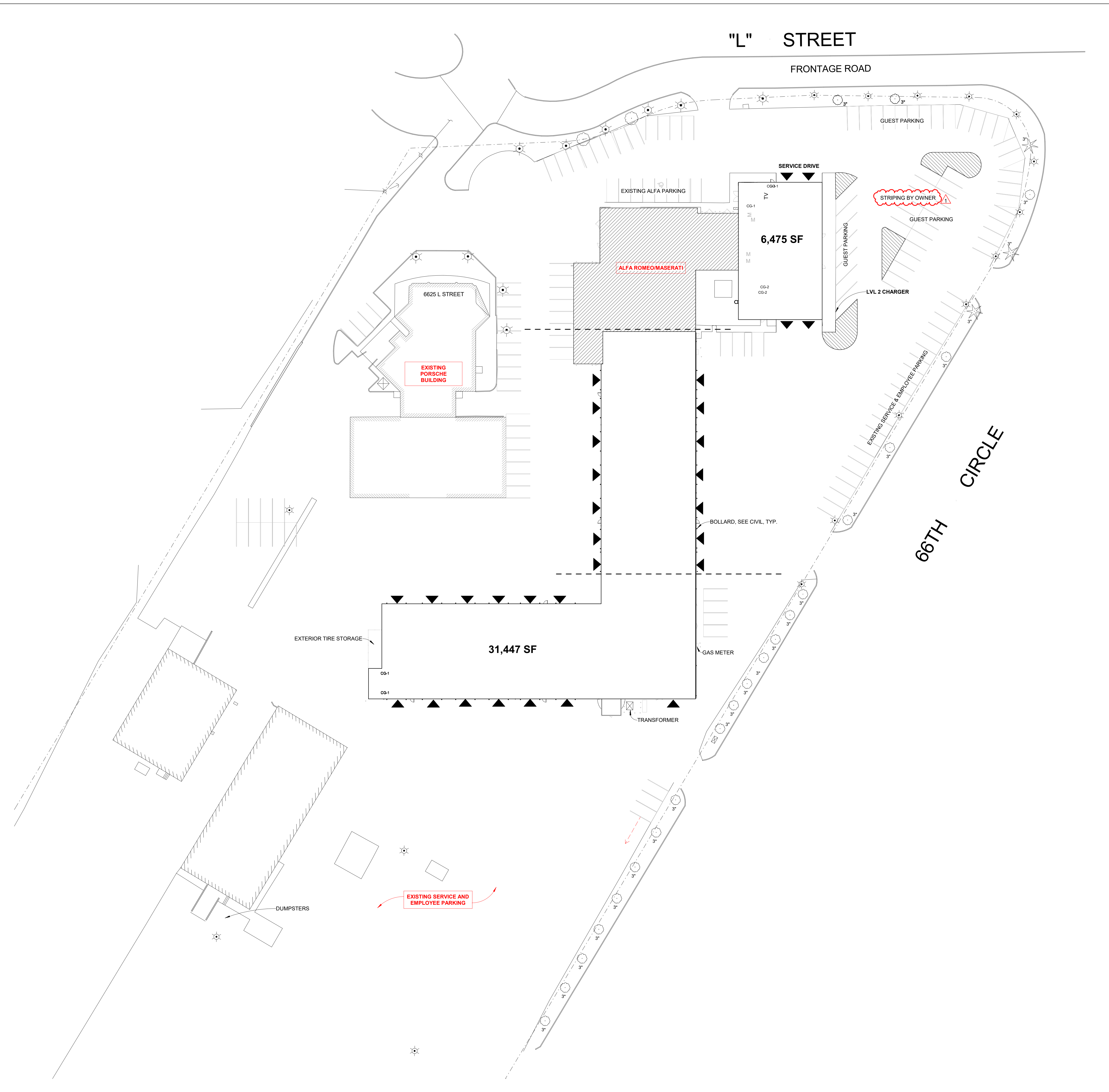
ARCHITECT
 BVH ARCHITECTURE
 901 JONES STREET
 OMAHA, NE 68102
 V 402 345 3090
 F 402 345 7871
 bvh.com

CIVIL ENGINEER
 LAMP RYNEARSON
 14710 W DODGE RD #100
 OMAHA, NE 68154
 V 402 496 2498
 tra-inc.com

STRUCTURAL ENGINEER
 LANGE STRUCTURAL GROUP
 1919 S 40TH STREET, SUITE 302
 LINCOLN, NE 68506
 V 402 421 9540
 langestructuralgroup.com

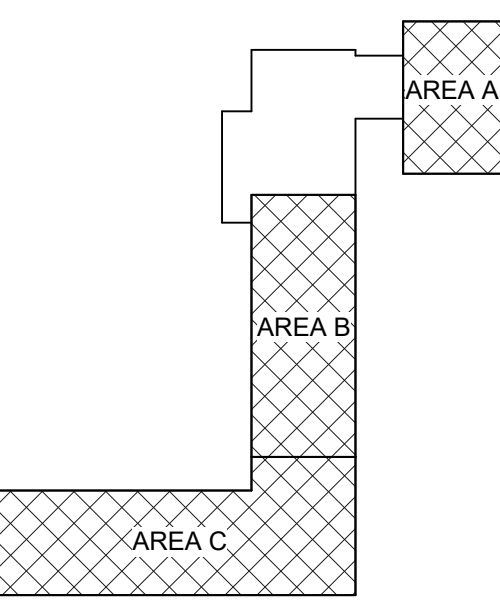
MEP ENGINEER
 MORRISSEY ENGINEERING
 4940 N 118TH ST
 OMAHA, NE 68184
 V 402 491 4144
 morrisseyengineering.com

9 INCH SCALE 3" = 1'-0"
 12 INCH SCALE 1'-1/2" = 1'-0"
 3 FEET SCALE 3/4" = 1'-0"
 1 FEET SCALE 1/2" = 1'-0"
 5 FEET SCALE 1/4" = 1'-0"
 2 FEET SCALE 1/8" = 1'-0"
 20 FEET SCALE 1/16" = 1'-0"
 5 FEET SCALE 1/16" = 1'-0"
 30 FEET SCALE 3/32" = 1'-0"
 5 FEET SCALE 1/16" = 1'-0"
 30 FEET SCALE 3/32" = 1'-0"
 5 FEET SCALE 1/16" = 1'-0"



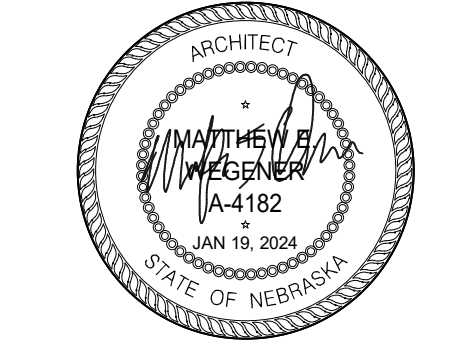
1 ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY
 1" = 30'-0"

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION
1	02/01/2024	Addendum 1



WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS

PROJECT: 23043 DATE: DEC 19, 2023
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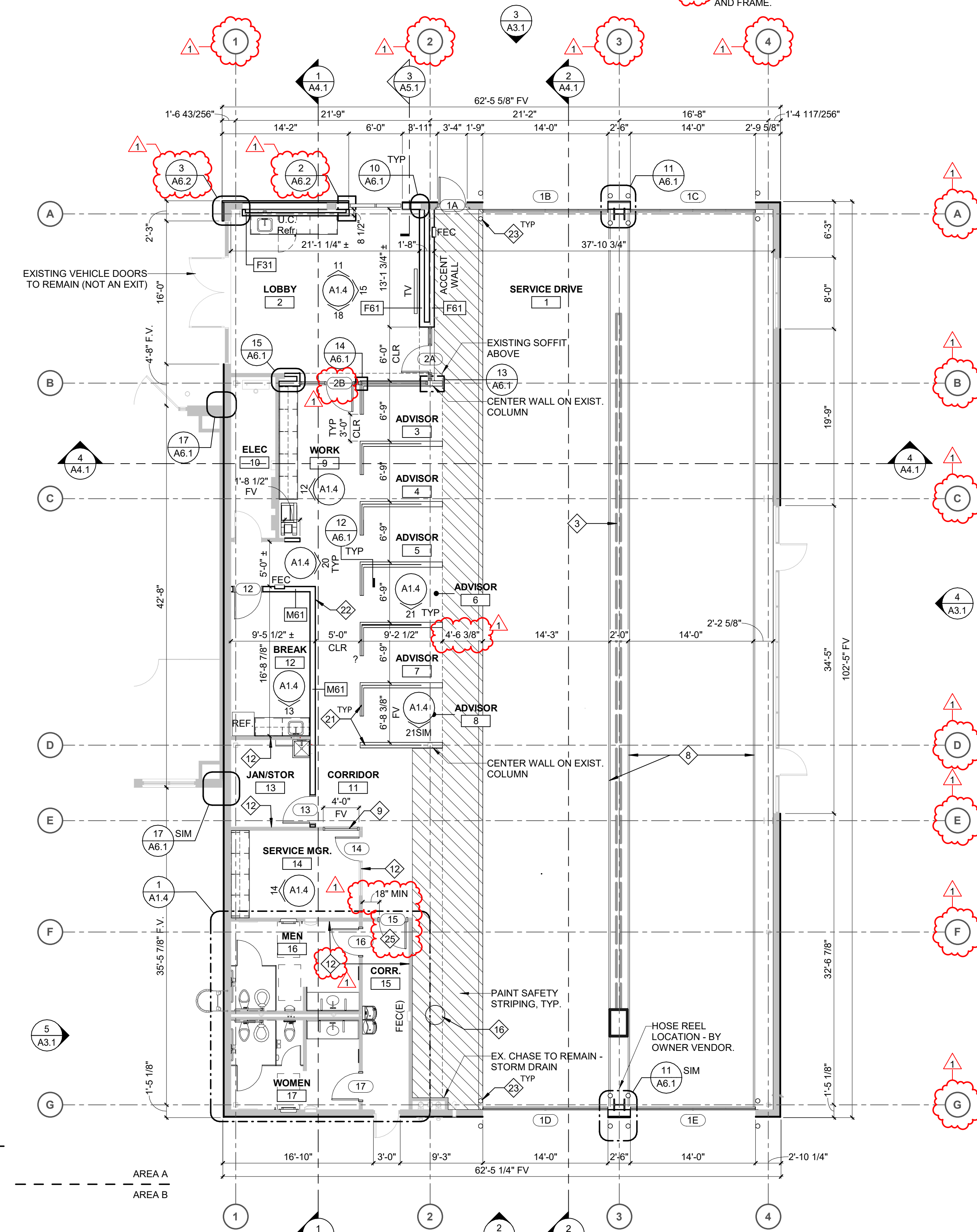
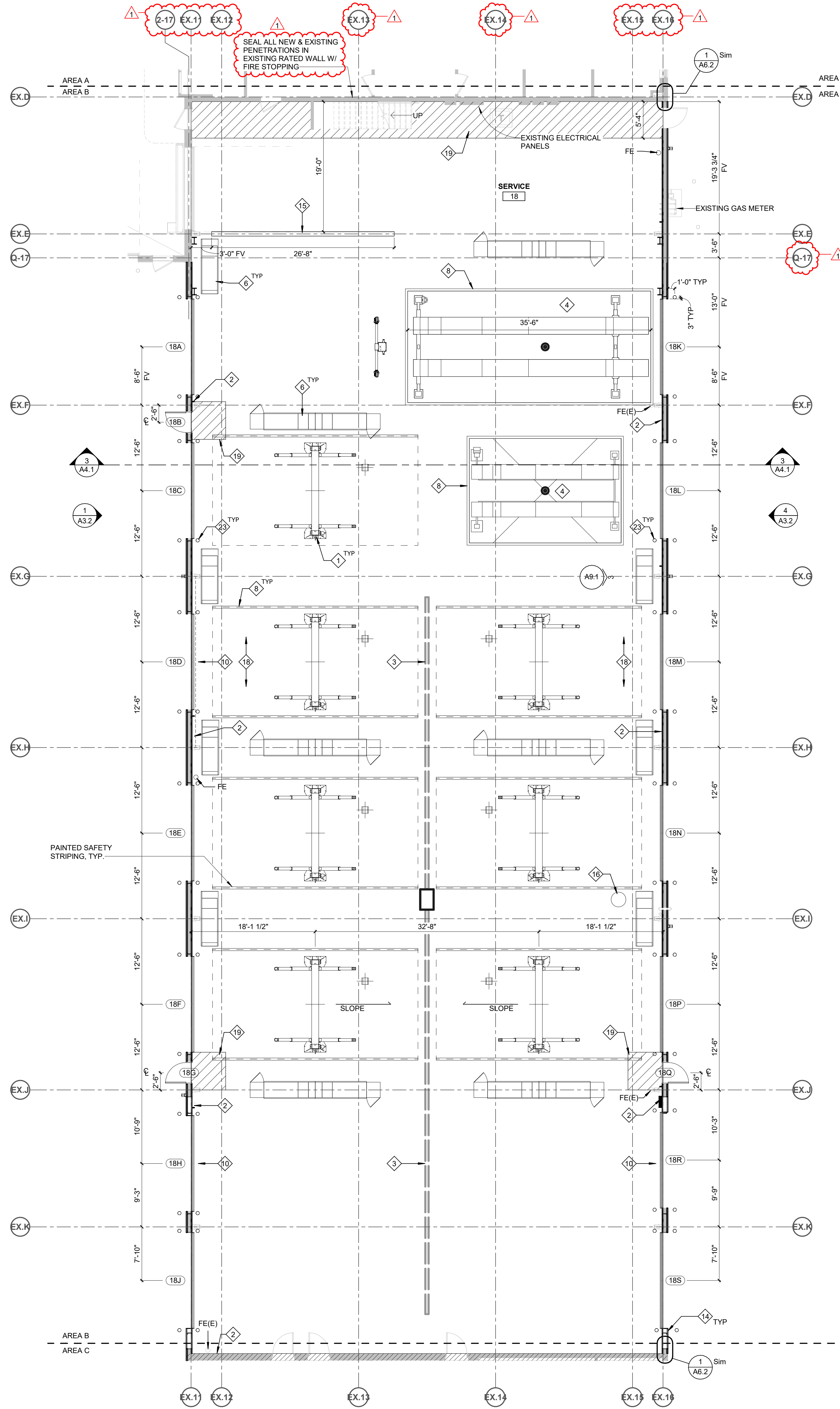
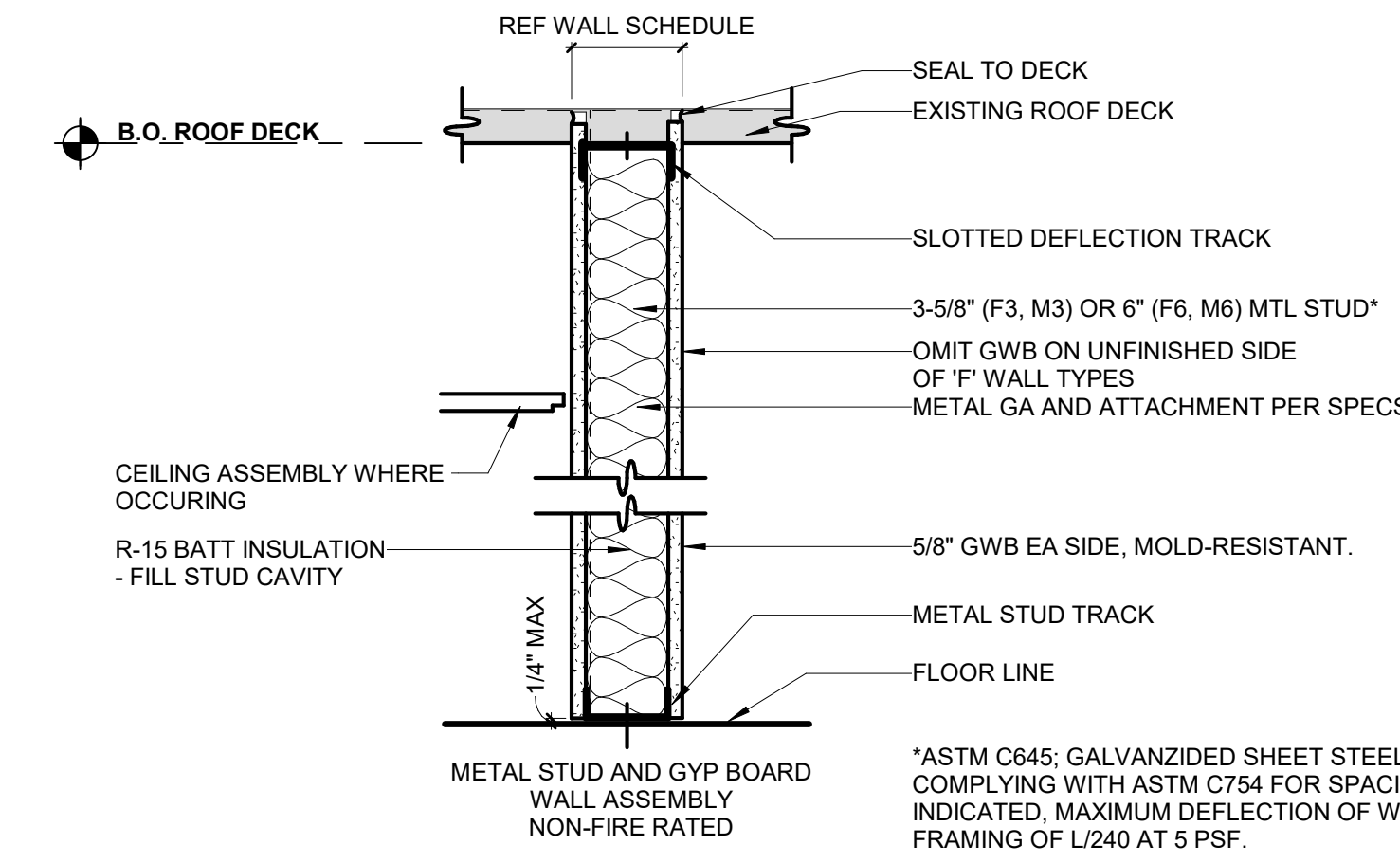
ARCHITECTURAL SITE PLAN AND DETAILS

FLOOR PLAN GENERAL NOTES

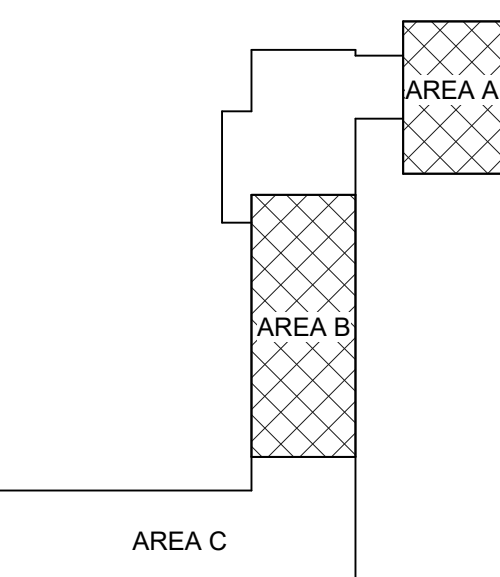
- ALL DIMENSIONS ARE TO FACE OF WALL UNLESS NOTED OTHERWISE.
- FIELD VERIFY ALL DIMENSIONS.
- SHOP EQUIPMENT, VEHICLE EXHAUST, AND COMPRESSED AIR DISTRIBUTION BY OWNER, COORDINATE WITH OWNER'S EQUIPMENT VENDOR.
- PROVIDE 15 MIL VAPOR BARRIER UNDER NEW SLABS, STEGO WRAP OR SIMILAR MEETING ASTM E 1745 CLASS A. SEE STRUCTURAL FOR SLAB THICKNESS. PATCH EXISTING VB WHERE EXISTING SLABS ARE CUT, OR TIE INTO NEW.
- SLOPE SLAB TO DRAINS @ 1/8" / FT.
- DO NOT LOCATE SAW CUT FLOOR JOINTS UNDER VEHICLE LIFT BASE PLATES PER MFR.
- PROVIDE VAPOR RETARDANT PAINT PRIMER AS INDICATED ON FINISH PLAN (14A6.1).
- SEE CIVIL FOR EXTERIOR BOLLARDS.
- FIRE EXTINGUISHERS: DRY CHEMICAL TYPE, 10 POUNDS.
- REFER TO STRUCTURAL FOR ALL STOOB LOCATIONS.
- FE=BRACKET MOUNTED FIRE EXTINGUISHER. FEC=SEMI-RECESSED FIRE EXTINGUISHER CABINET. (E) DENOTES EXISTING.

FLOOR PLAN NOTES

- HD TWIN-POST LIFT BY OWNER.
- NEMA 1450 OUTLET FOR CONNECTION OF LEVEL 2 ELECTRIC VEHICLE CHARGER. SEE ELECT.
- TRENCH DRAIN, SEE MECH. SLOPE SLAB TO DRAIN, 1/8" / FT.
- ALIGNMENT RACK PIT. SLOPE TO DRAIN 1/8" / FT.
- PAINT GWB CEILING TYP.
- WORK BENCH BY OWNER.
- 4" YELLOW PAINTED STRIPE. SEE FINISH PLAN.
- NEW ALUMINUM STOREFRONT.
- SEE STRUCTURE FOR BRACING MODIFICATIONS.
- SEE STRUCTURE FOR NEW BRACING RECONSTRUCT WALL W/ 3-5/8" MTL STUD AND 5/8" GWB. PAINT TO MATCH EXISTING. PROVIDE NEW RUBBER BASE TO MATCH EXISTING, OR SALVAGE EXISTING.
- EXTEND EXISTING WALL TO STRUCTURE. 5/8" GWB EA SIDE.
- REPLACE LINER PANEL AND GWB ABOVE.
- REPLACE WALL ASSEMBLY AS REQ'D FOR NEW OPENING. SEE DETAIL 14A6.1.
- 8" CMU WALL, 5'-0" TALL. BULLNOSE CORNERS.
- OIL INTERCEPTOR BASIN, SEE MECH.
- NEMA 1450 OUTLET FOR CONNECTION OF LEVEL 2 ELECTRIC VEHICLE CHARGER. SEE ELECT.
- NEW METAL WALL LINER PANEL AND THERMAL INSULATION. SEE DETAIL 14A6.1.
- PAINTED CLEARANCE STRIPING, YELLOW.
- ADD (1) LAYER 5/8" GWB TO EXISTING STUDS, APPROX 8'-0" TO STRUCTURE.
- FRAMELESS GLASS ON HALF-HEIGHT WALL @ EA ADVISOR, SEE INT. ELEVATIONS.
- DOOR OPERATOR CONTROL STATION.
- 6" GALVANIZED STL BOLLARD W/ BASE PLATE. PAINT SAFETY YELLOW.
- EXTEND NEW WALL TO ROOF STRUCTURE.
- ENLARGE EXISTING OPENING AS REQUIRED FOR NEW DOOR AND FRAME.



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1	02/01/2024	Addendum 1

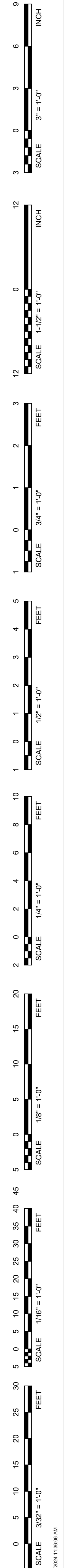


WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS

PROJECT: 23043 DATE: DEC 19, 2023
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FIRST FLOOR PLAN - AREA A & B

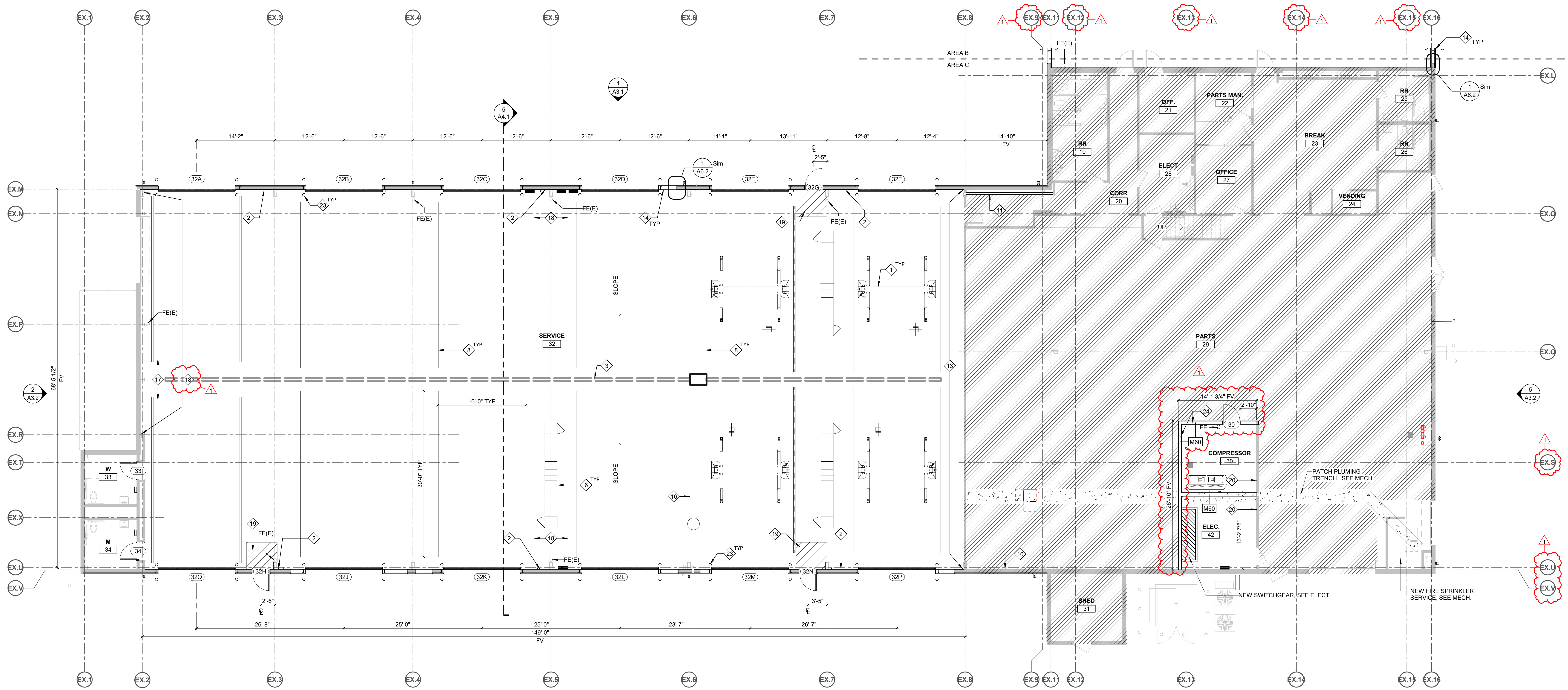
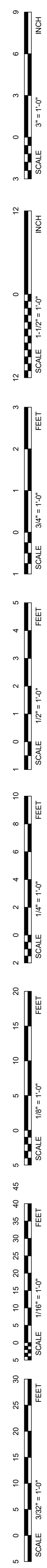


FLOOR PLAN GENERAL NOTES

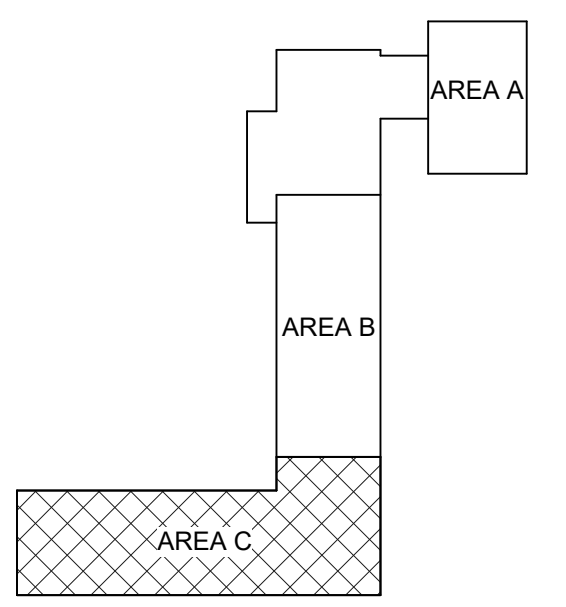
1. ALL DIMENSIONS ARE TO FACE OF WALL U.N.O.
2. FIELD VERIFY ALL DIMENSIONS.
3. SHOP EQUIPMENT, VEHICLE EXHAUST, AND COMPRESSED AIR DISTRIBUTION BY OWNER, COORDINATE WITH OWNER'S EQUIPMENT VENDOR.
4. PROVIDE 15 MIL VAPOR BARRIER UNDER NEW SLABS, STEGO WRAP OR SIMILAR MEETING ASTM E1745 CLASS A. SEE STRUCTURAL FOR SLAB THICKNESS. PATCH EXISTING VB WHERE EXISTING SLABS ARE CUT, OR TIE INTO NEW.
5. SLOPE SLAB TO DRAINS @ 1/8" FT.
6. DO NOT LOCATE SAW CUT FLOOR JOINTS UNDER VEHICLE LIFT BASE PLATES PER MFR.
7. PROVIDE VAPOR RETARDANT PAINT PRIMER AS INDICATED ON FINISH PLAN (14A6.1).
8. SEE CIVIL FOR EXTERIOR BOLLARDS.
9. FIRE EXTINGUISHERS: DRY CHEMICAL TYPE, 10 POUNDS.
10. REFER TO STRUCTURAL FOR ALL STOOP LOCATIONS.
11. FE=BRACKET MOUNTED FIRE EXTINGUISHER. FEC=SEMI-RECESSED FIRE EXTINGUISHER CABINET. (E) DENOTES EXISTING.

FLOOR PLAN NOTES

1. HD TWIN-POST LIFT BY OWNER.
2. NEMA1450 OUTLET FOR CONNECTION OF LEVEL 2 ELECTRIC VEHICLE CHARGER. SEE ELECT.
3. TRENCH DRAIN, SEE MECH. SLOPE SLAB TO DRAIN, 1/8" / FT
4. ALIGNMENT RACK PIT. SLOPE TO DRAIN 1/8" / FT
5. PAINT GWB CEILING P-1, TYP.
6. WORK BENCH BY OWNER
7. 4" YELLOW PAINTED STRIPE. SEE FINISH PLAN
8. NEW ALUMINUM STOREFRONT
9. SEE STRUCTURE FOR BRACING MODIFICATIONS
10. SEE STRUCT FOR NEW BRACING RECONSTRUCT WALL W/ 3-5/8" MTL STUD AND 5/8" GWB. PAINT TO MATCH EXISTING. PROVIDE NEW RUBBER BASE TO MATCH EXISTING, OR SALVAGE EXISTING.
12. EXTEND EXISTING WALL TO STRUCTURE. 5/8" GWB EA SIDE.
13. REPLACE LINER PANEL AND GWB ABOVE.
14. REPLACE WALL ASSEMBLY AS REQ'D FOR NEW OPENING. SEE DETAIL 14A6.1.
15. 8" CMU WALL, 5'-0" TALL. BULLNOSE CORNERS.
16. OIL INTERCEPTOR BASIN, SEE MECH.
17. NEMA1450 OUTLET FOR CONNECTION OF LEVEL 2 ELECTRIC VEHICLE CHARGER. SEE ELECT.
18. NEW METAL WALL LINER PANEL AND THERMAL INSULATION. SEE DETAIL 14A6.1.
19. PAINTED CLEARANCE STRIPING, YELLOW
20. ADD (1) LAYER 5/8" GWB TO EXISTING STUDS, APPROX 8'-0" TO STRUCTURE
21. FRAMELESS GLASS ON HALF-HEIGHT WALL @ EA ADVISOR. SEE INT. ELEVATIONS.
22. DOOR OPERATOR CONTROL STATION.
23. 6" GALVANIZED STL BOLLARD W/ BASE PLATE. PAINT SAFETY YELLOW.
24. EXTEND NEW WALL TO ROOF STRUCTURE.
25. ENLARGE EXISTING OPENING AS REQUIRED FOR NEW DOOR AND FRAME.

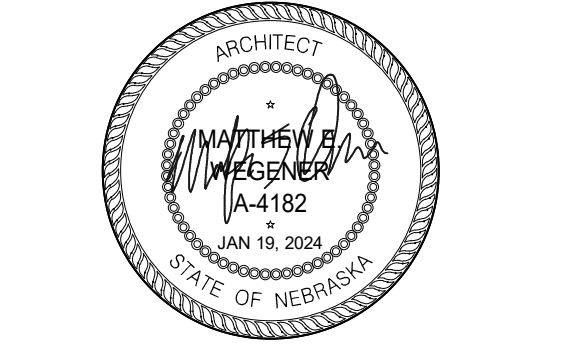


REVISIONS SCHEDULE		
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1	02/01/2024	Addendum 1



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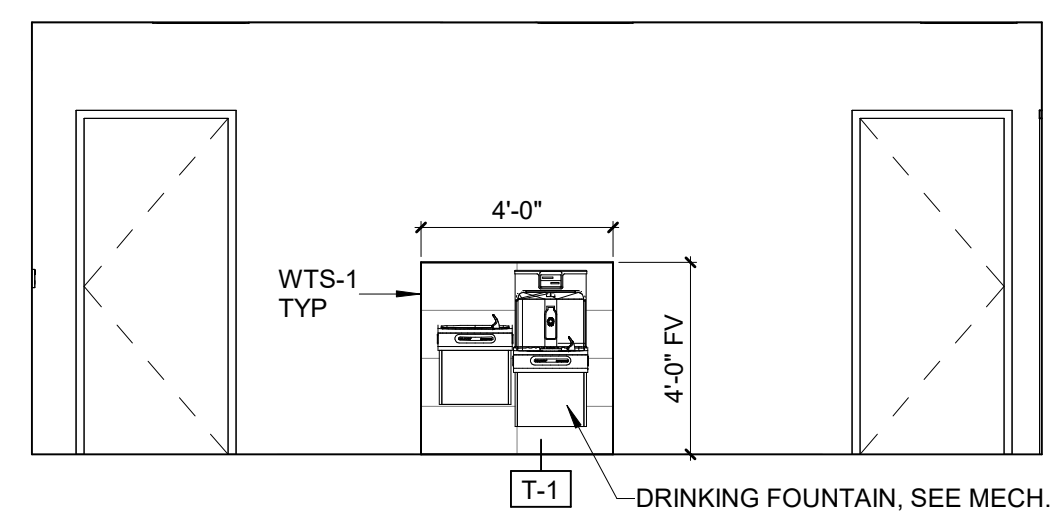
PROJECT: 23043 DATE: DEC 19, 2023
PROJECT STATUS: CD SUBMITTAL



FIRST FLOOR PLAN - AREA C

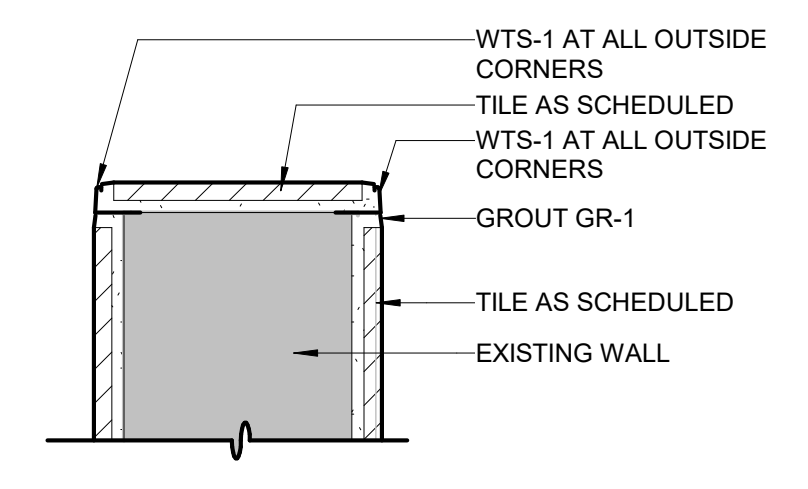
1 FIRST FLOOR PLAN - AREA C
1/8" = 1'-0"

0 3 6 INCH
 SCALE 3" = 1'-0"
 0 3 6 FEET
 SCALE 1-1/2" = 1'-0"
 0 2 4 FEET
 SCALE 3/4" = 1'-0"
 0 2 4 FEET
 SCALE 1/2" = 1'-0"
 0 2 4 FEET
 SCALE 1/4" = 1'-0"
 0 2 4 FEET
 SCALE 1/8" = 1'-0"
 0 5 10 15 20 25 30 35 40 45 FEET
 SCALE 1/16" = 1'-0"
 0 5 10 15 20 25 30 35 40 45 FEET
 SCALE 1/32" = 1'-0"
 0 5 10 15 20 25 30 35 40 45 FEET
 SCALE 3/32" = 1'-0"
 PROJECT: 23043 DATE: DEC 19, 2023
 PROJECT STATUS: CD SUBMITTAL
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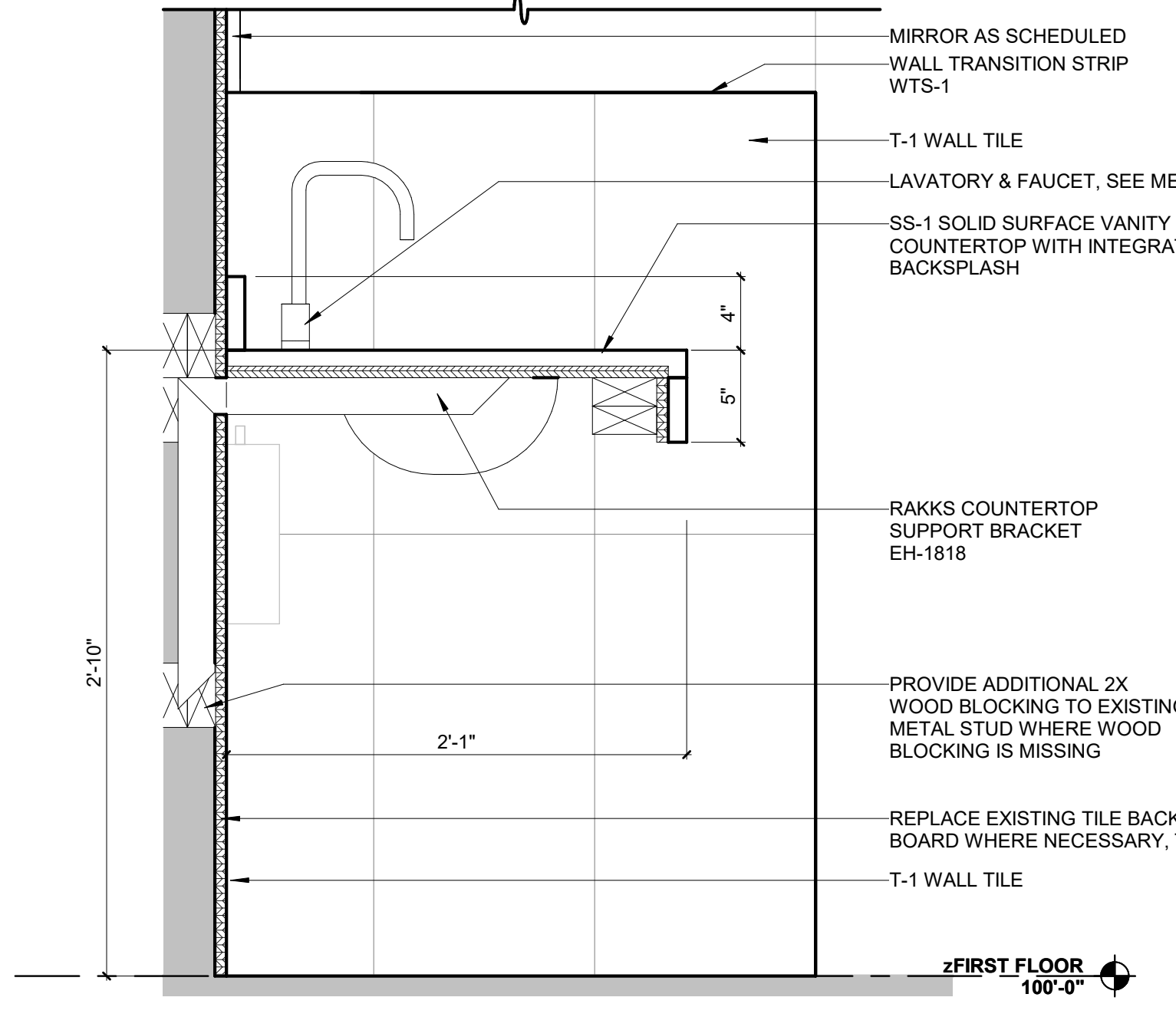


19 CORR 15 WEST
 1/4" = 1'-0"

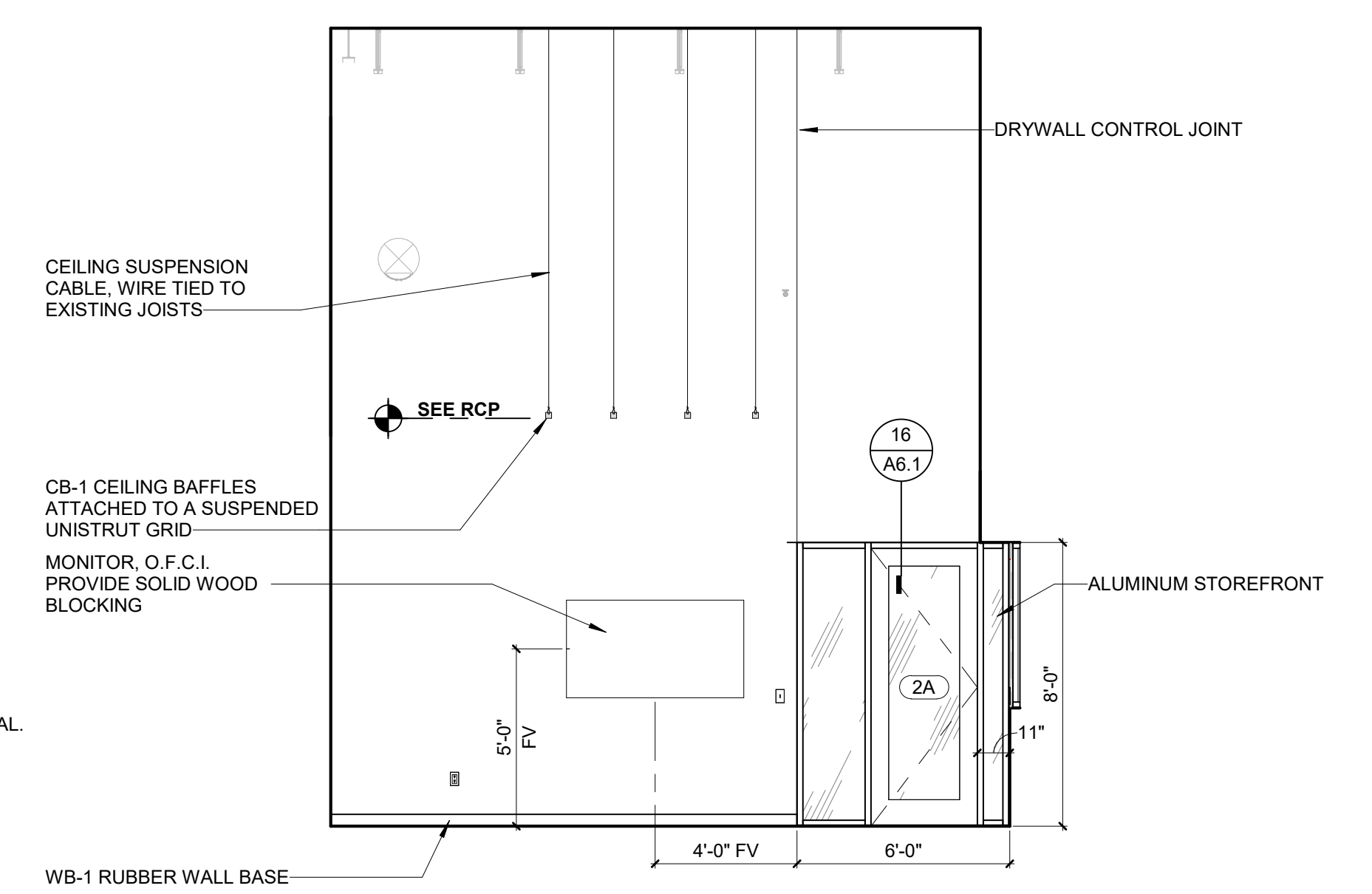
NOTE: REPLACE EXISTING TILE BACKER BOARD AS NECESSARY TO RECEIVE NEW TILE



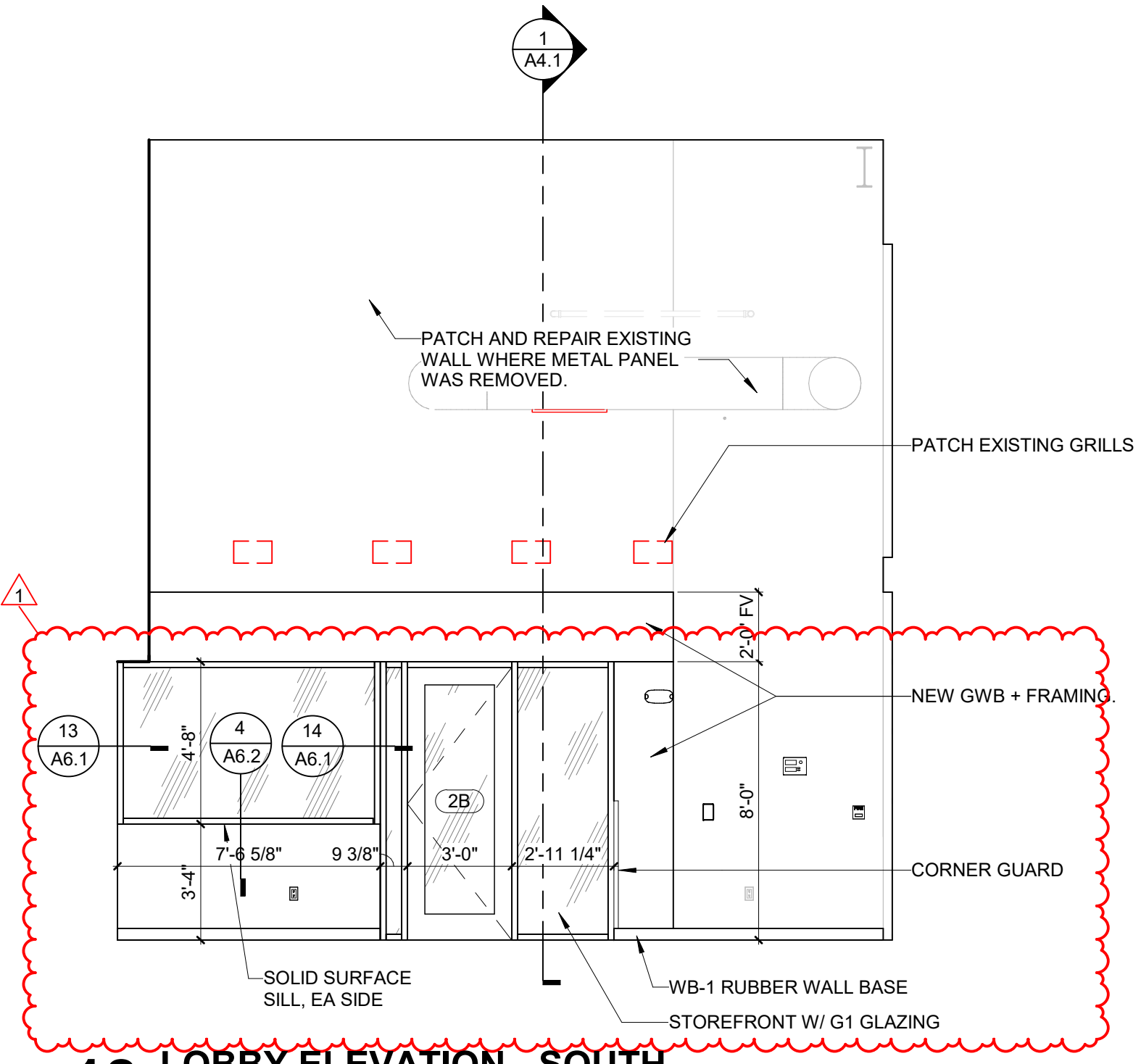
17 DETAIL - TILE OUTSIDE CORNERS
 3" = 1'-0"



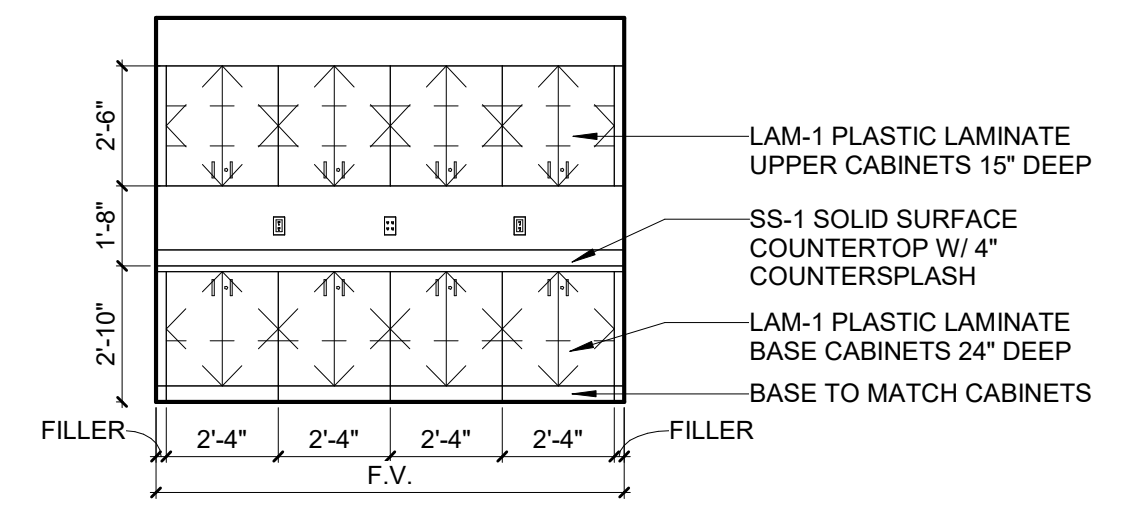
16 DETAIL - RR VANITY COUNTERTOP
 1 1/2" = 1'-0"



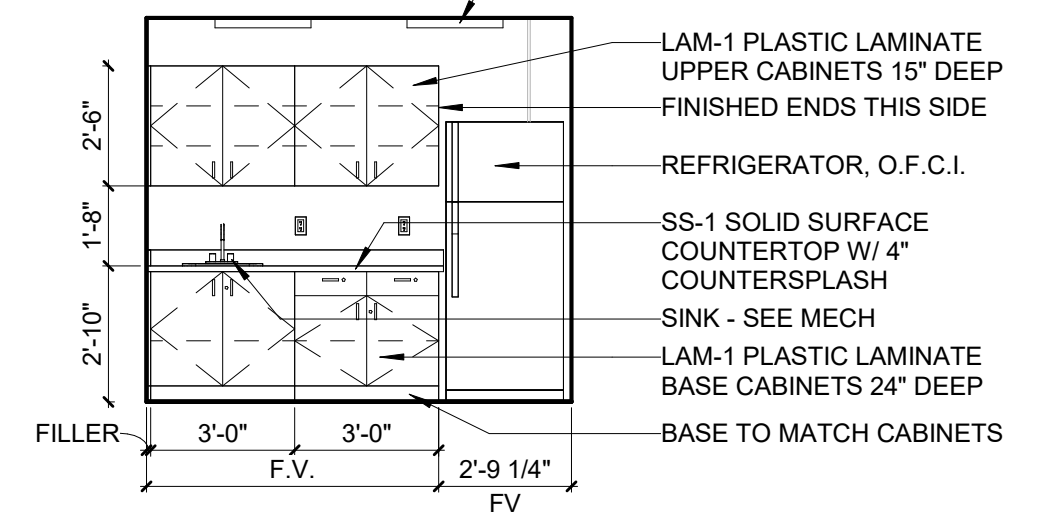
15 LOBBY ELEVATION - EAST
 1/4" = 1'-0"



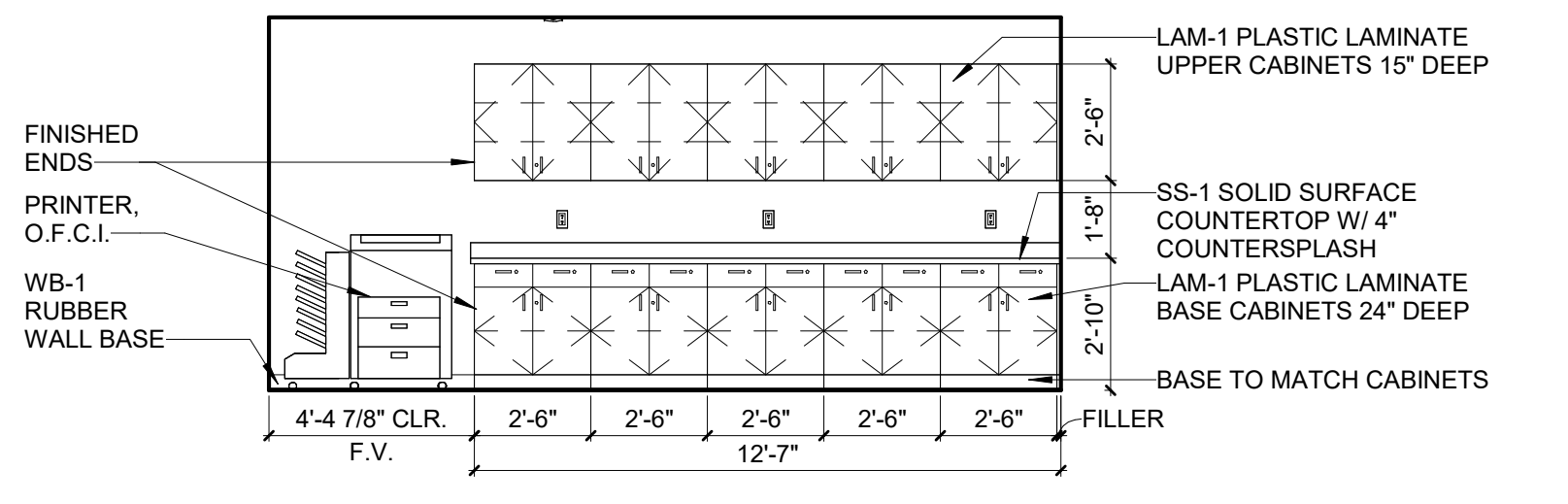
18 LOBBY ELEVATION - SOUTH
 1/4" = 1'-0"



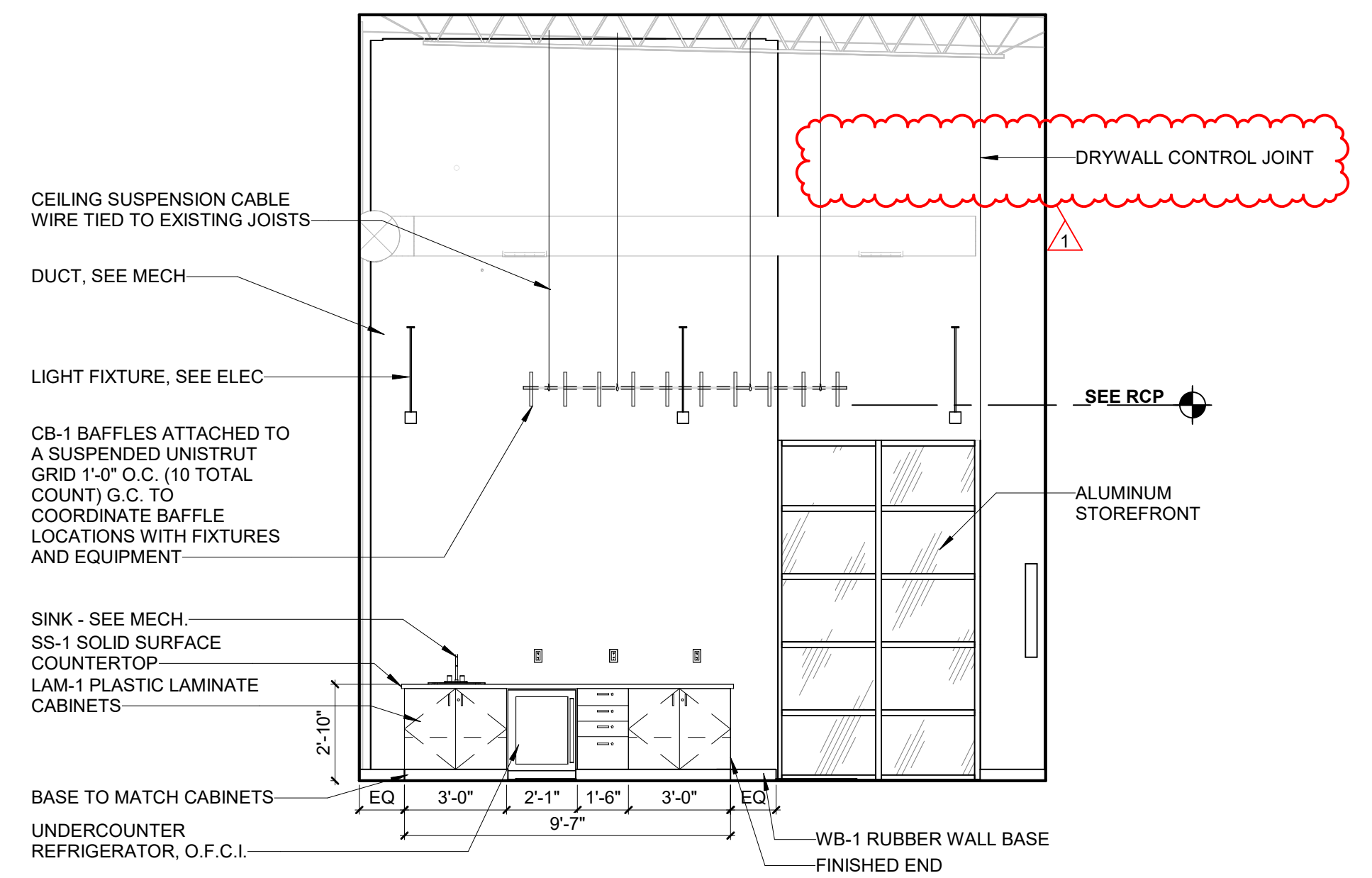
14 SERVICE MANAGER ELEVATION
 1/4" = 1'-0"



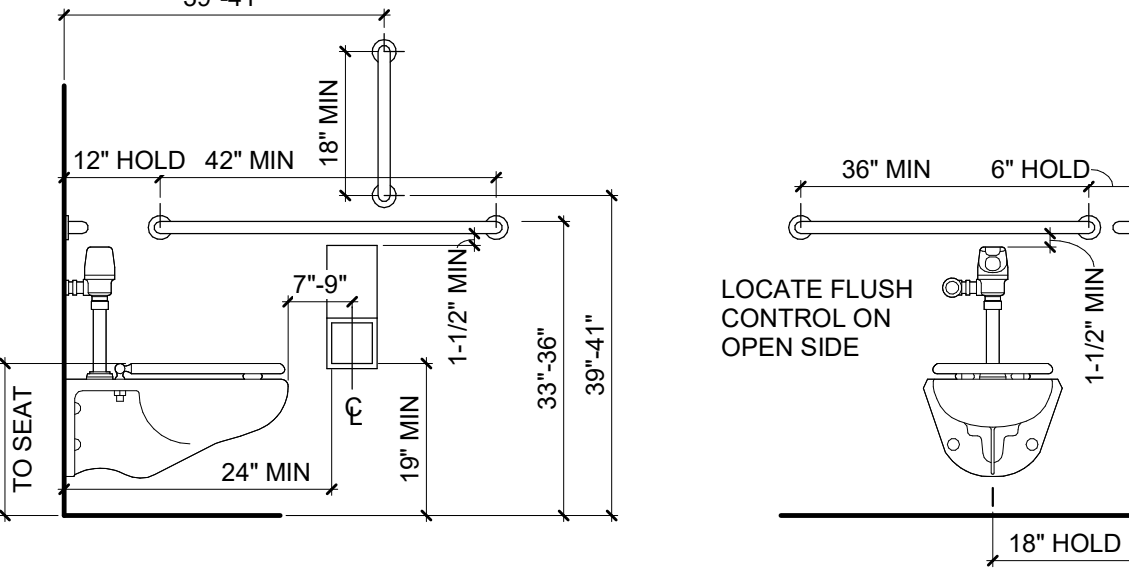
13 BREAK ROOM ELEVATION
 1/4" = 1'-0"



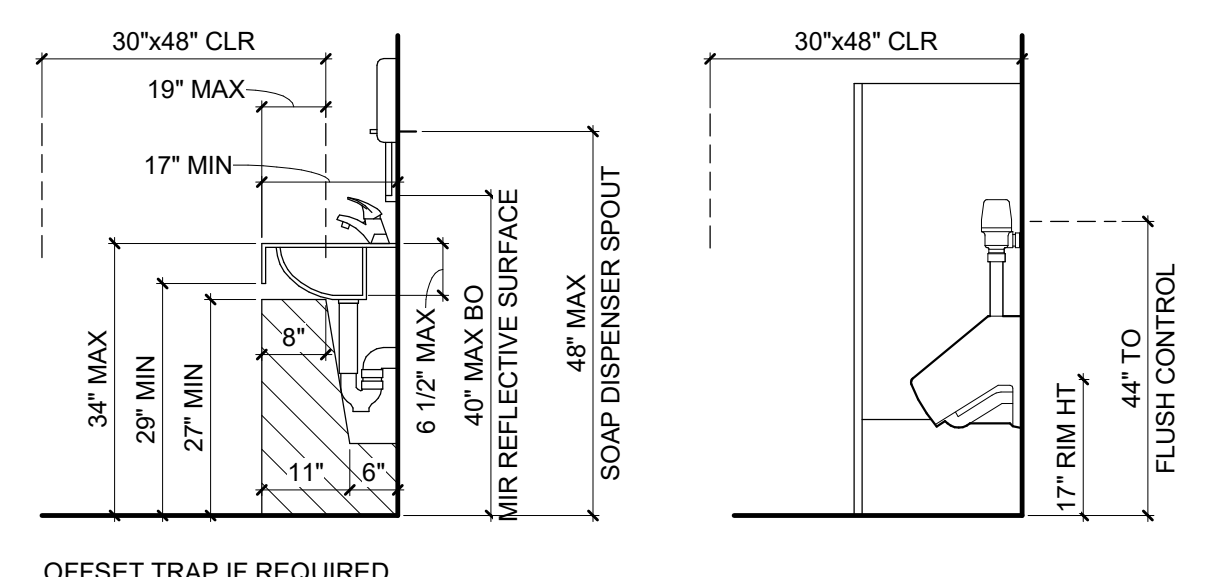
12 WORK ROOM ELEVATION
 1/4" = 1'-0"



11 LOBBY ELEVATION - NORTH
 1/4" = 1'-0"

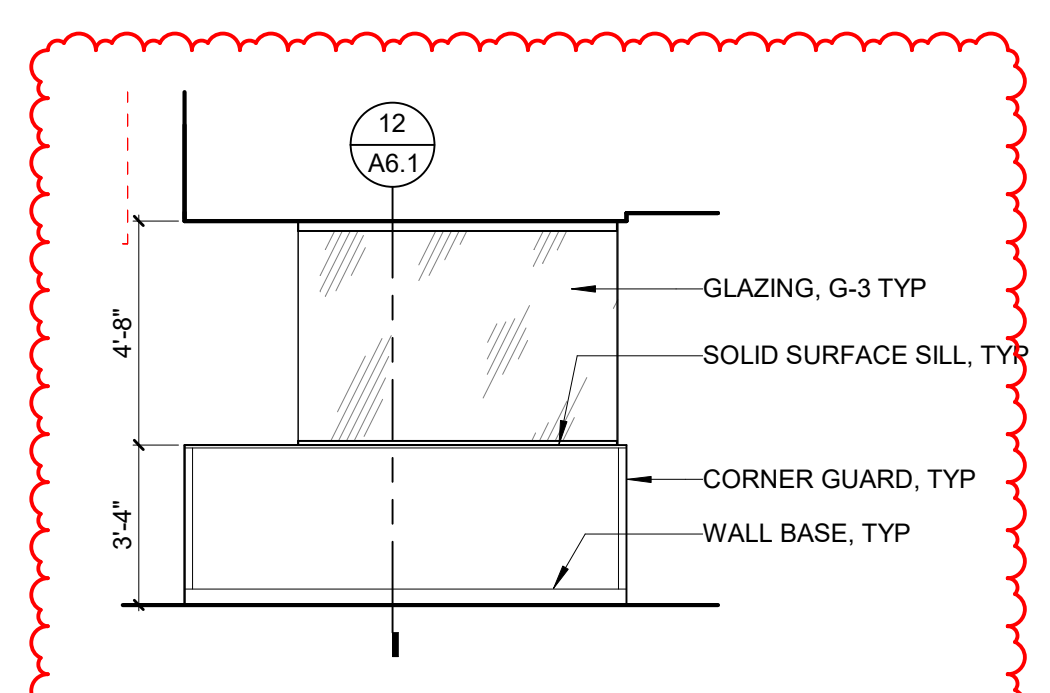


10 ACCESSIBLE PLUMBING FIXTURE GUIDELINES
 1/2" = 1'-0"

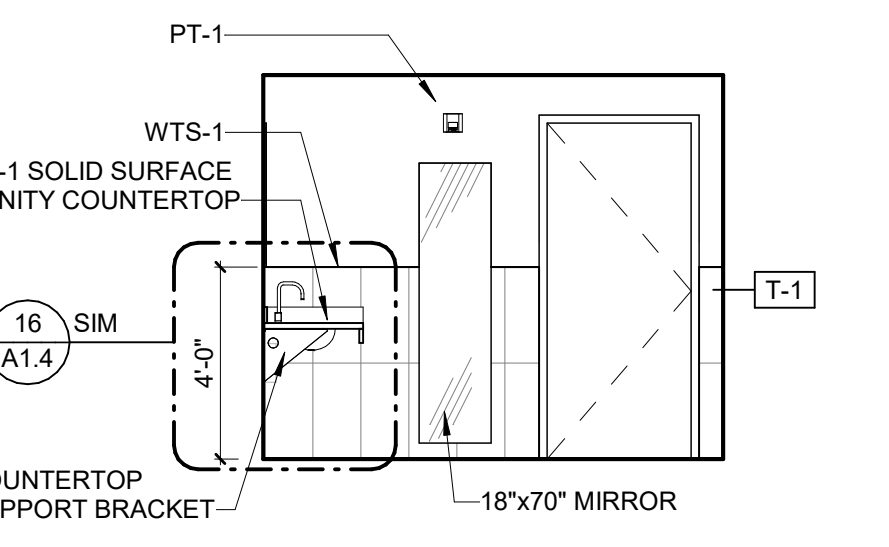


102800 TOILET, BATH, AND LAUNDRY ACCESSORIES				
MARK	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
TA-1	GRAB BAR - 36"	BOBRICK	B-5806	
TA-2	GRAB BAR - 42"	BOBRICK	B-5806	
TA-3	GRAB BAR - 18"	BOBRICK	B-5806	VERTICAL
TA-4	TOILET PAPER DISPENSER	AMERICAN SPECIALTIES, INC.	20199	SURFACE MOUNT, DUAL ROLL, STAINLESS STEEL
TA-6	DIAPER CHANGING TABLE	KOALA KARE	KB111-SSRE	RECESSED, STAINLESS STEEL FINISH
TA-8	TOILET PARTITIONS	SCRANTON PRODUCTS	ECLIPSE	WHITE, PROVIDE W/ ADA HEIGHT COAT HOOK
TA-9	EXISTING TOWEL DISPENSER/WASTE UNIT TO REMAIN	EXIST.	EXIST.	SEMI RECESSED
TA-10	SEAT COVER DISPENSER	BRADLEY	MODEL 584	COLOR: 5831 STAINLESS STEEL SATIN FINISH
TA-11	MIRROR	BRADLEY	740-018200	STAINLESS STEEL SATIN FINISH
TA-13	DRINKING FOUNTAIN	SEE MECH	SEE MECH	
TA-14	COMBINATION SHELF, MOP/BROOM HOLDER	BOBRICK	B-239 x 34	USE IN JANITOR ROOM 13
TA-15	BABY CHANGING STATION	KOALA KARE	KB311-SSRE	STAINLESS STEEL RECESSED.

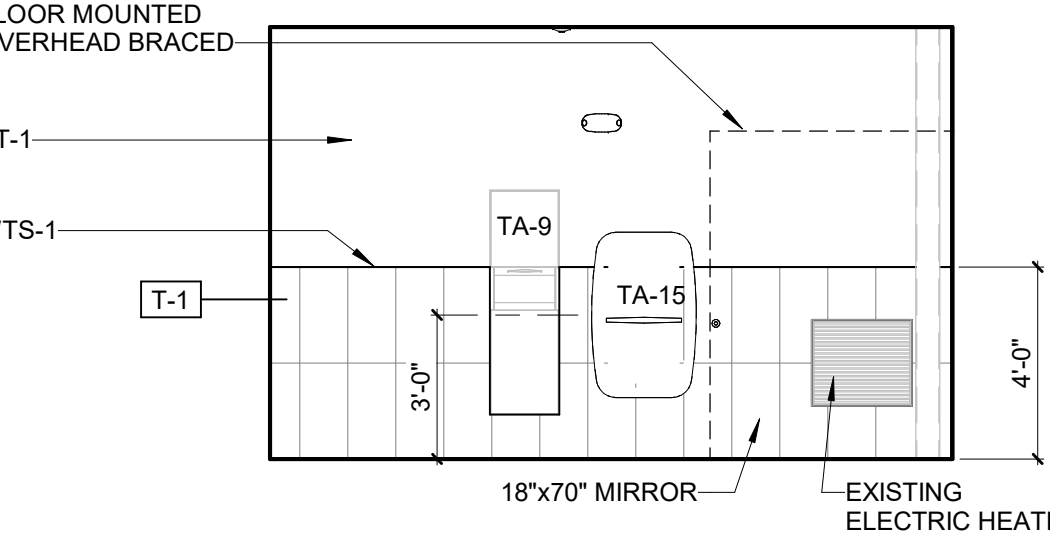
REVISIONS SCHEDULE		
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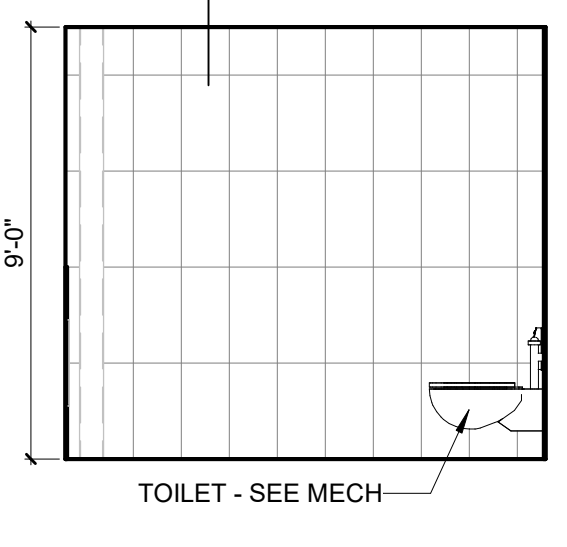
21 TYP SERVICE ADVISOR
 1/4" = 1'-0"



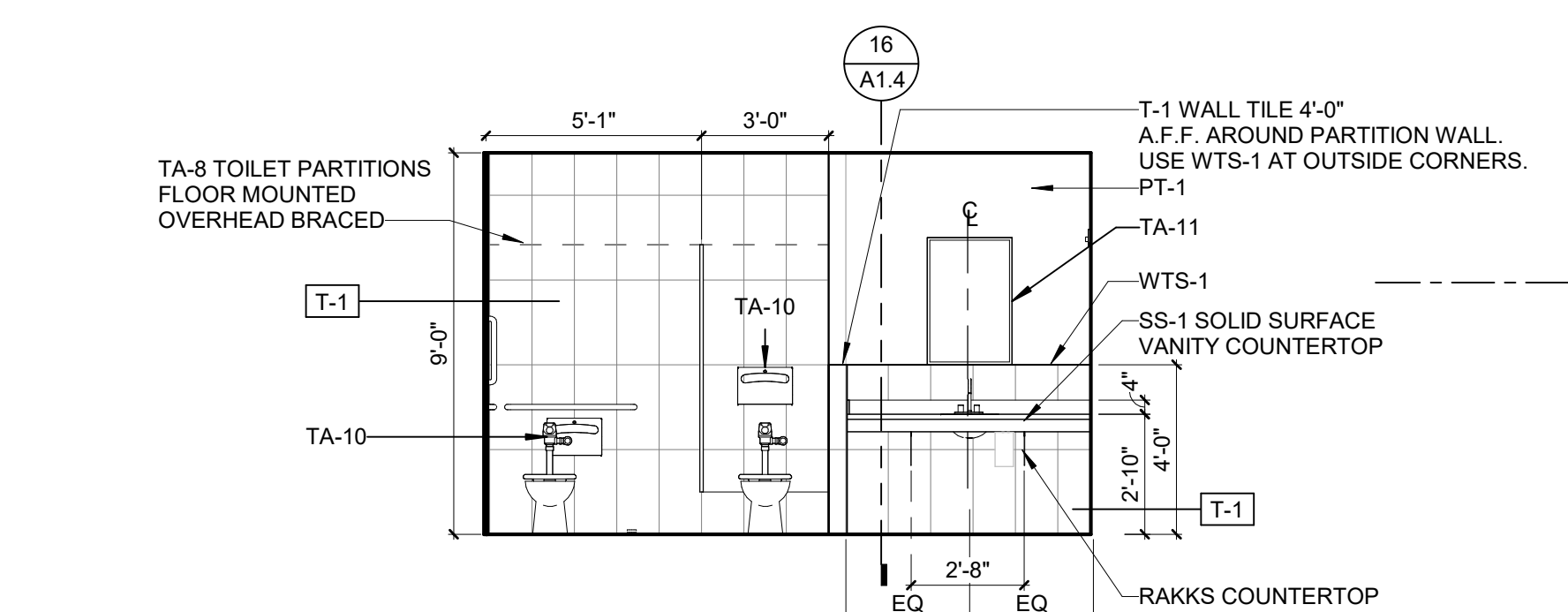
9 WOMEN'S RR - EAST
 1/4" = 1'-0"



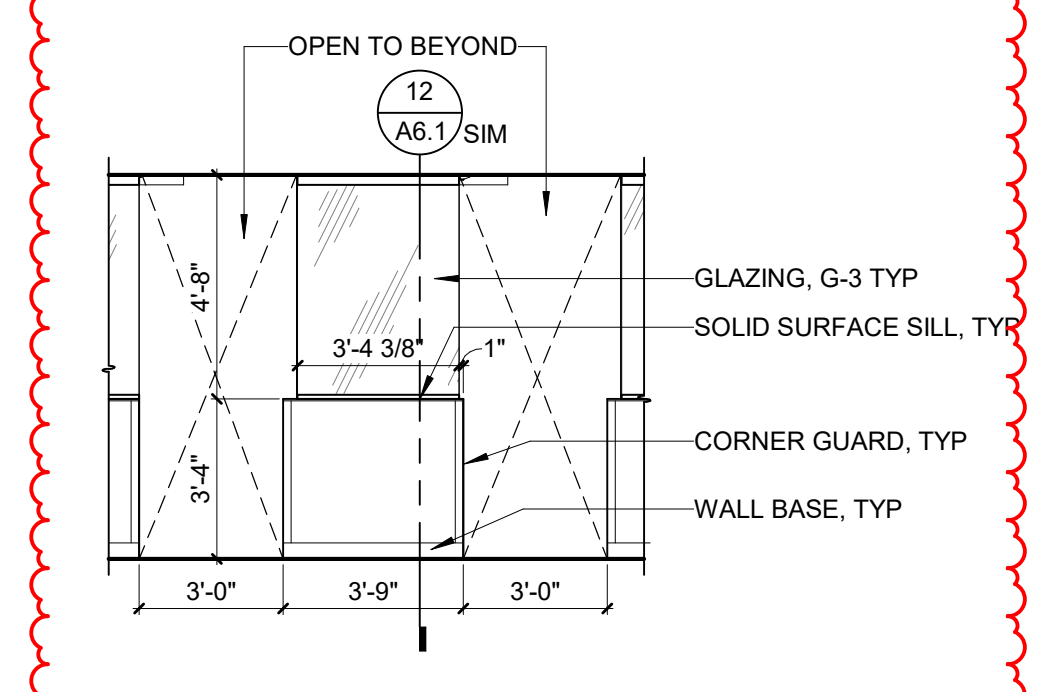
8 WOMEN'S RR - SOUTH
 1/4" = 1'-0"



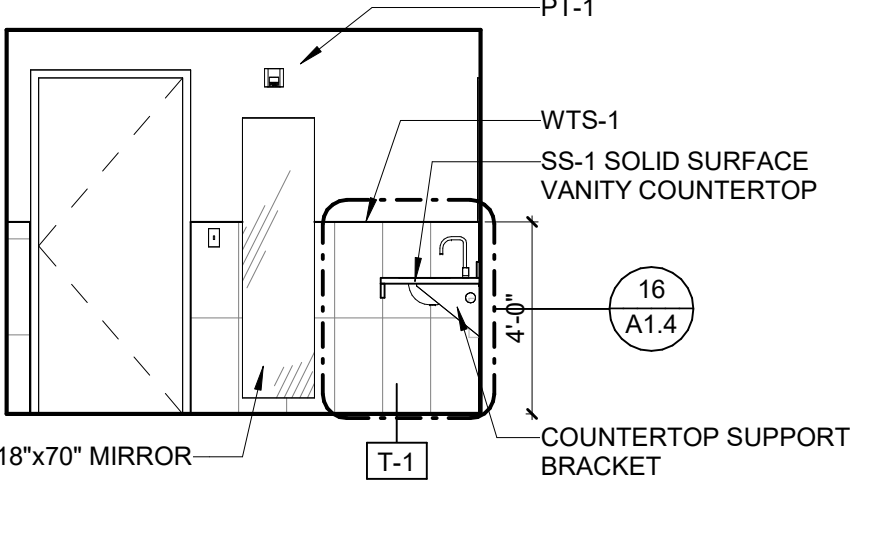
7 WOMEN'S RR - WEST
 1/4" = 1'-0"



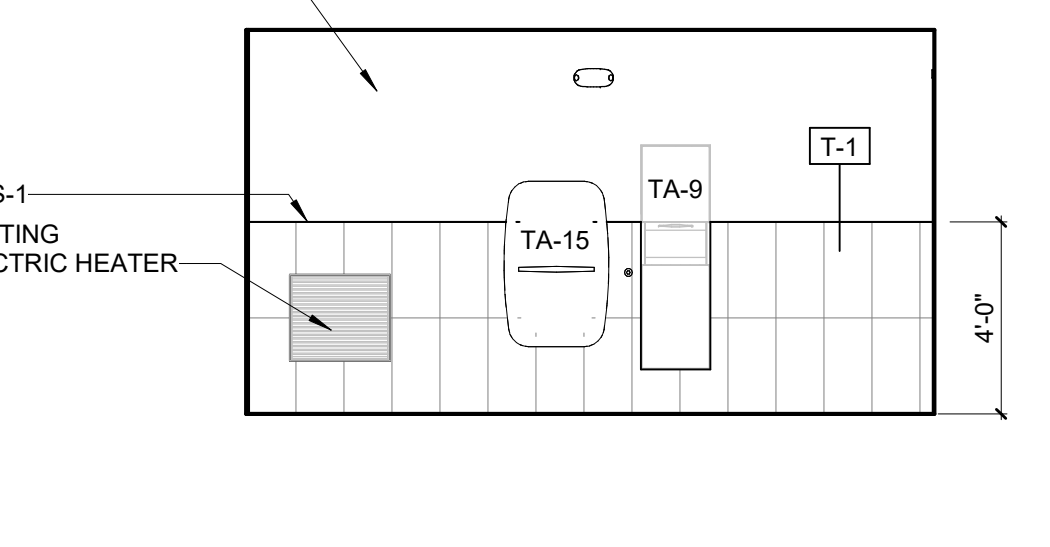
6 WOMEN'S RR - NORTH
 1/4" = 1'-0"



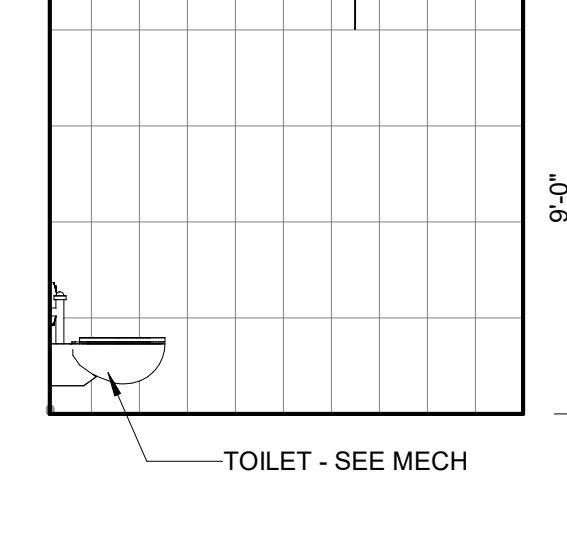
20 SERVICE ADVISOR - EAST
 1/4" = 1'-0"



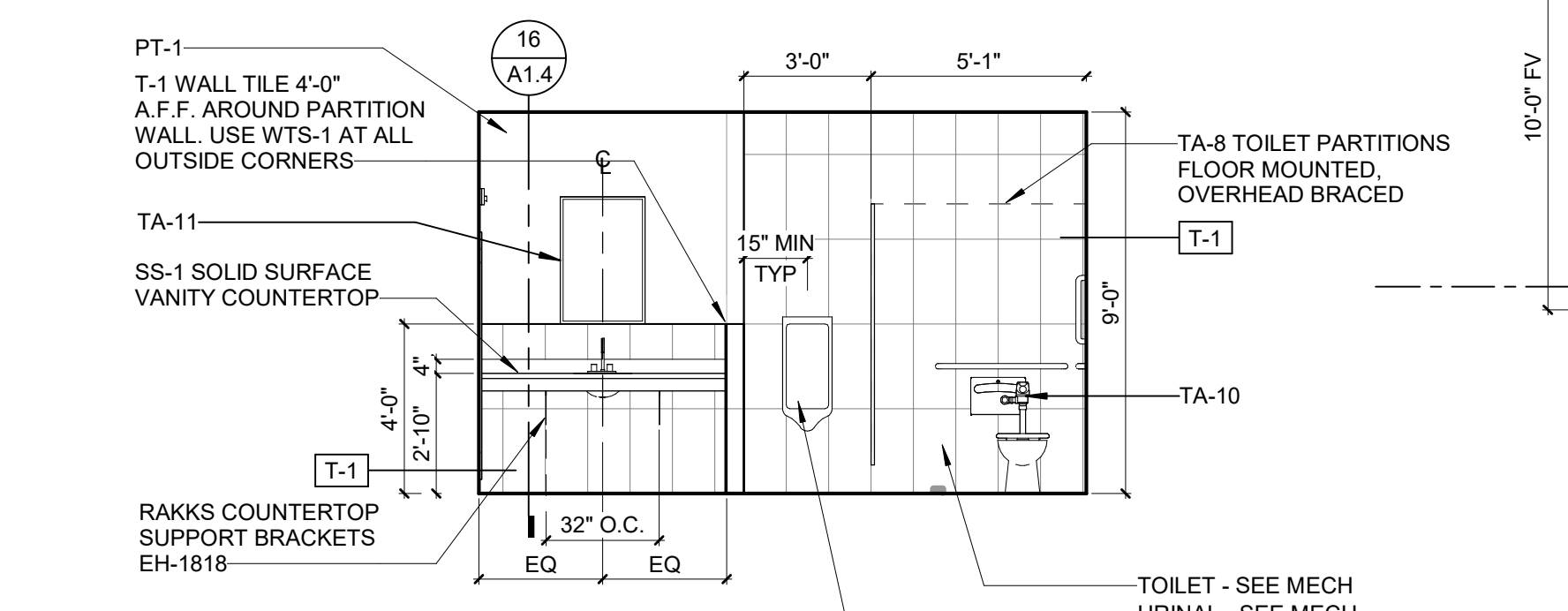
5 MEN'S RR - EAST
 1/4" = 1'-0"



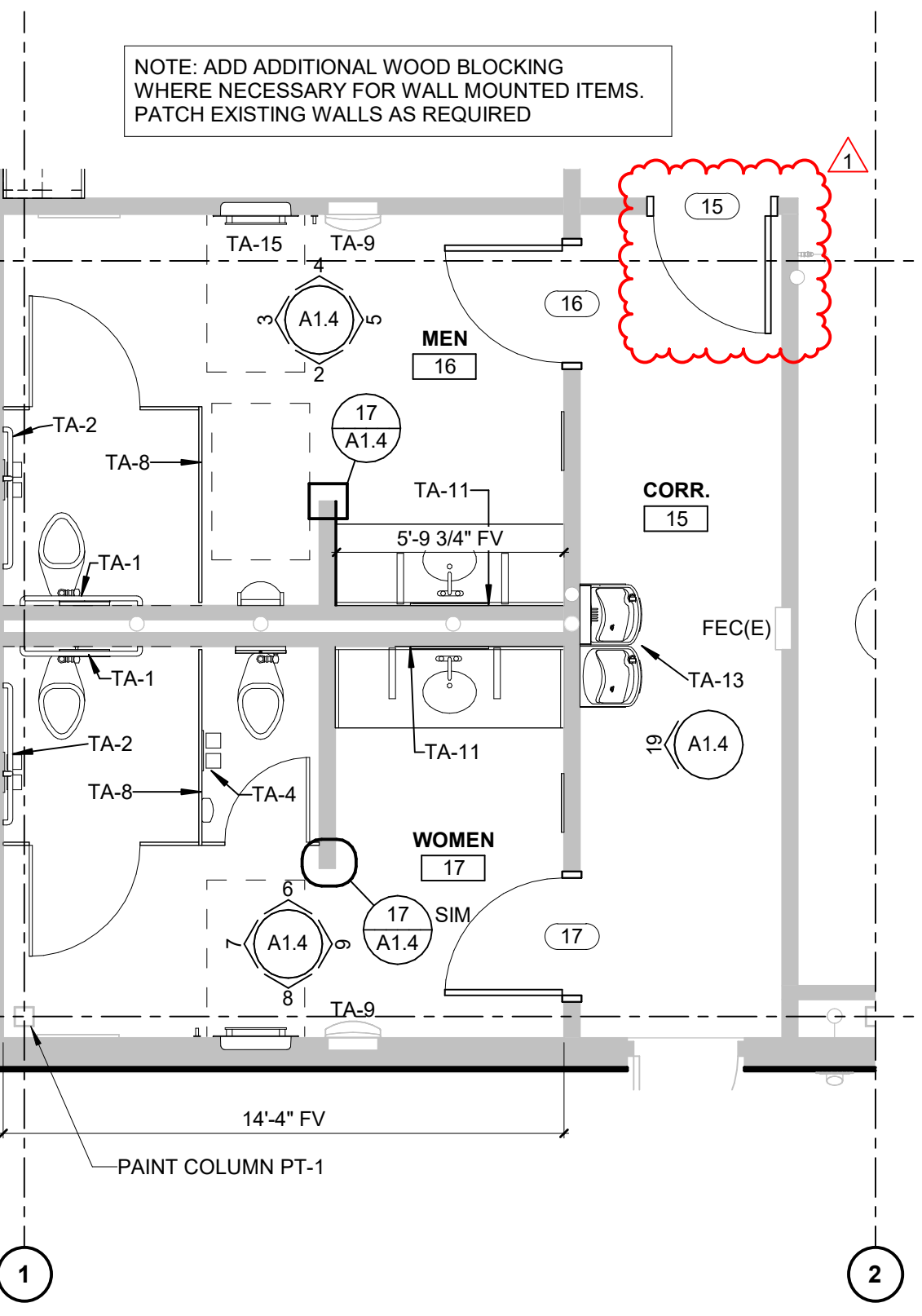
4 MEN'S RR - NORTH
 1/4" = 1'-0"



3 MEN'S RR - WEST
 1/4" = 1'-0"



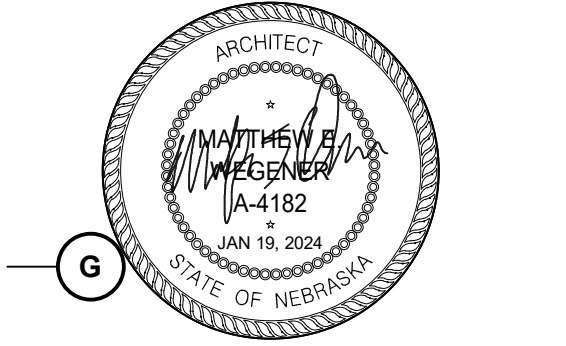
2 MEN'S RR - SOUTH
 1/4" = 1'-0"



1 ENLARGED RESTROOM PLAN
 1/4" = 1'-0"

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ENLARGED PLANS & INTERIOR ELEVATIONS

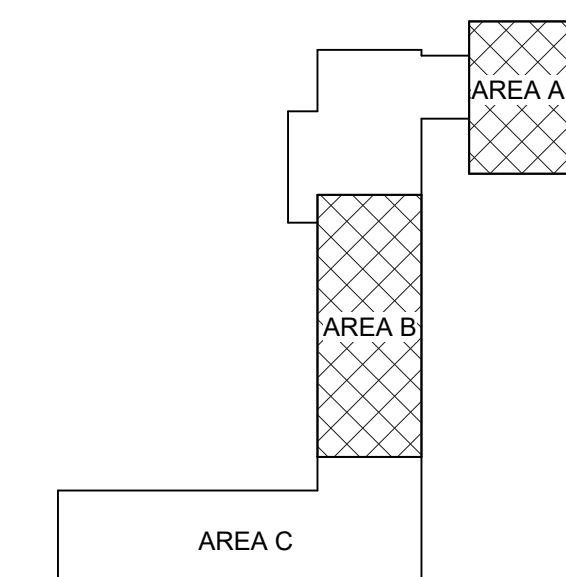
ARCHITECT
 BVH ARCHITECTURE
 901 JONES STREET
 OMAHA, NE 68102
 V 402 345 3090
 F 402 345 7871
 bvh.com

CIVIL ENGINEER
 LAMP RYNEARSON
 14710 W DODGE RD #100
 OMAHA, NE 68154
 V 402 496 2498
 tra-inc.com

STRUCTURAL ENGINEER
 LANGE STRUCTURAL GROUP
 1919 S 40TH STREET, SUITE 302
 LINCOLN, NE 68506
 V 402 421 9540
 langestructuralgroup.com

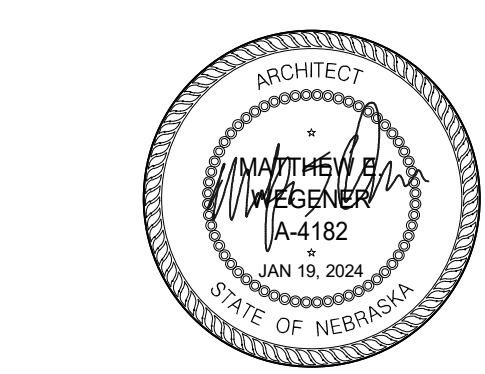
MEP ENGINEER
 MORRISSEY ENGINEERING
 4940 N 118TH ST
 OMAHA, NE 68184
 V 402 491 4144
 morrisseyengineering.com

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION
1	02/01/2024	Addendum 1



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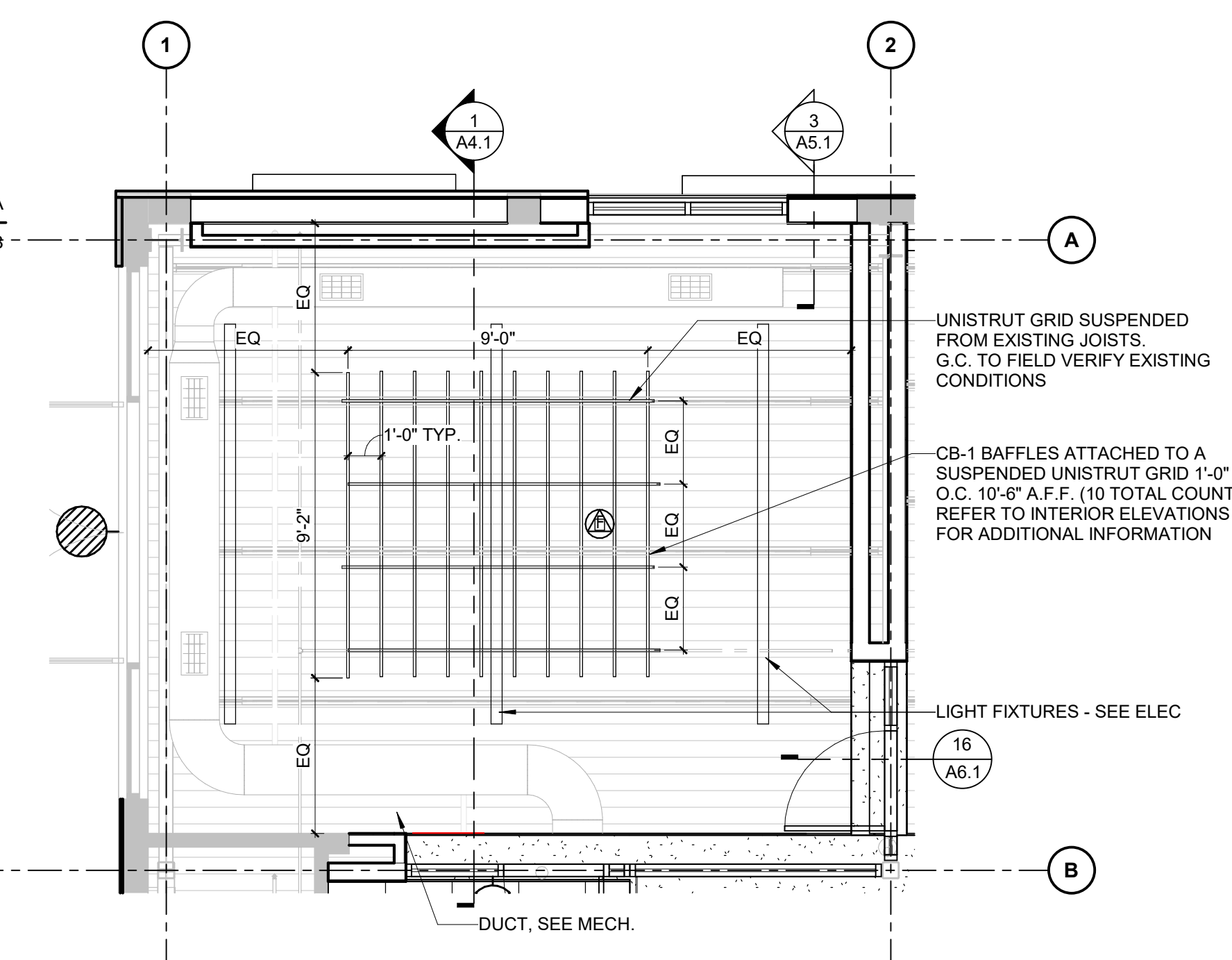
FIRST FLOOR RCP - AREA A & B

GENERAL RCP NOTES

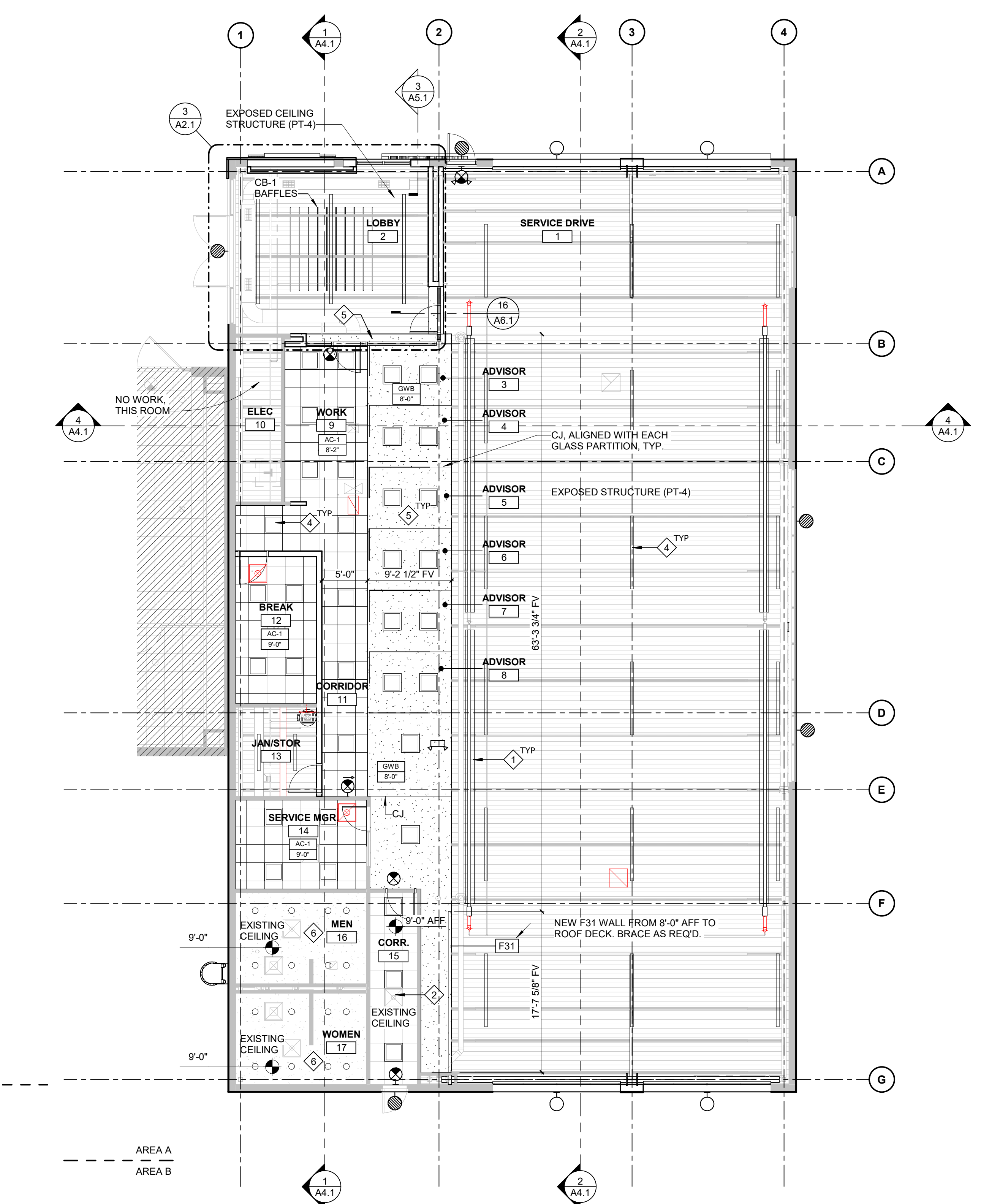
- ALL CEILING GRID/PANELS SHALL BE CENTERED IN EACH ROOM UNLESS NOTED OTHERWISE.
- ALL EQUIPMENT, DEVICES, AND FIXTURES SHALL BE CENTERED IN THE CEILING TILE UNLESS NOTED OTHERWISE.
- IN AREAS WITH AN EXPOSED STRUCTURE, COORDINATE ALL EQUIPMENT, DEVICES, AND FIXTURES FOR A CLEAN AND ORDERED APPEARANCE.
- REFER TO MATERIALS LIST FOR CEILING TYPES.
- LOCATE CEILING CONTROL JOINTS (CJ) WHERE INDICATED ON RCP.
- COORDINATE OVERHEAD DOOR TRACKS WITH FIXTURES AND EQUIPMENT.

RCP NOTES

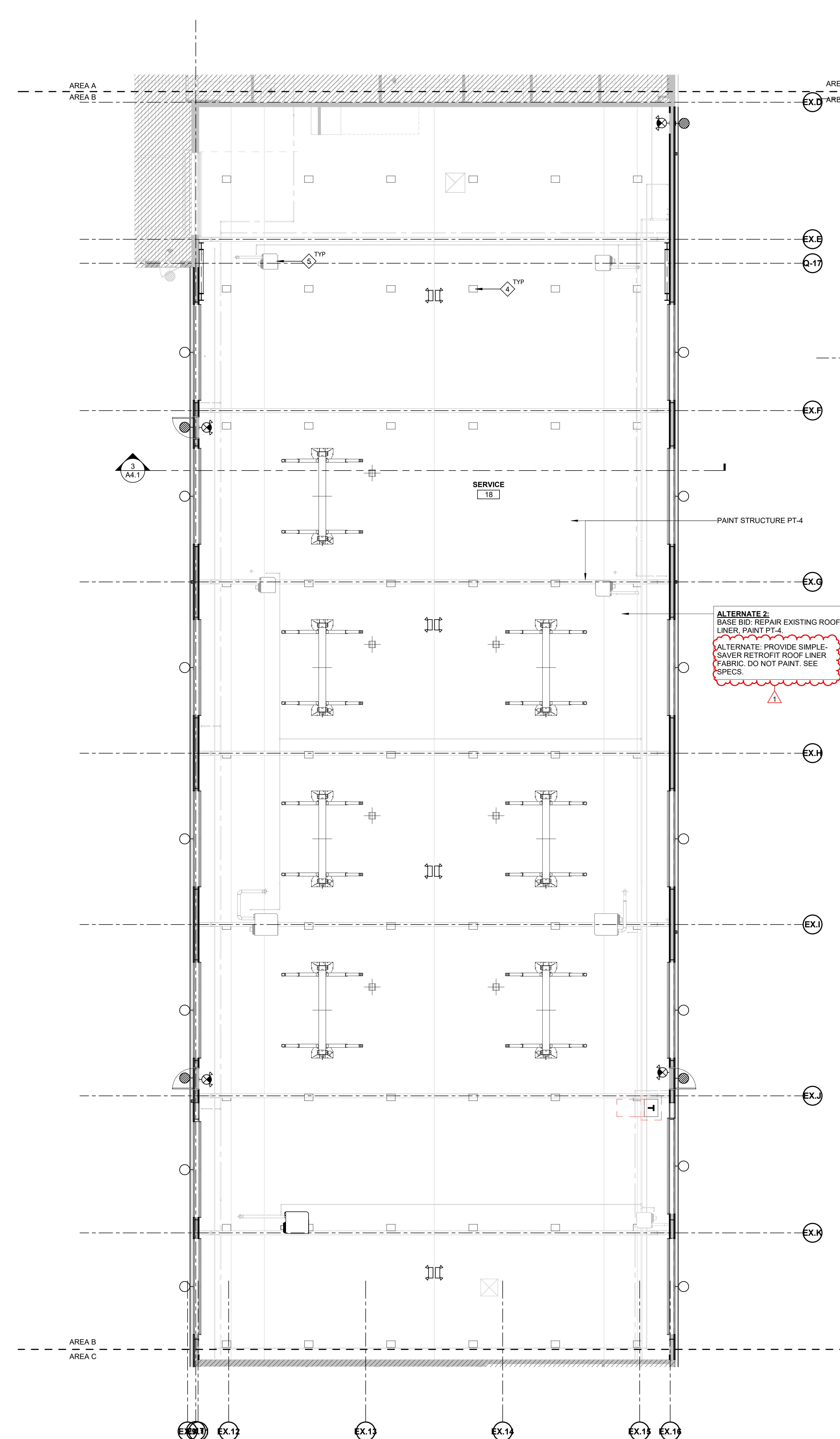
- RADIANT HEATER, SEE MECH
- EXISTING CEILING GRID TO REMAIN, RE-PAD WITH AC-1 TILES
- REPAIR EXISTING ROOF LINER
- LIGHT FIXTURE, SEE ELECT.
- UNIT HEATER, SEE MECH.



3 ENLARGED LOBBY CEILING PLAN
 1/4" = 1'-0"



1 RCP - AREA A
 1/8" = 1'-0"



2 RCP - AREA B
 1/8" = 1'-0"

Vertical scale bars on the left side of the sheet, including inch and foot scales for various drawing areas.

ALTERNATE 2:
 BASE BID: REPAIR EXISTING ROOF LINER, PAINT PT-4
 ALTERNATE: PROVIDE SIMPLE-SAVER RETROFIT ROOF LINER FABRIC. DO NOT PAINT. SEE SPECS.

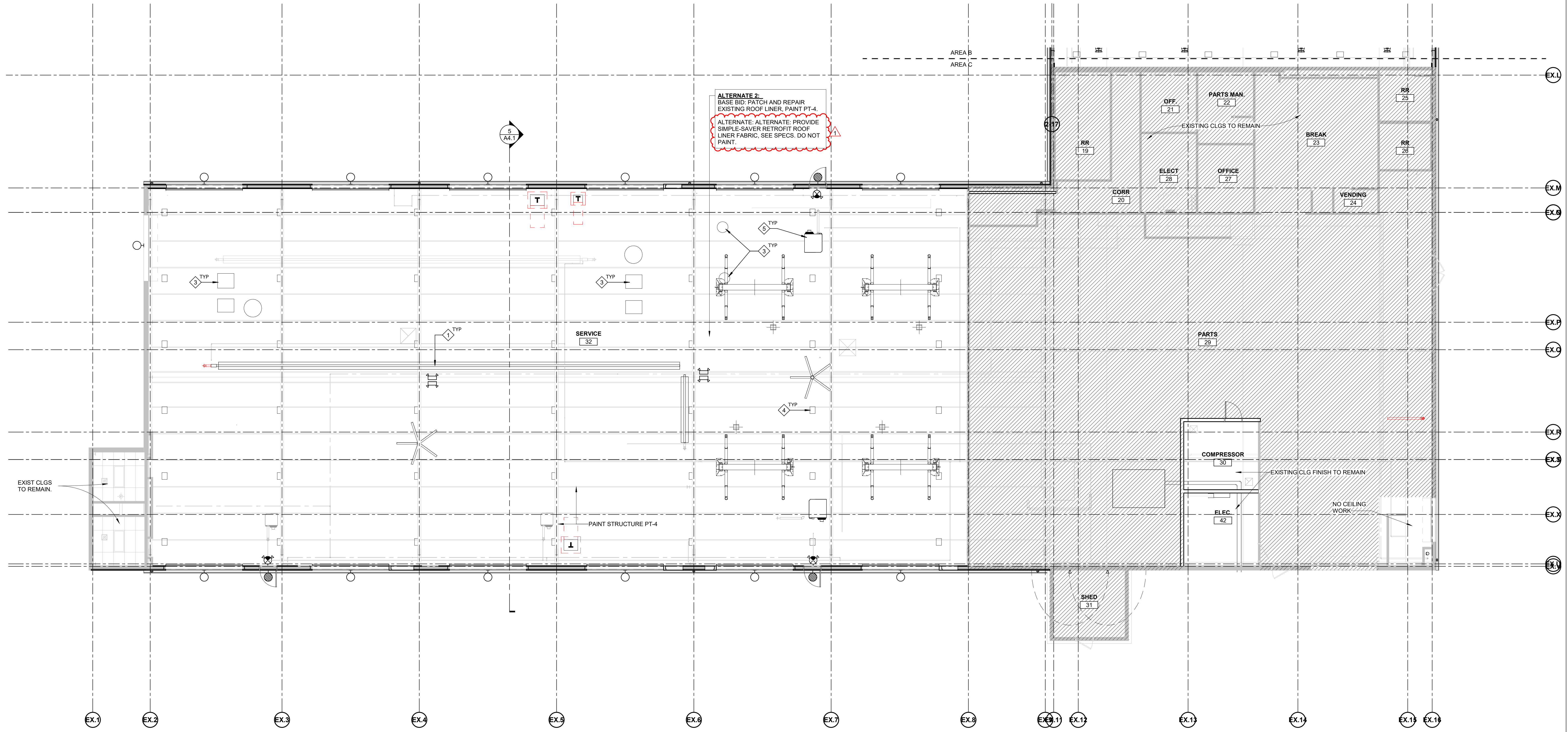
GENERAL RCP NOTES

1. ALL CEILING GRID/PANELS SHALL BE CENTERED IN EACH ROOM UNLESS NOTED OTHERWISE.
2. ALL EQUIPMENT, DEVICES, AND FIXTURES SHALL BE CENTERED IN THE CEILING TILE UNLESS NOTED OTHERWISE.
3. IN AREAS WITH AN EXPOSED STRUCTURE, COORDINATE ALL EQUIPMENT, DEVICES, AND FIXTURES FOR A CLEAN AND ORDERED APPEARANCE.
4. REFER TO MATERIALS LIST FOR CEILING TYPES.
5. LOCATE CEILING CONTROL JOINTS (CJ) WHERE INDICATED ON RCP.
6. COORDINATE OVERHEAD DOOR TRACKS WITH FIXTURES AND EQUIPMENT.

RCP NOTES

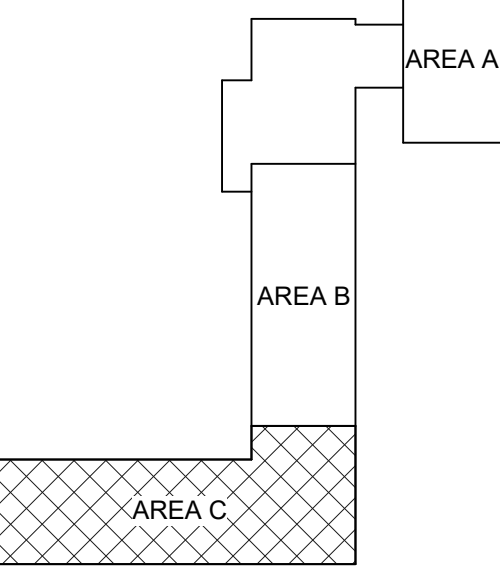
1. RADIANT HEATER, SEE MECH.
2. EXISTING CEILING GRID TO REMAIN, RE-PAD WITH AC-1 TILES.
3. REPAIR EXISTING ROOF LINER.
4. LIGHT FIXTURE, SEE ELECT.
5. UNIT HEATER, SEE MECH.

ALTERNATE 2:
 BASE BID: PATCH AND REPAIR EXISTING ROOF LINER, PAINT PT-4.
 ALTERNATE: ALTERNATE: PROVIDE SIMPLE-SAVER RETROFIT ROOF LINER FABRIC, SEE SPECS. DO NOT PAINT.



1 RCP - AREA C
 1/8" = 1'-0"

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION
1	02/01/2024	Addendum 1



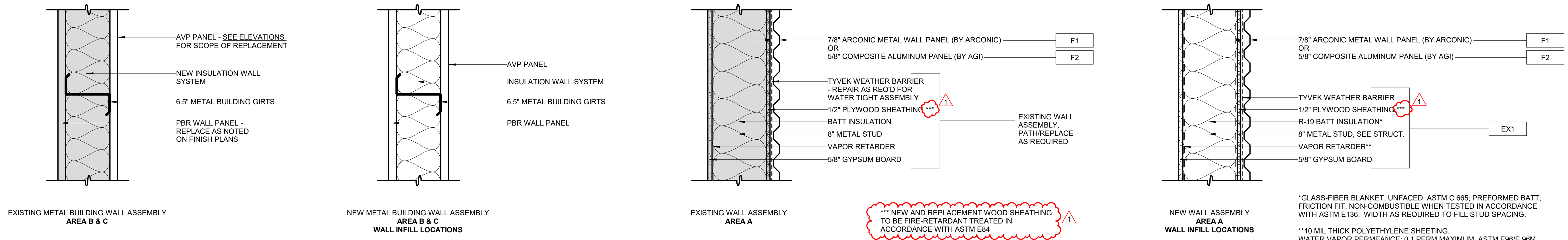
WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS

PROJECT: 23043 DATE: DEC 19, 2023
 PROJECT STATUS: CD SUBMITTAL



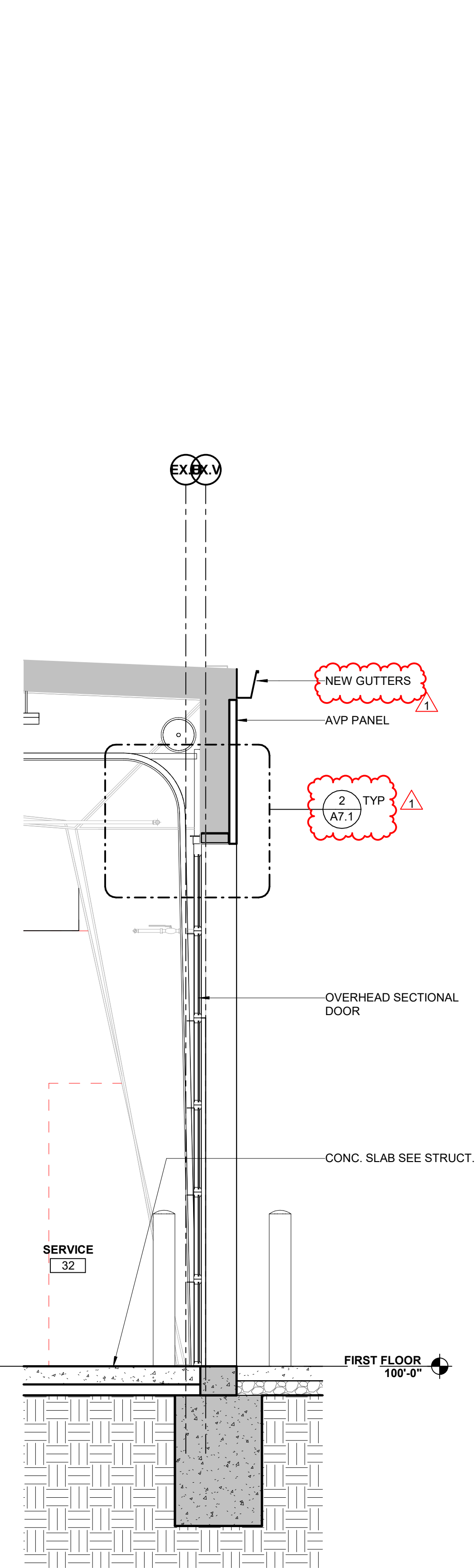
FIRST FLOOR RCP - AREA C

Vertical scale bars on the left side of the drawing, showing scales in inches and feet for different portions of the drawing.

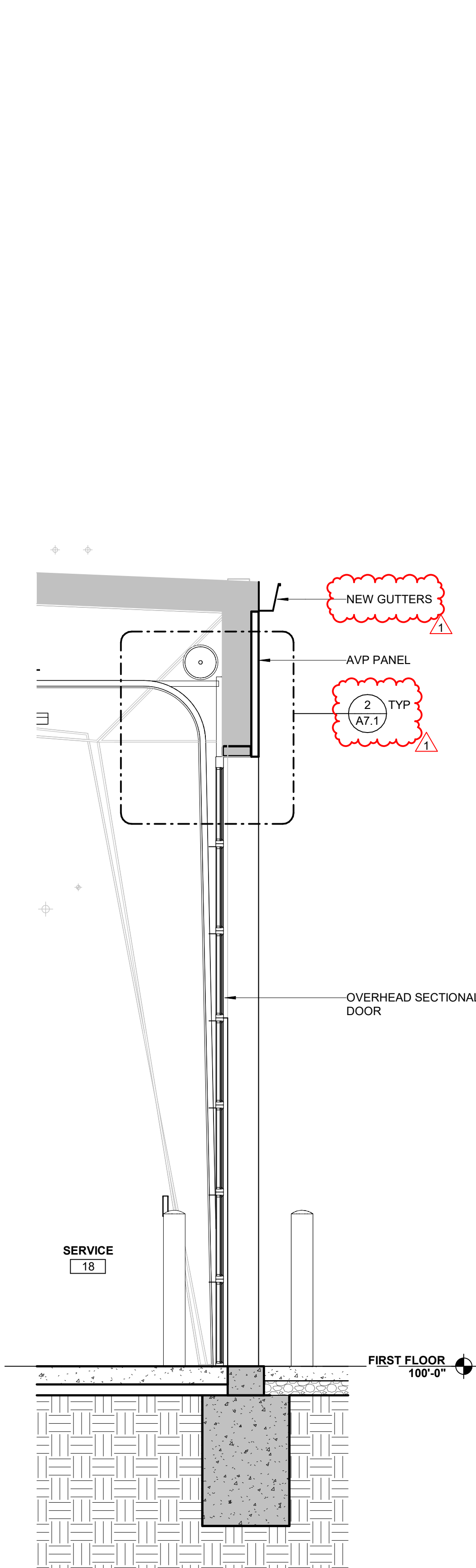


7 TYP EXT WALL ASSEMBLIES

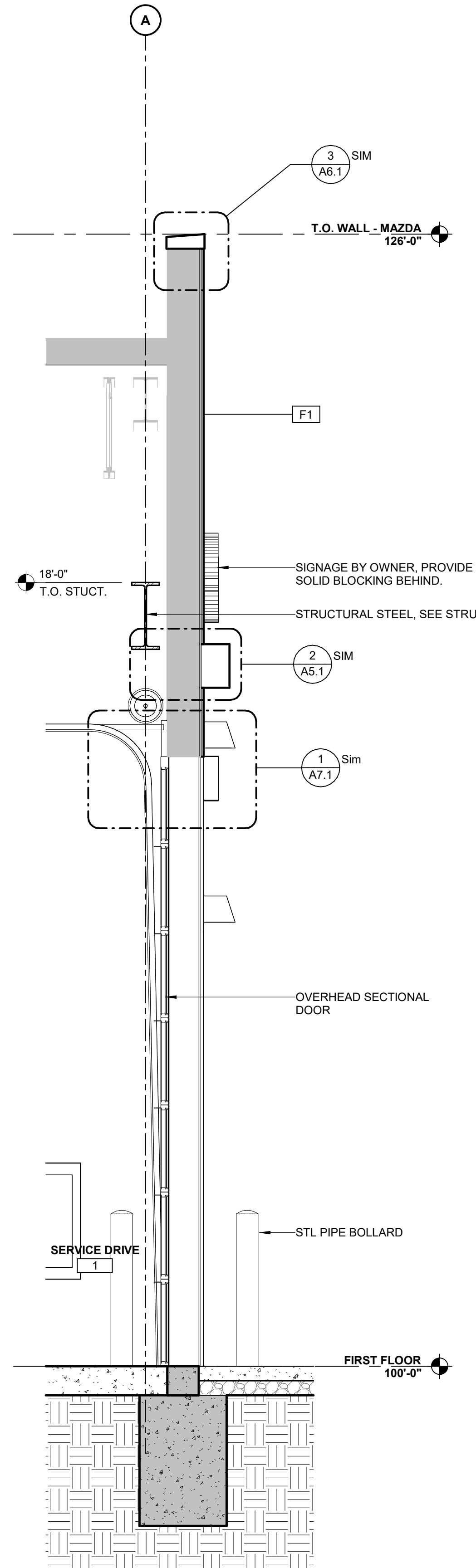
1/2" = 1'-0"



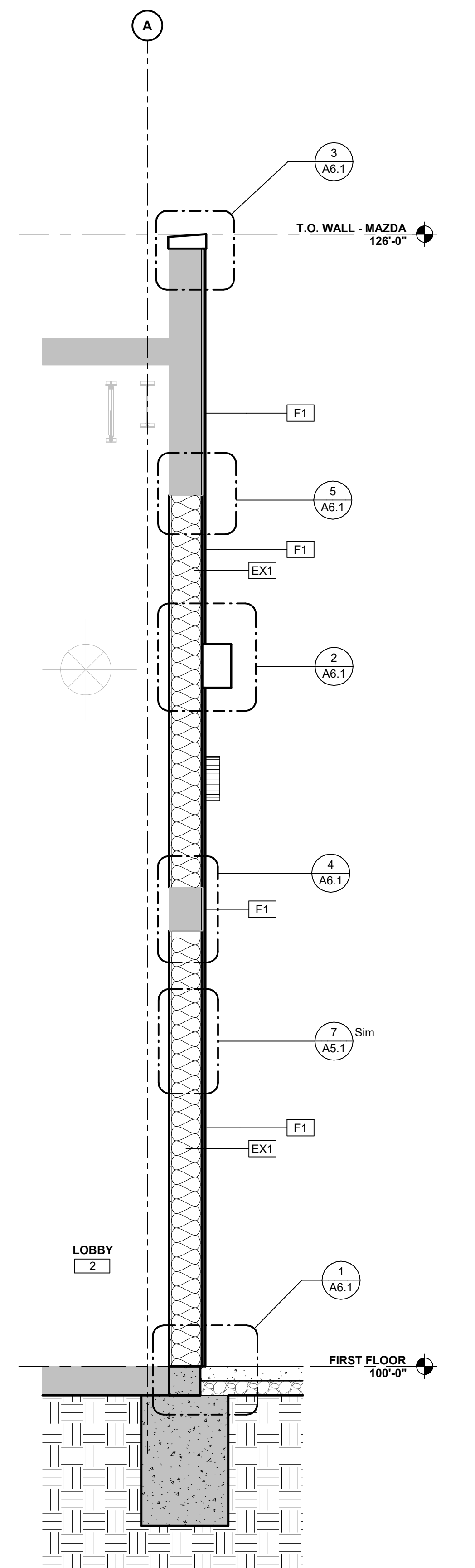
6 WALL SECTION - AREA C OH DOOR
1/2" = 1'-0"



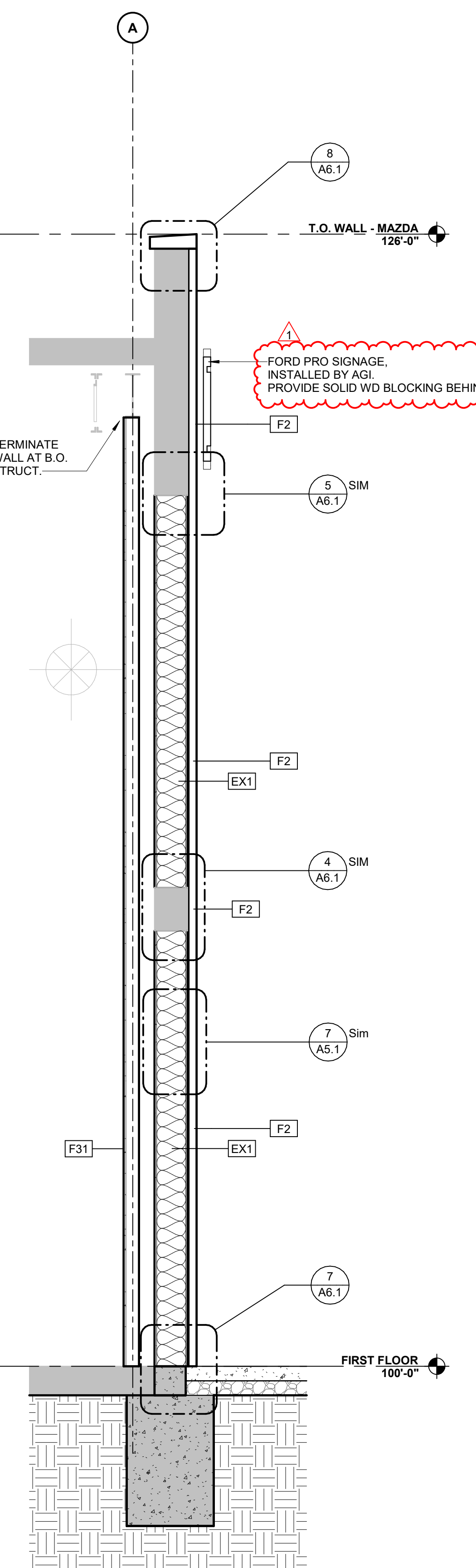
5 WALL SECTION - AREA B OH DOOR
1/2" = 1'-0"



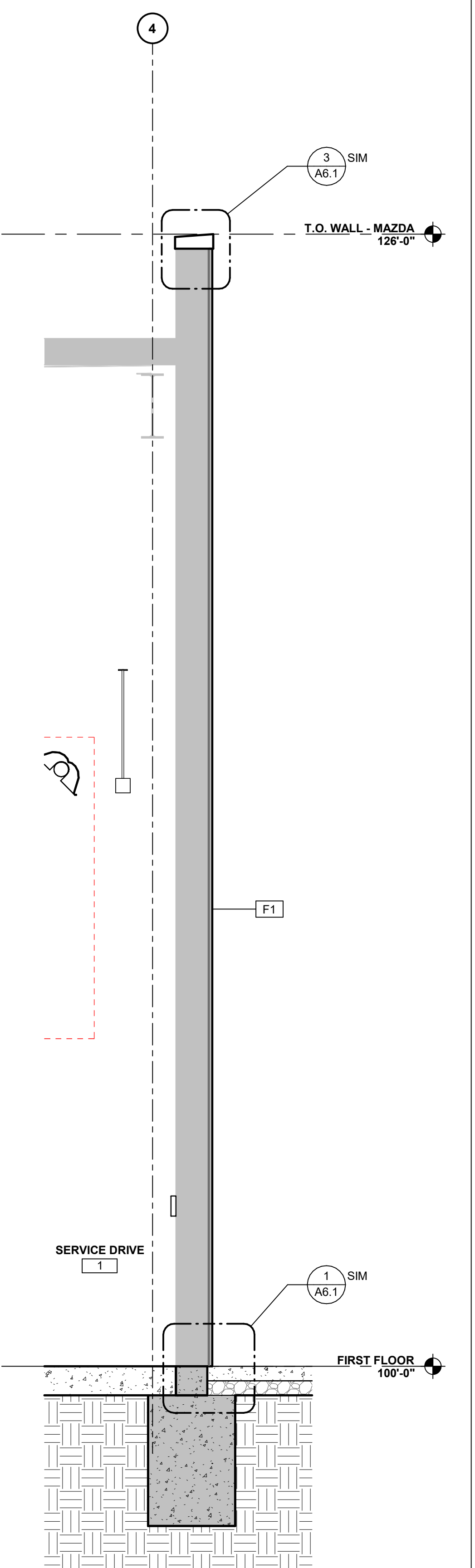
4 WALL SECTION - AREA A OH DOOR
1/2" = 1'-0"



3 WALL SECTION - WALL INFILL
1/2" = 1'-0"



2 WALL SECTION - FORD PRO WALL
1/2" = 1'-0"

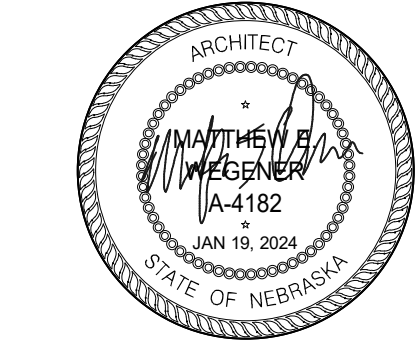


1 WALL SECTION - AREA A TYP.
1/2" = 1'-0"

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION
1	02/01/2024	Addendum 1

WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS

PROJECT: 23043 DATE: DEC 19, 2023
 PROJECT STATUS: CD SUBMITTAL



WALL SECTIONS

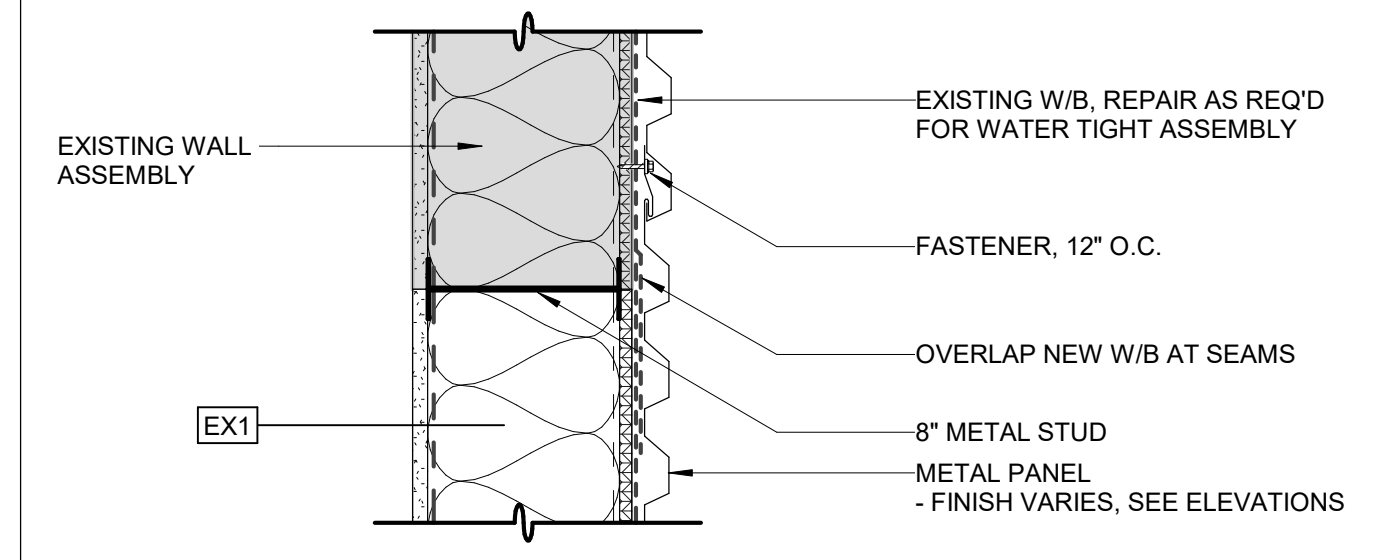
REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION
1	02/01/2024	Addendum 1

WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS

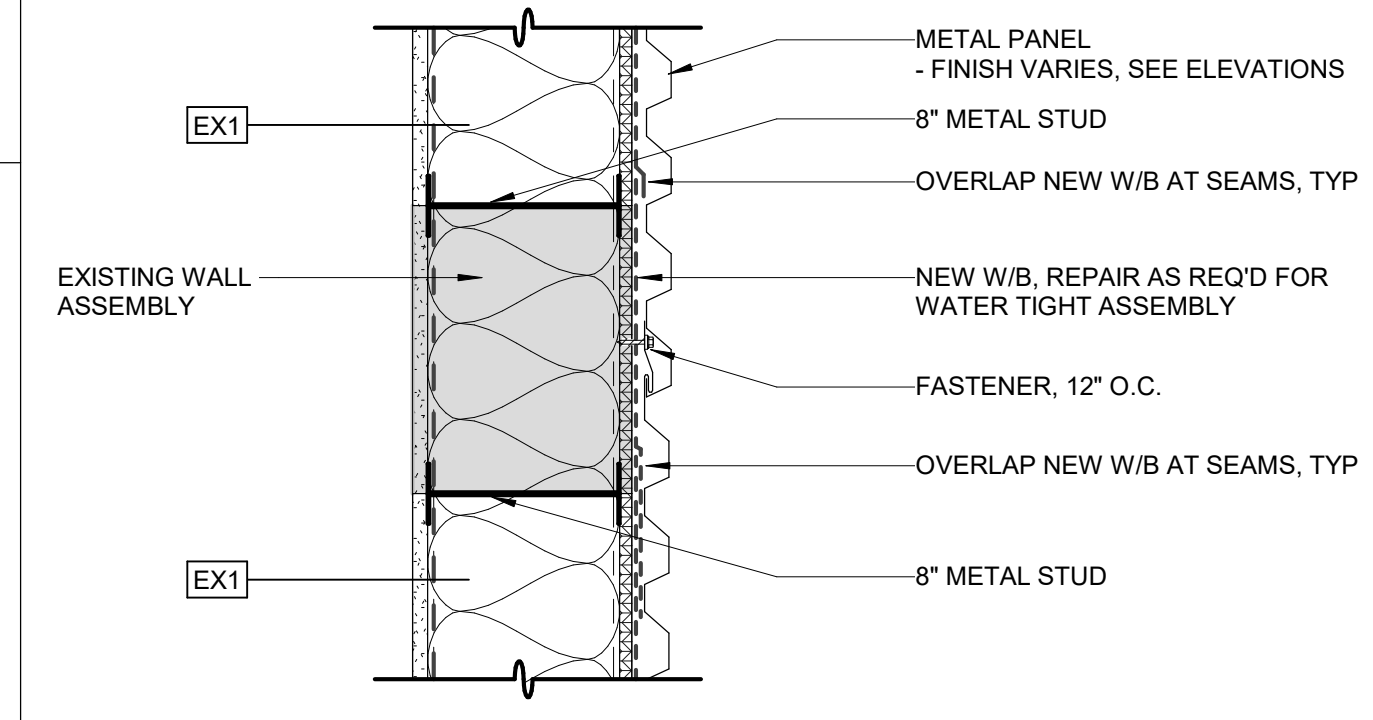
PROJECT: 23043 DATE: DEC 19, 2023
 PROJECT STATUS: CD SUBMITTAL



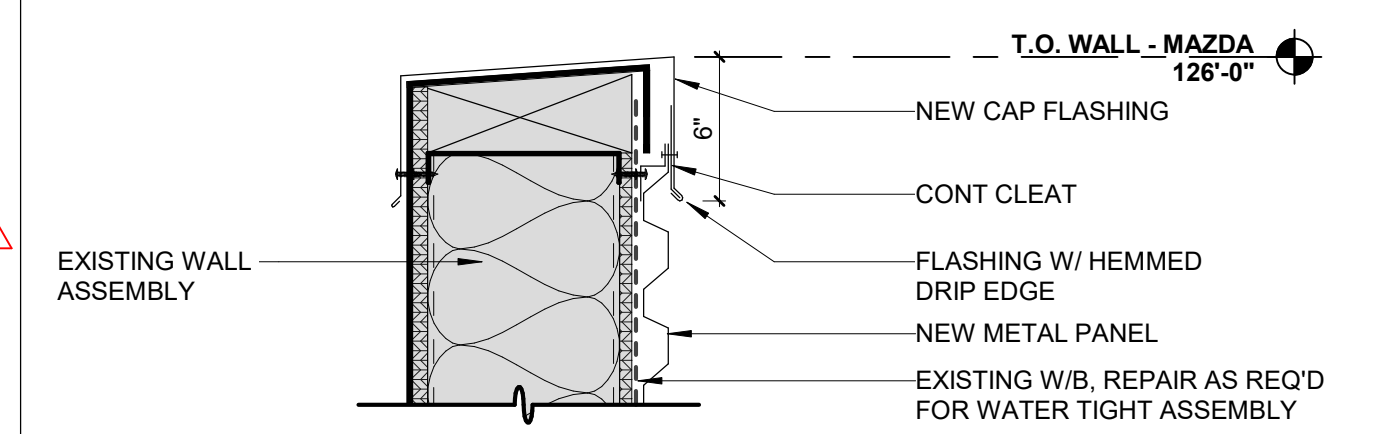
DETAILS



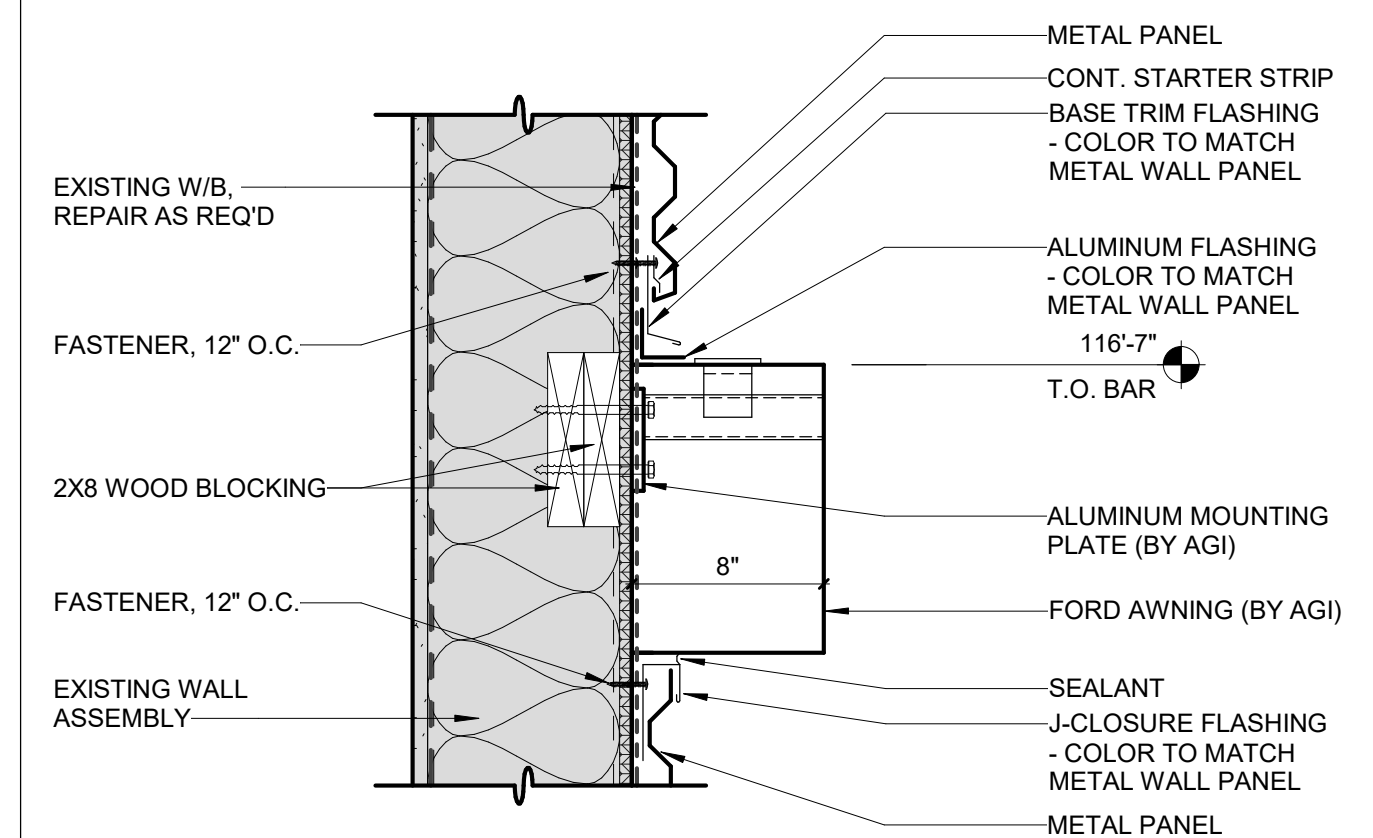
5 DETAIL - AREA A WALL INFILL, TOP
 1 1/2" = 1'-0"



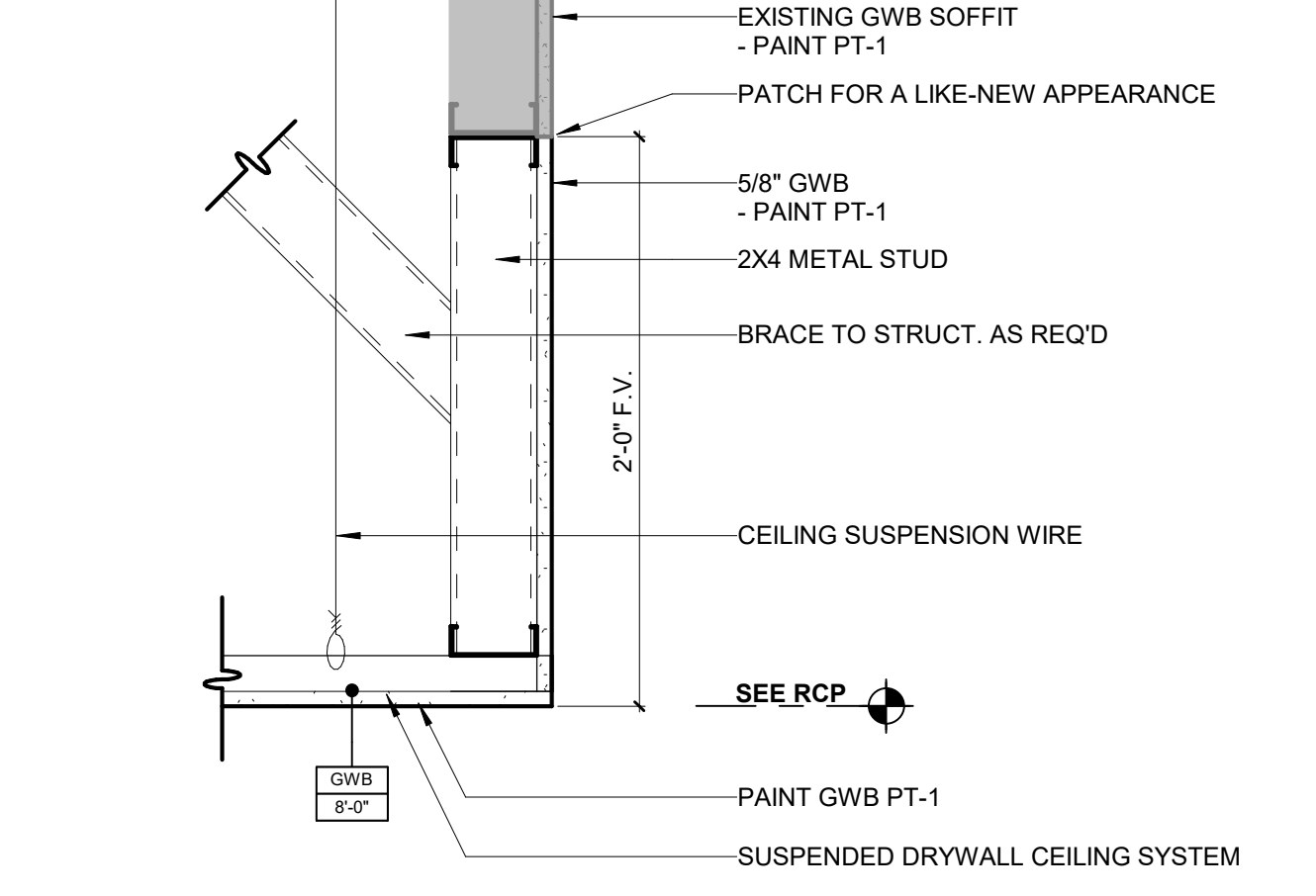
4 DETAIL - AREA A WALL INFILL, MIDDLE
 1 1/2" = 1'-0"



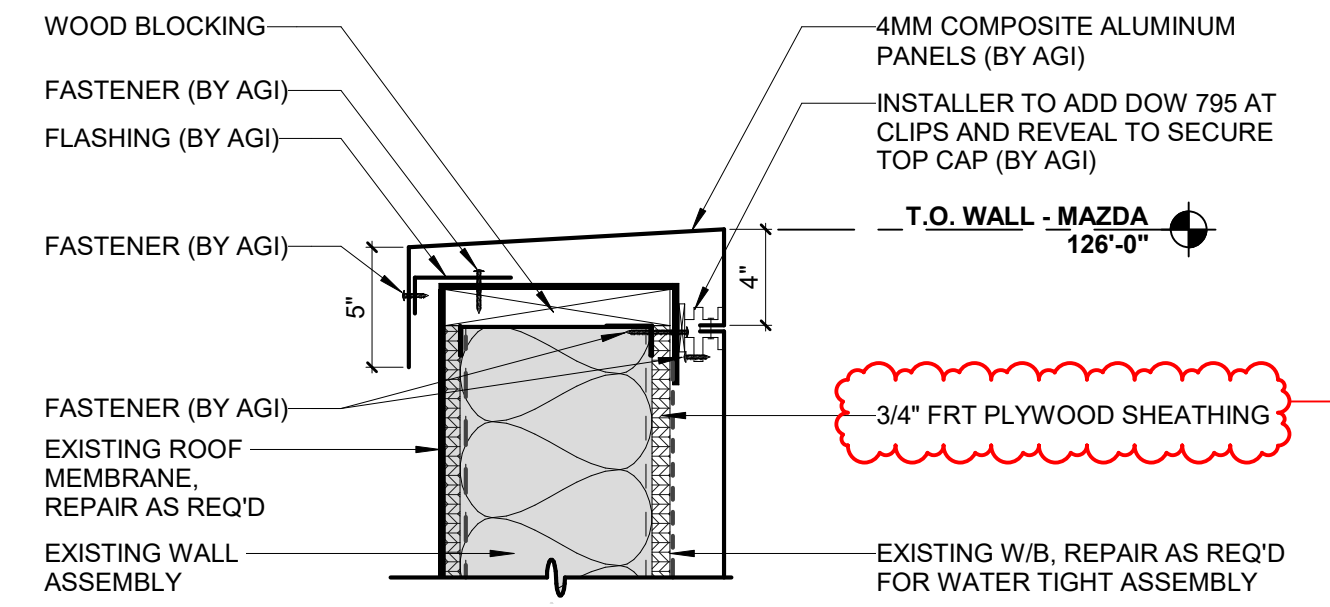
3 DETAIL - PARAPET (ARCONIC METAL PANEL)
 1 1/2" = 1'-0"



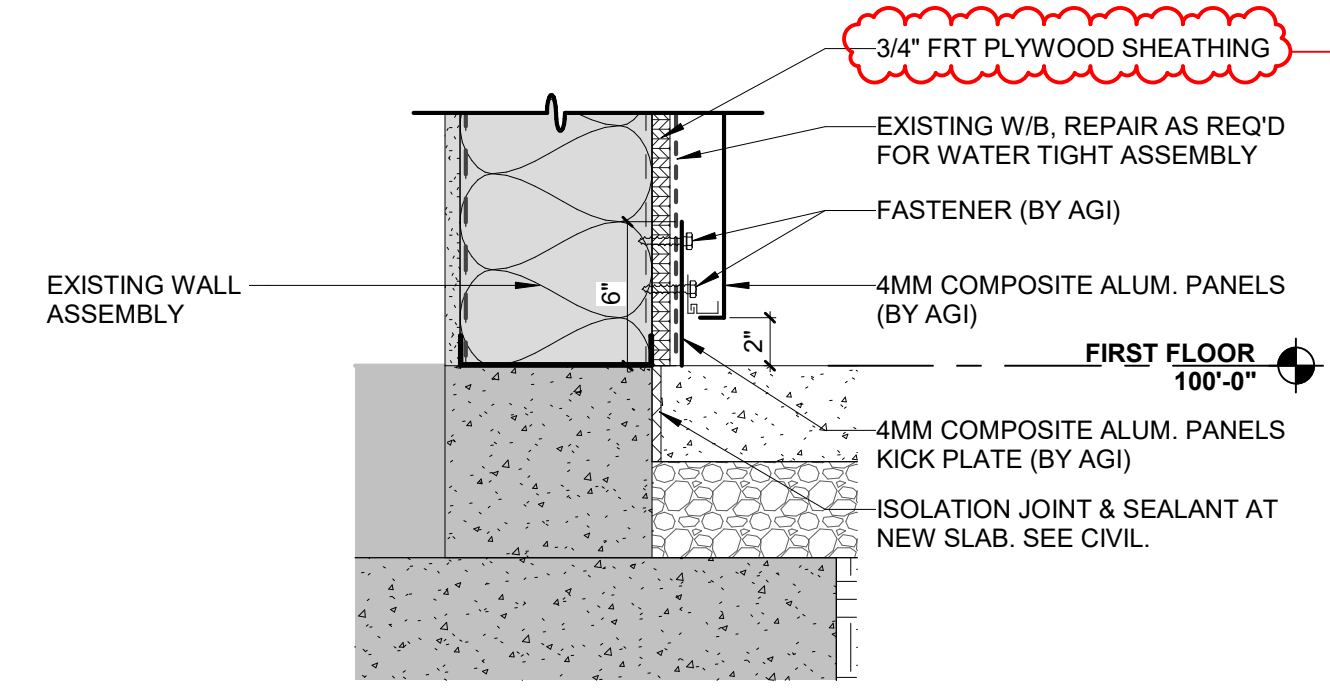
2 DETAIL - FORD AWNING
 1 1/2" = 1'-0"



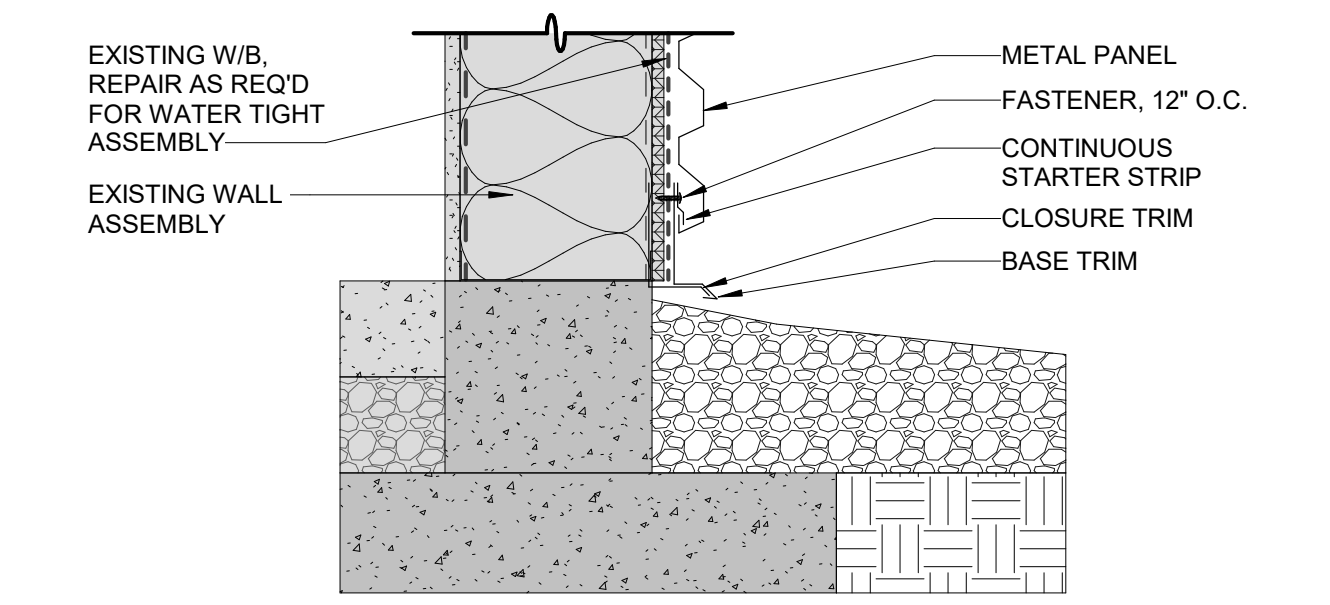
9 DETAIL - AREA A - SHOWROOM SOFFIT
 1 1/2" = 1'-0"



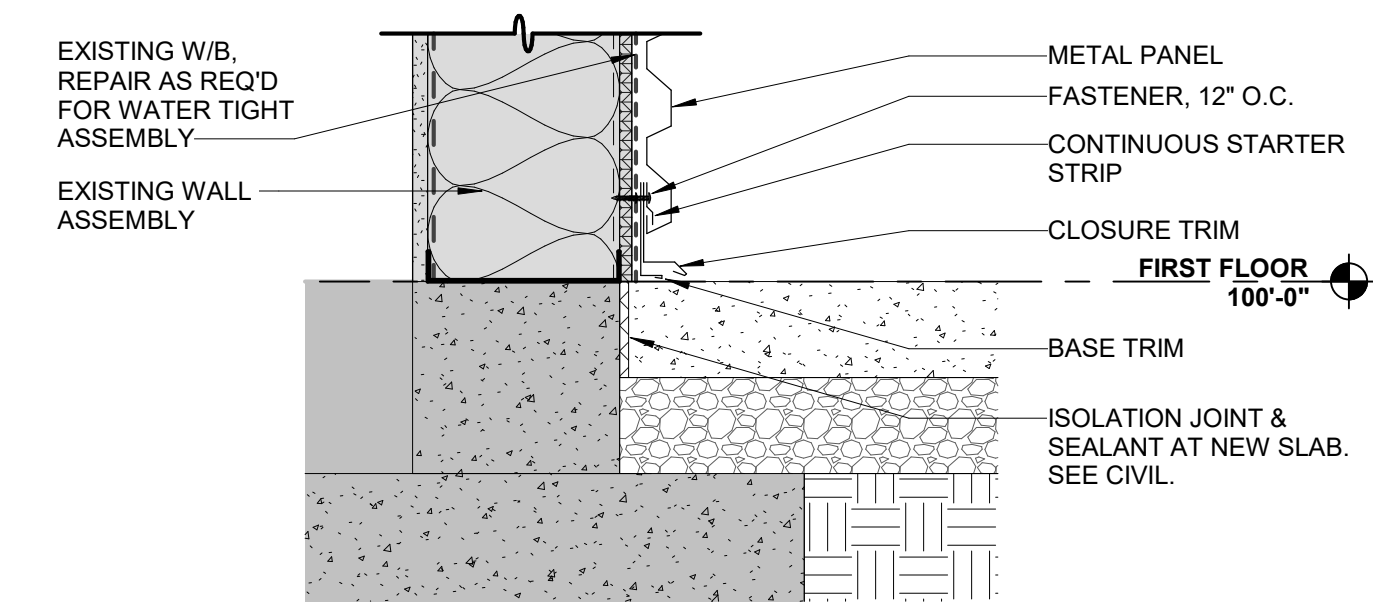
8 DETAIL - PARAPET (FORD PRO WALL)
 1 1/2" = 1'-0"



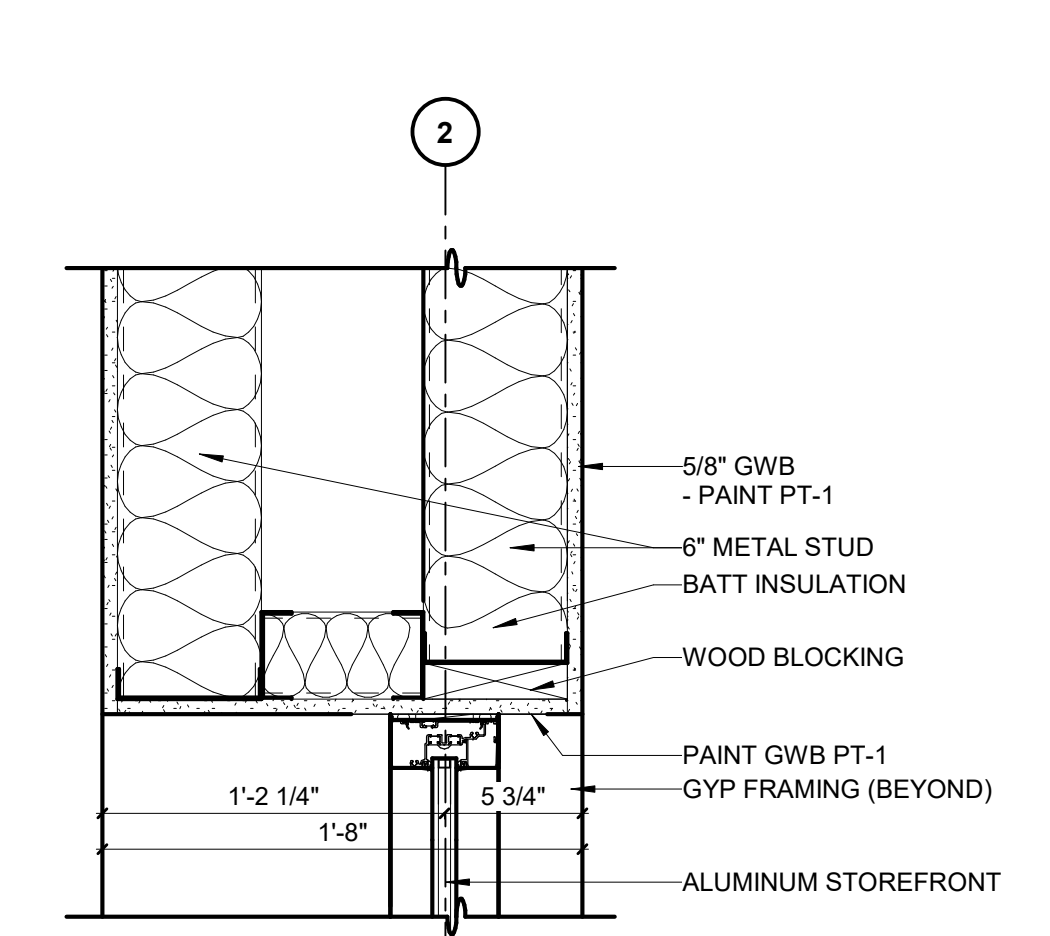
7 DETAIL - FORD PRO WALL BASE
 1 1/2" = 1'-0"



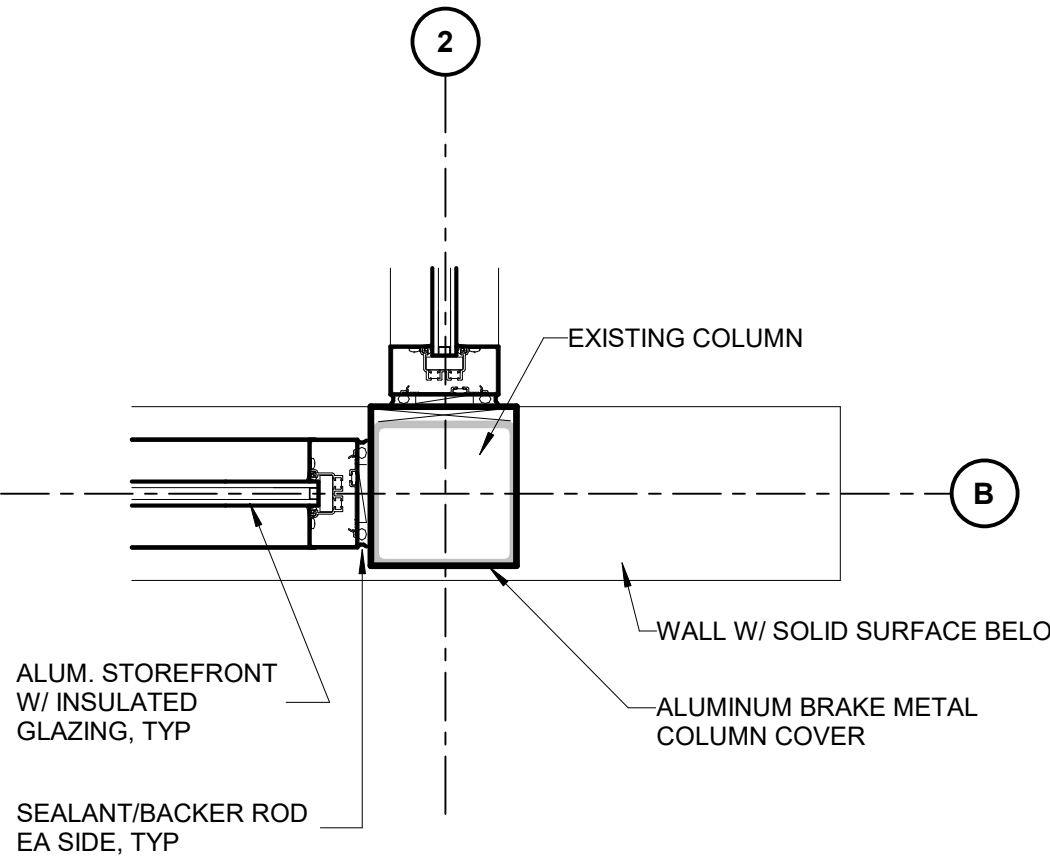
6 DETAIL - BASE @ GRAVEL (ARCONIC METAL PANEL)
 1 1/2" = 1'-0"



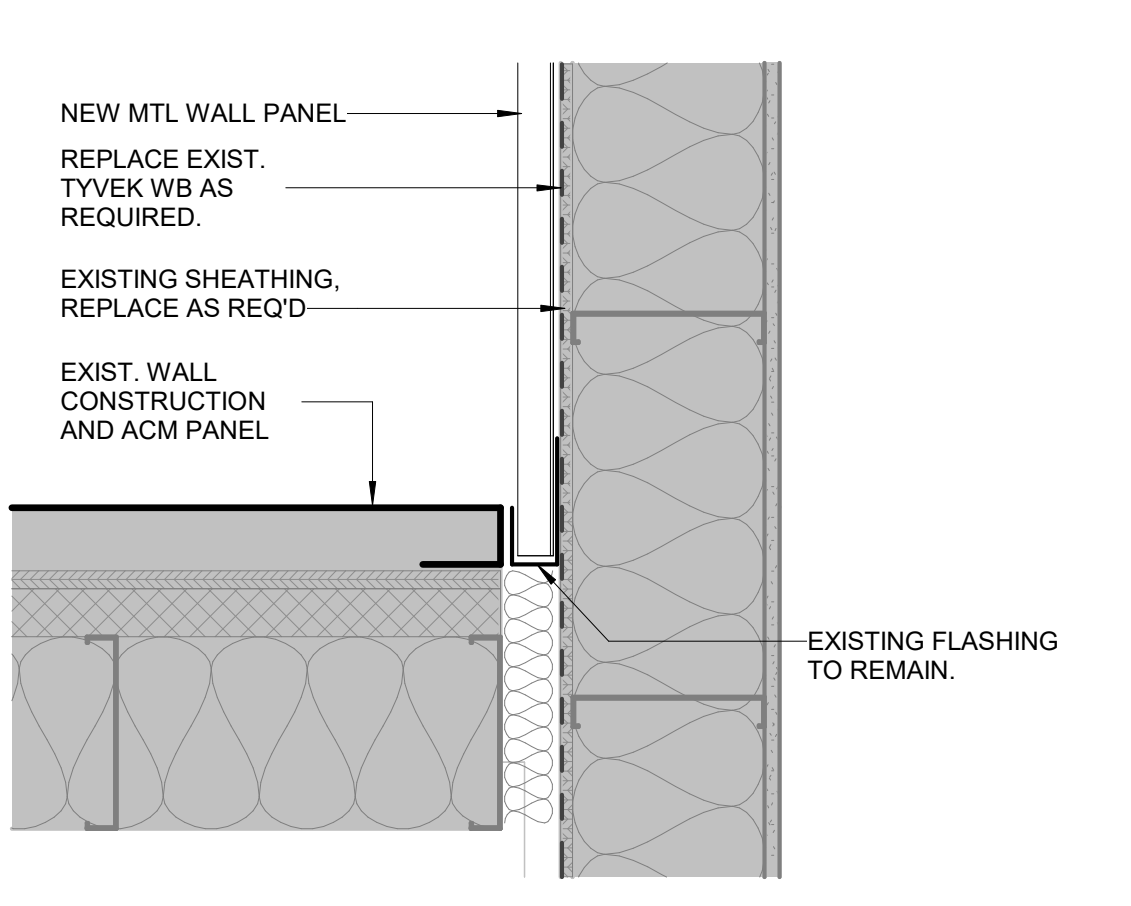
1 DETAIL - BASE (ARCONIC METAL PANEL)
 1 1/2" = 1'-0"



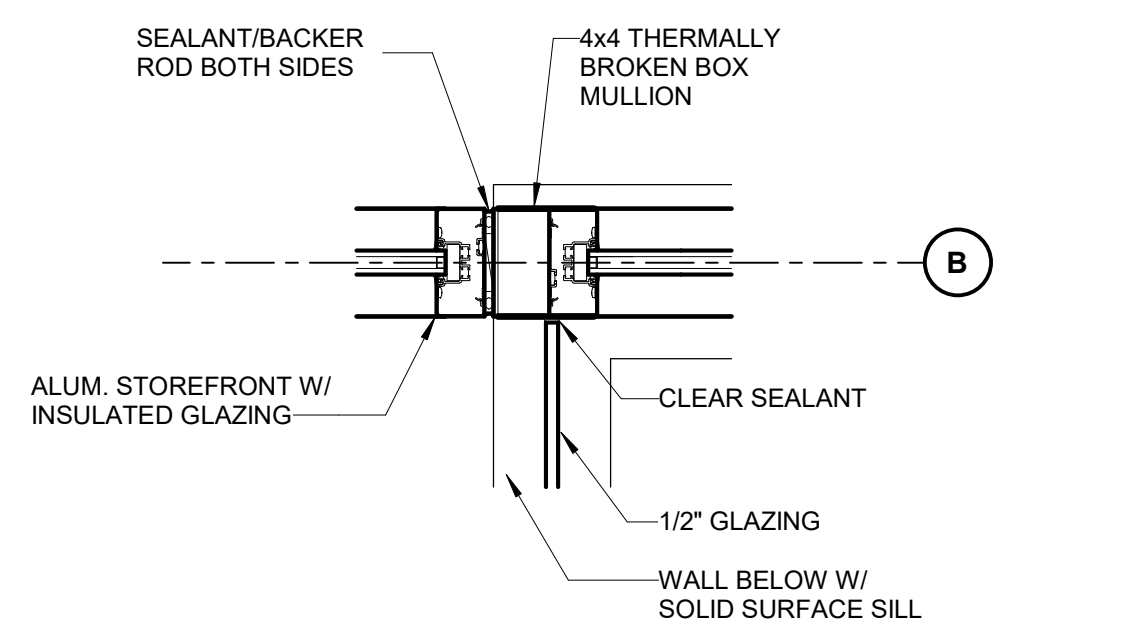
16 DETAIL - AREA A - SOFFIT @ LOBBY/SERVICE
 1 1/2" = 1'-0"



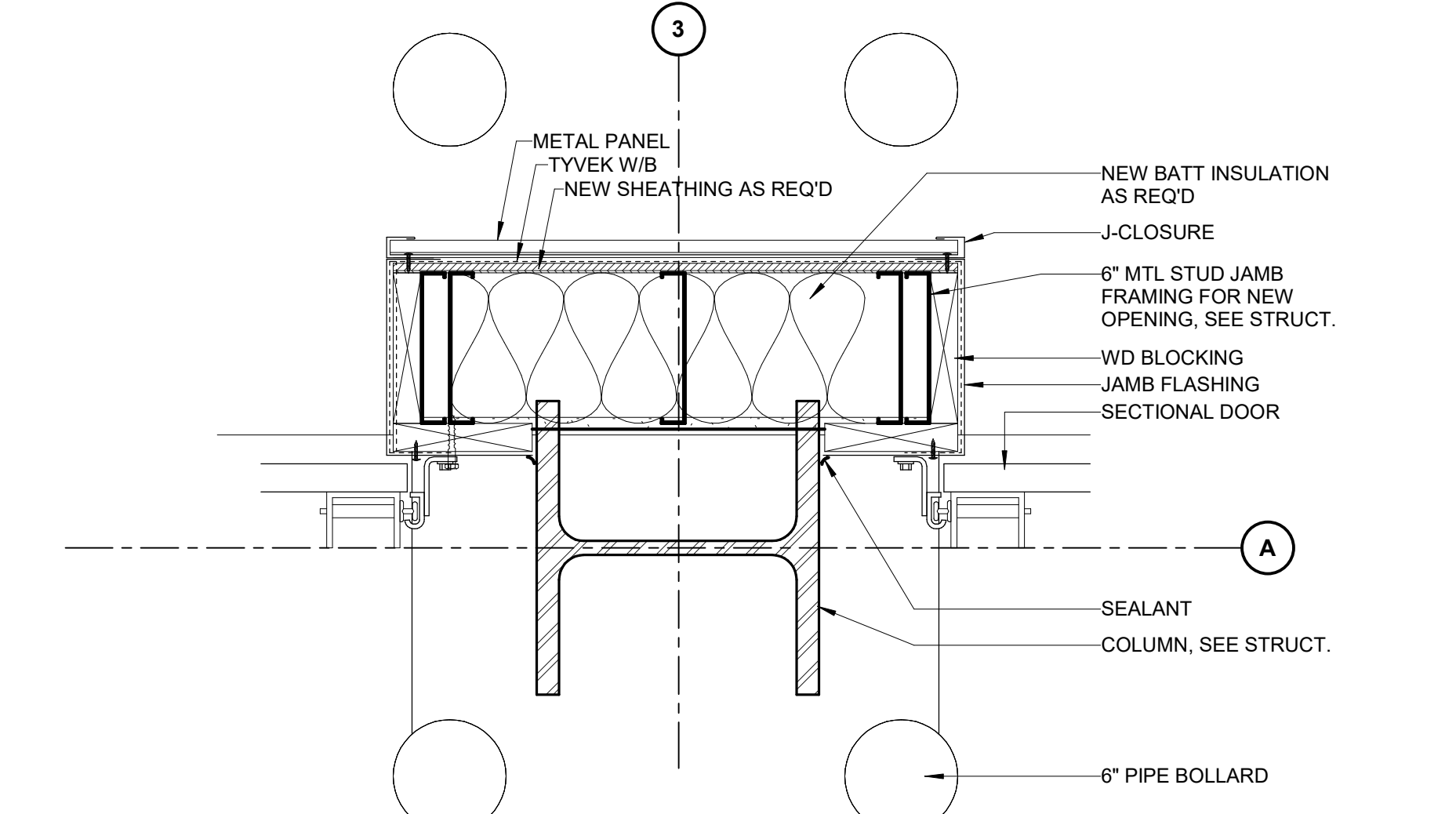
13 PLAN DTL - AREA A @ LOBBY/SERVICE
 1 1/2" = 1'-0"



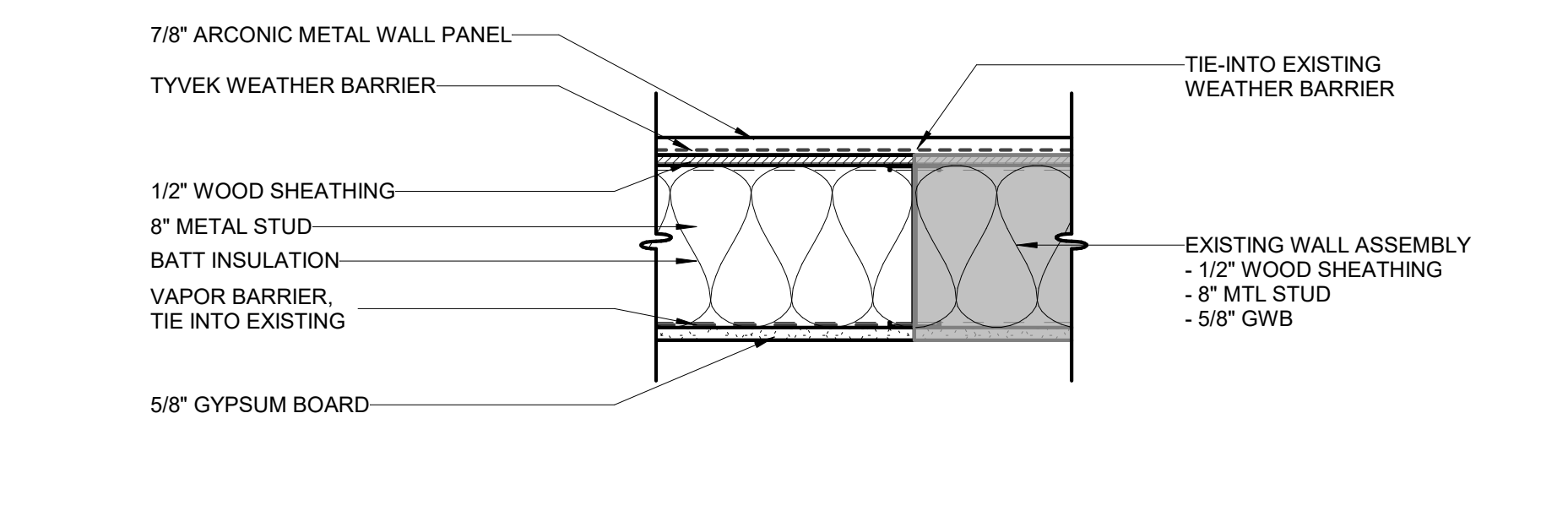
17 PLAN DETAIL
 1 1/2" = 1'-0"



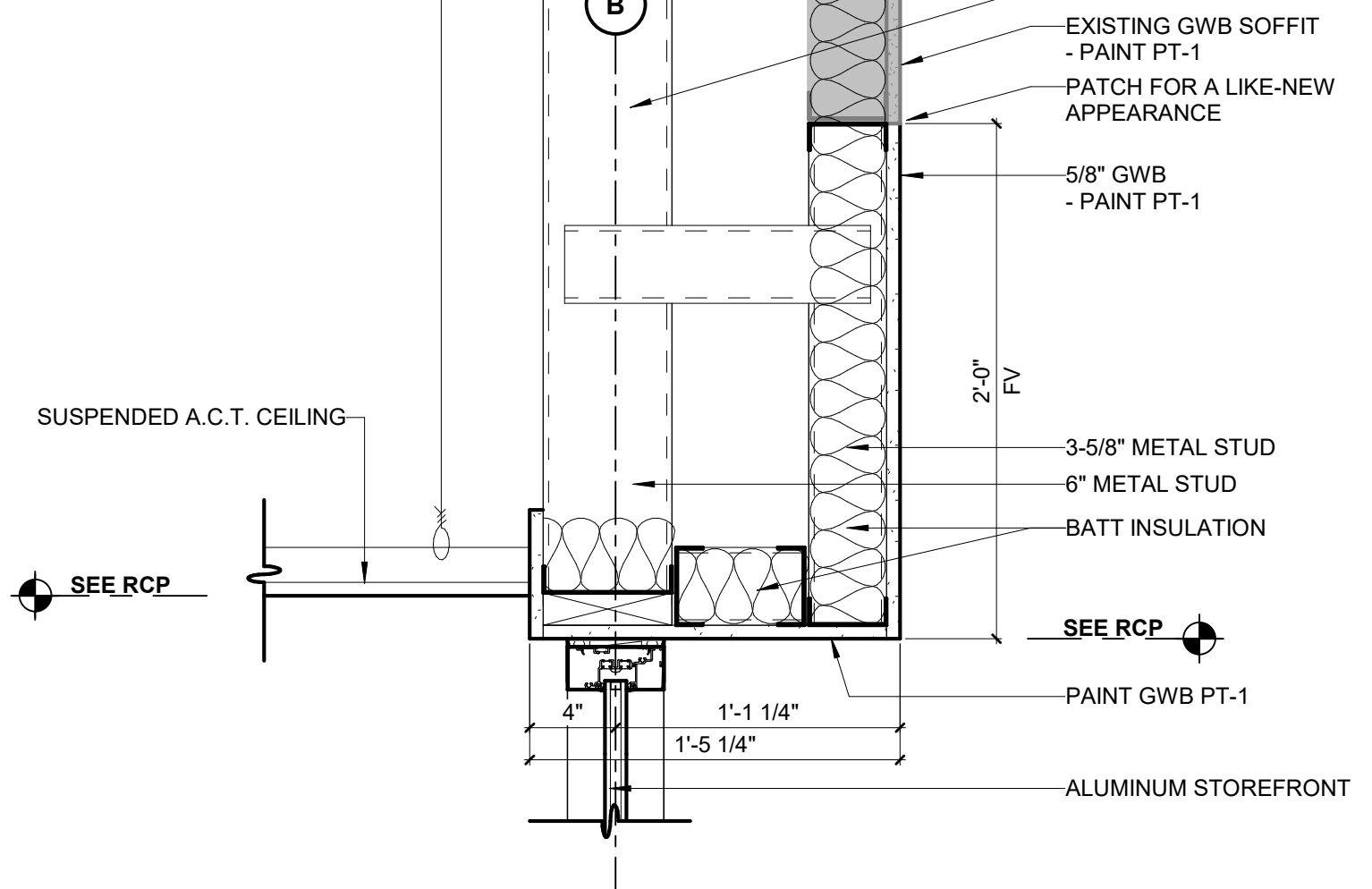
14 PLAN DTL - AREA A @ SERVICE
 1 1/2" = 1'-0"



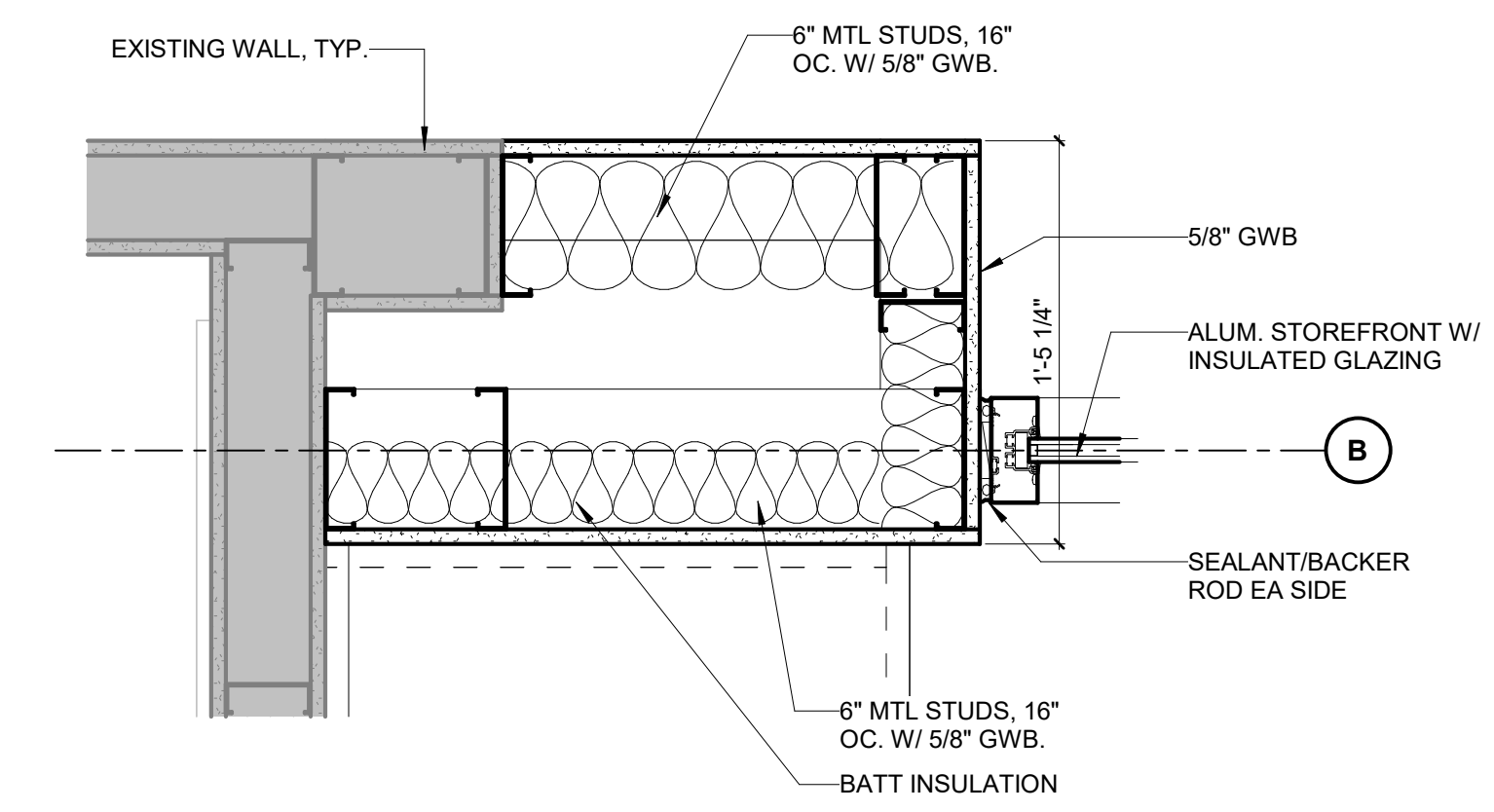
11 PLAN DETAIL - NEW OPENINGS
 1 1/2" = 1'-0"



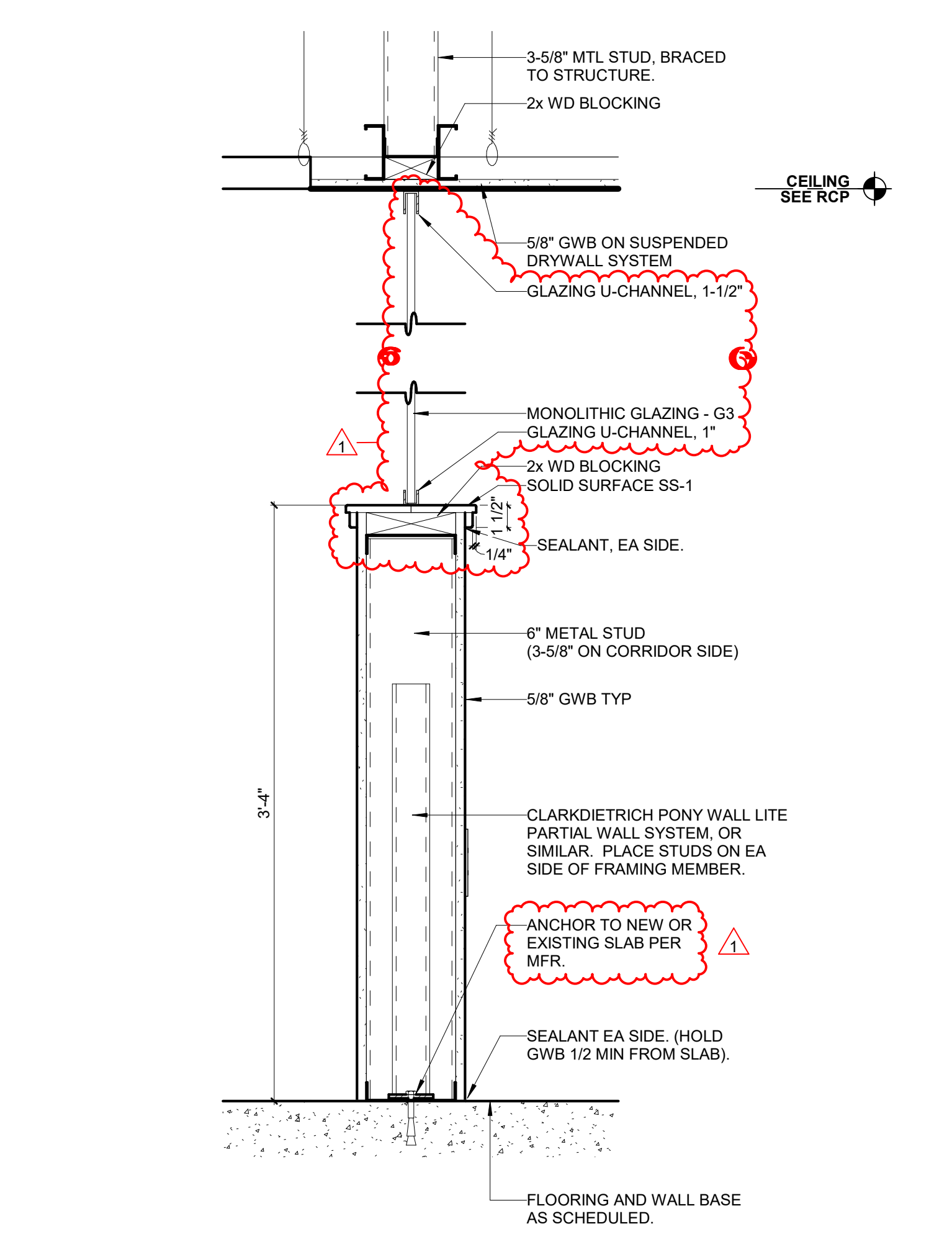
10 PLAN DTL - AREA A - WALL INFILL
 1 1/2" = 1'-0"



18 DETAIL - AREA A - SOFFIT @ LOBBY/WORK
 1 1/2" = 1'-0"



15 PLAN DTL - AREA A @ LOBBY/WORK ENTRY
 1 1/2" = 1'-0"



12 DETAIL - AREA A - PONY WALL
 1 1/2" = 1'-0"

9 INCH SCALE 3" = 1'-0"
 12 INCH SCALE 1-1/2" = 1'-0"
 3 FEET SCALE 3/4" = 1'-0"
 5 FEET SCALE 1/2" = 1'-0"
 10 FEET SCALE 1/4" = 1'-0"
 20 FEET SCALE 1/8" = 1'-0"
 40 FEET SCALE 1/16" = 1'-0"
 80 FEET SCALE 1/32" = 1'-0"
 160 FEET SCALE 3/64" = 1'-0"
 320 FEET SCALE 1/128" = 1'-0"

ARCHITECT
 BVH ARCHITECTURE
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 OMAHA, NE 68102
 V 402 345 3090
 F 402 345 7871
 bvh.com

CIVIL ENGINEER
 LAMP RYNEARSON
 14710 W DODGE RD #100
 OMAHA, NE 68154
 V 402 496 2498
 lra-enc.com

STRUCTURAL ENGINEER
 LANGE STRUCTURAL GROUP
 1919 S 40TH STREET, SUITE 302
 LINCOLN, NE 68506
 V 402 421 9540
 langestructuralgroup.com

MEP ENGINEER
 MORRISSEY ENGINEERING
 4940 N 118TH ST
 OMAHA, NE 68184
 V 402 491 4144
 morrisseyengineering.com

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION
1	02/01/2024	Addendum 1

WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS

PROJECT: 23043 DATE: DEC 19, 2023
 PROJECT STATUS: CD SUBMITTAL



DETAILS

9 INCH
 6 INCH
 3 INCH
 0 3" = 1'-0"
 SCALE

12 INCH
 0 1'-0" = 1'-0"
 SCALE

3 FEET
 0 3/4" = 1'-0"
 SCALE

1 FEET
 0 1/2" = 1'-0"
 SCALE

5 FEET
 0 1/4" = 1'-0"
 SCALE

2 FEET
 0 1/8" = 1'-0"
 SCALE

20 FEET
 0 1/16" = 1'-0"
 SCALE

5 FEET
 0 1/8" = 1'-0"
 SCALE

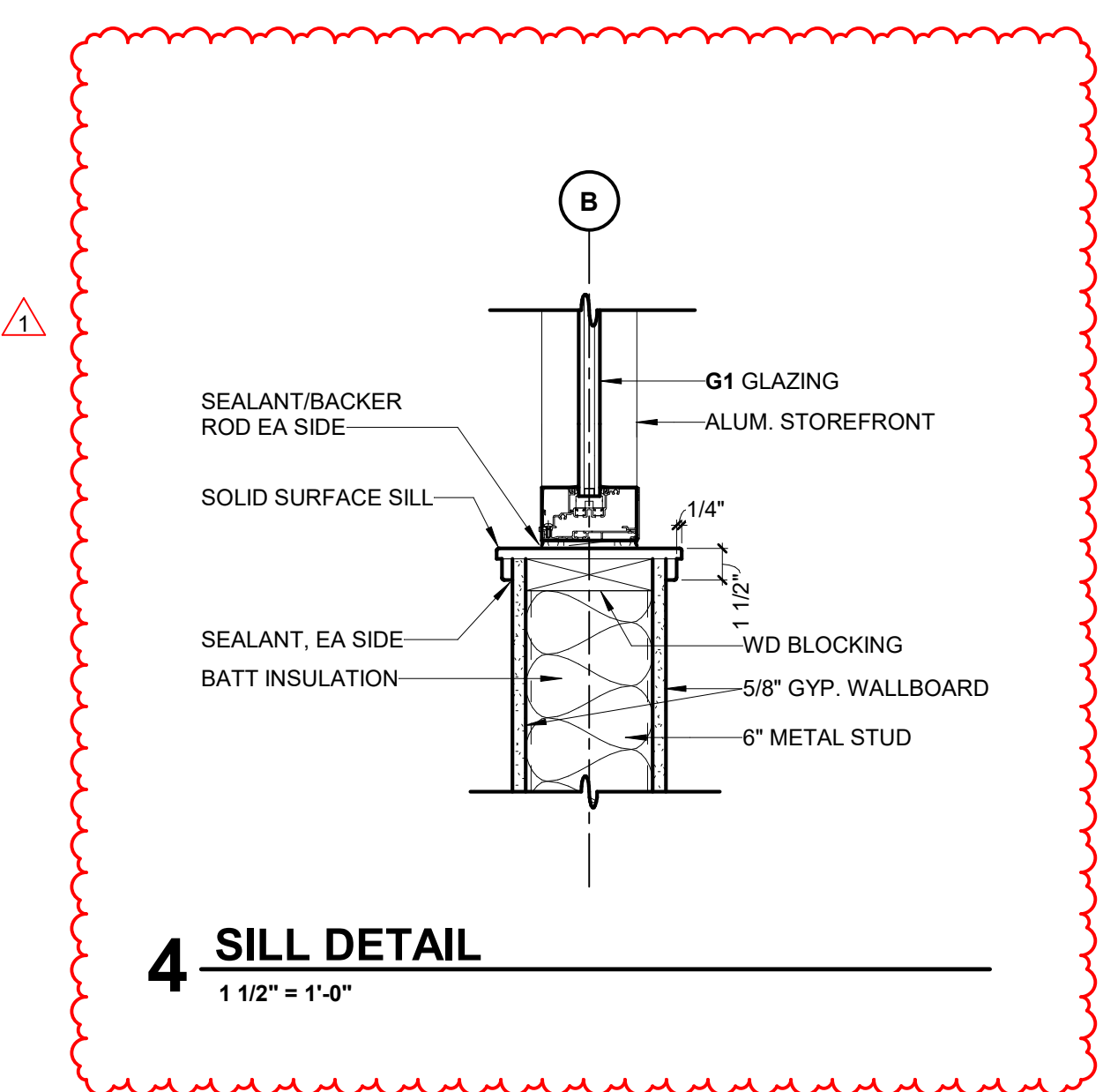
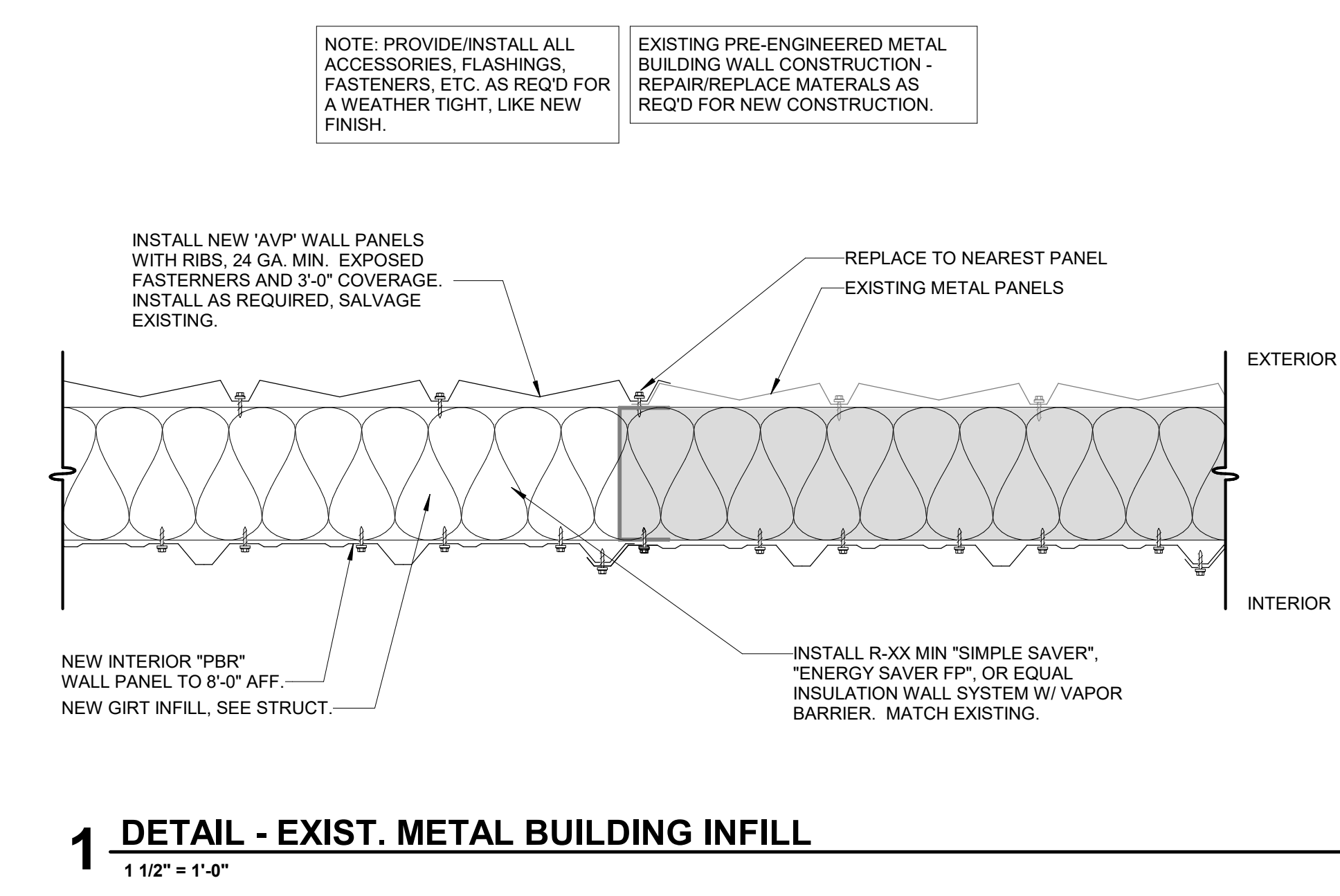
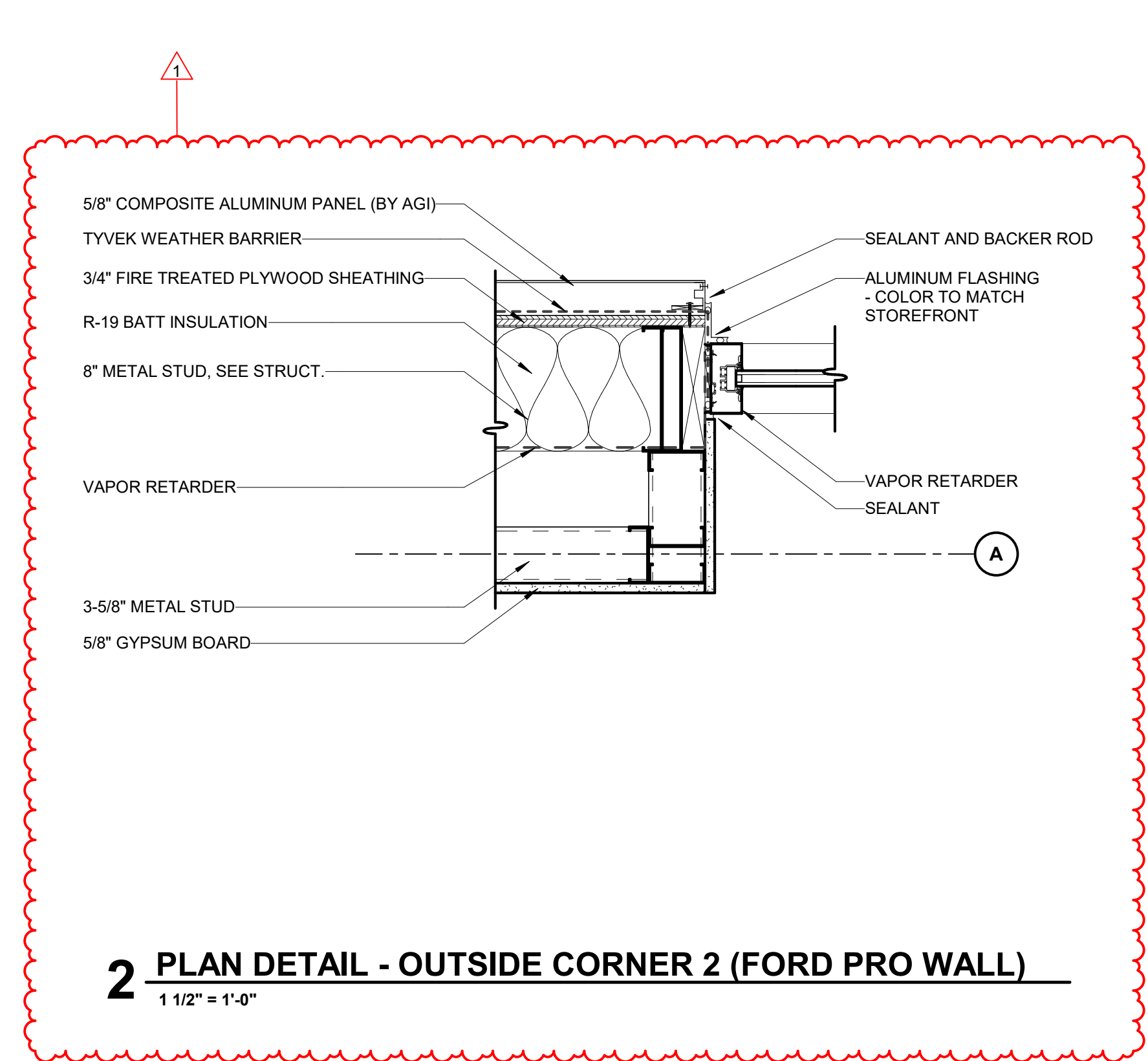
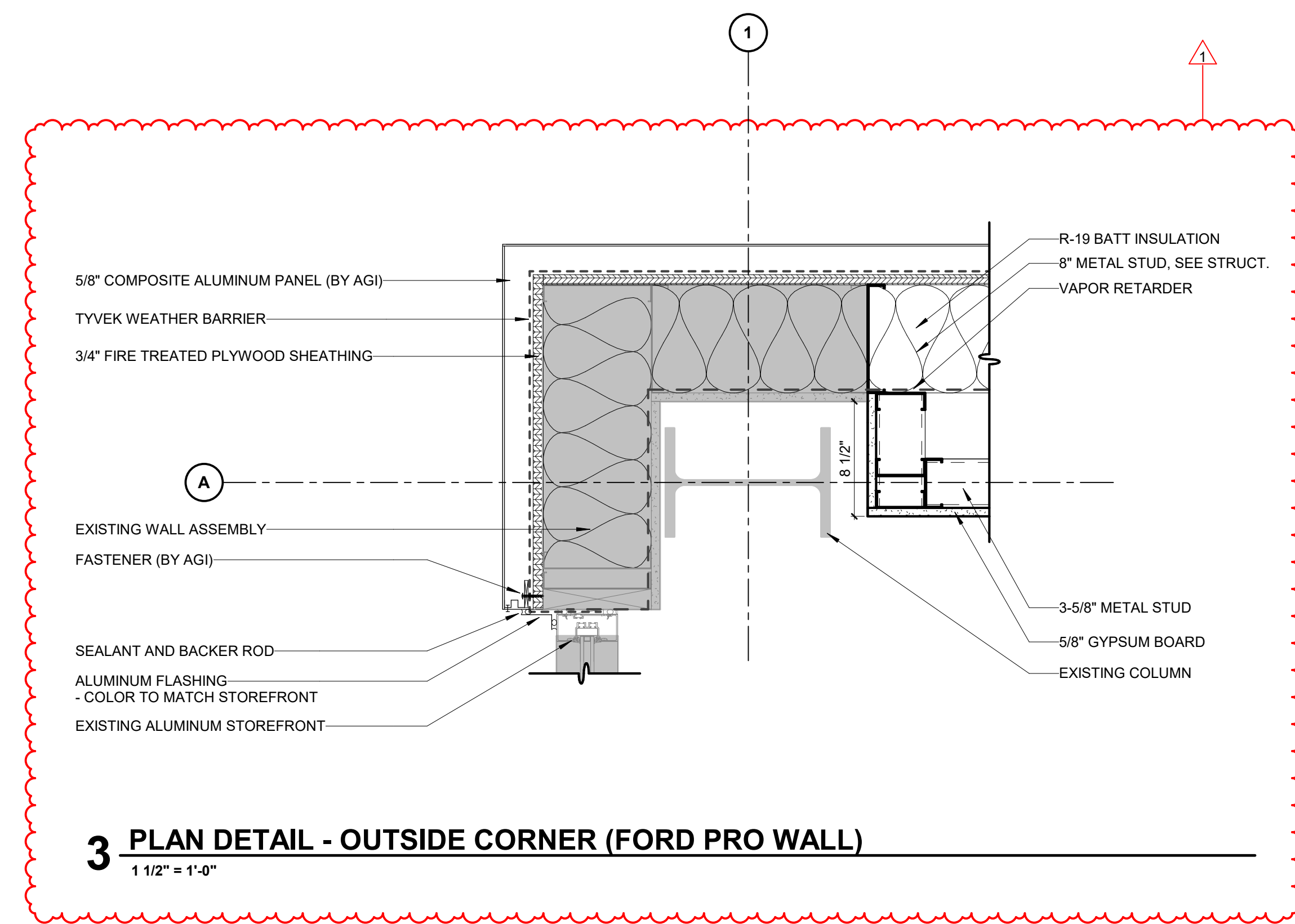
5 FEET
 0 1/16" = 1'-0"
 SCALE

5 FEET
 0 3/32" = 1'-0"
 SCALE

5 FEET
 0 1/8" = 1'-0"
 SCALE

5 FEET
 0 1/16" = 1'-0"
 SCALE

5 FEET
 0 3/32" = 1'-0"
 SCALE



NOTE: PROVIDE/INSTALL ALL ACCESSORIES, FLASHINGS, FASTENERS, ETC. AS REQ'D FOR A WEATHER TIGHT, LIKE NEW FINISH.

EXISTING PRE-ENGINEERED METAL BUILDING WALL CONSTRUCTION - REPAIR/REPLACE MATERIALS AS REQ'D FOR NEW CONSTRUCTION.

INSTALL NEW 'AVP' WALL PANELS WITH RIBS, 24 GA. MIN. EXPOSED FASTENERS AND 3-0\"/>

REPLACE TO NEAREST PANEL EXISTING METAL PANELS

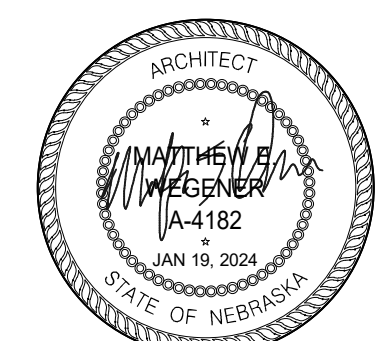
NEW INTERIOR 'PBR' WALL PANEL TO 8'-0\"/>

INSTALL R-XX MIN 'SIMPLE SAVER', 'ENERGY SAVER FFP', OR EQUAL INSULATION WALL SYSTEM W/ VAPOR BARRIER. MATCH EXISTING.

Table with 3 columns: MARK, DATE, DESCRIPTION. Row 1: 1, 02/01/2024, Addendum 1.

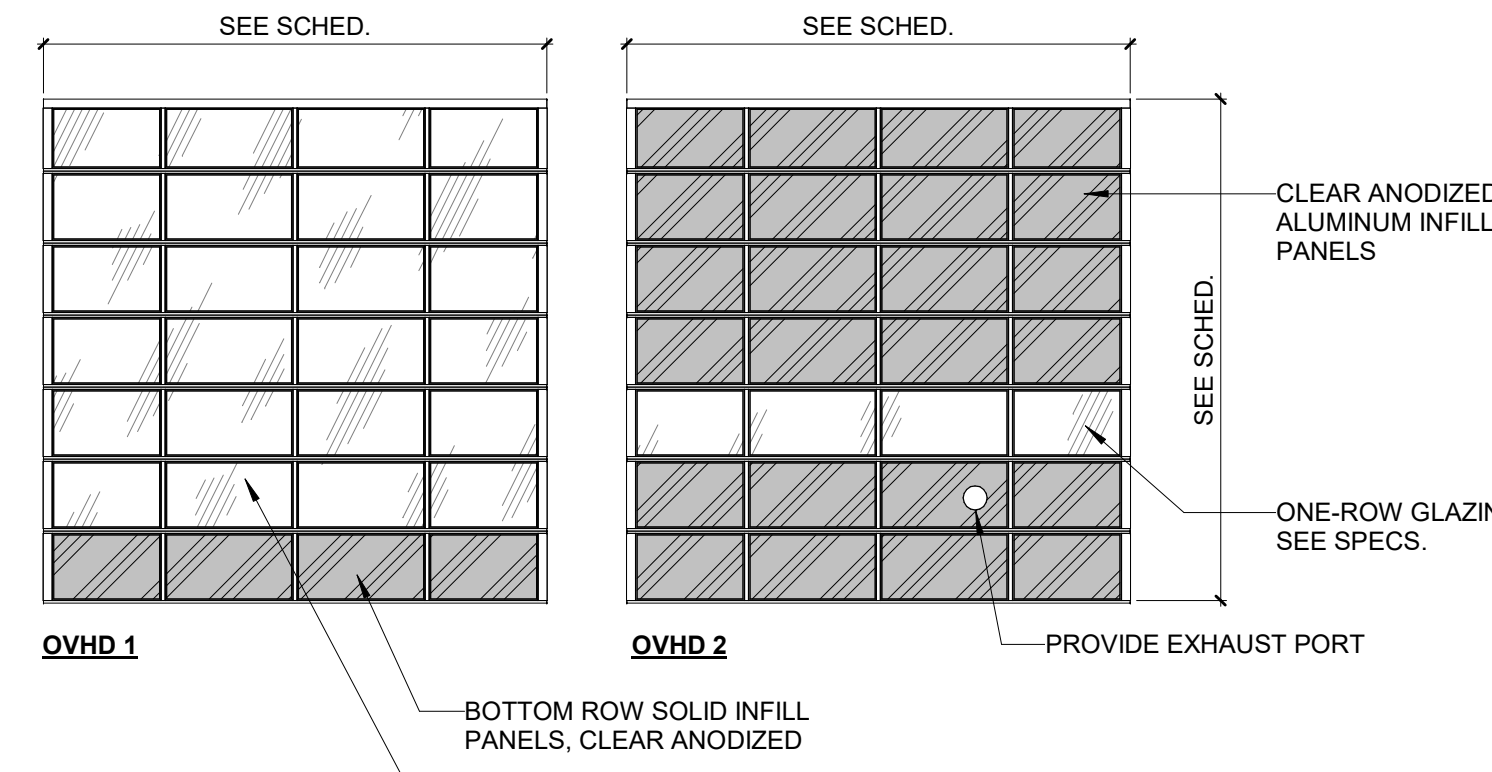
WOODHOUSE FORD
PRO: BUILDING
IMPROVEMENTS

PROJECT: 23043 DATE: DEC 19, 2023
PROJECT STATUS: CD SUBMITTAL



DOOR AND WINDOW
FRAME
TYPES/DETAILS

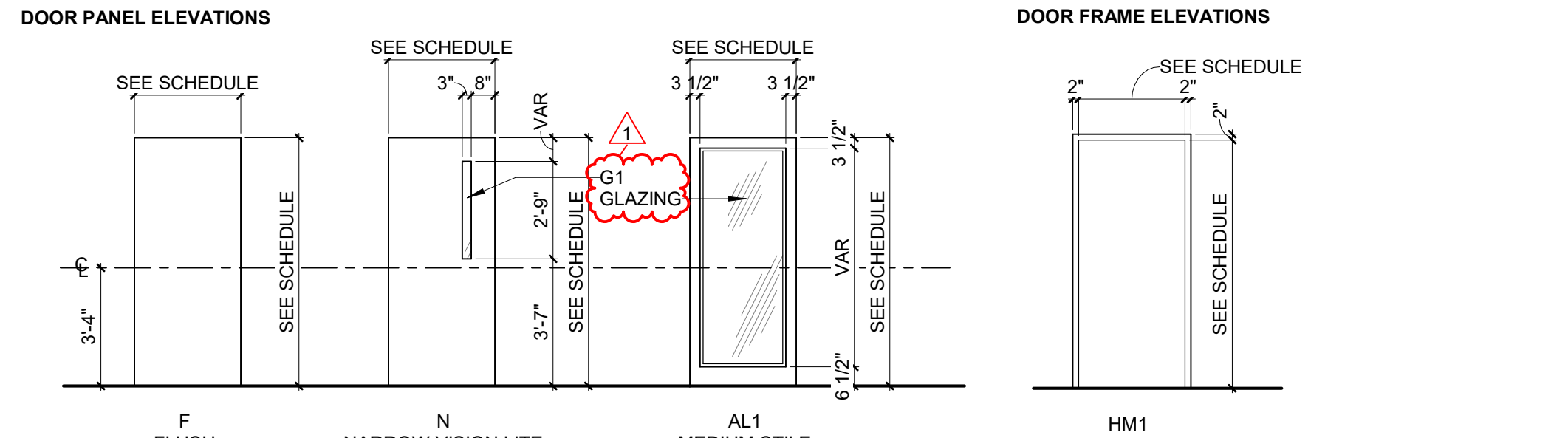
- 083613 Sectional Doors
1. Basis of Design: Overhead Door Corporation; Product 521 Series - Aluminum
2. Aluminum Doors: Sile and rail aluminum with solid and glazed panels; lift clearance operating style with track and hardware; complying with DASMA 102, Commercial Application.
3. Components:
4. Electrical Operation



OVERHEAD DOOR ELEVATIONS

OVERHEAD DOOR SCHEDULE table with columns: NUMBER, WIDTH, HEIGHT, TYPE, MATERIAL, DETAIL, COMMENTS, REVISIONS. Rows include 1B through 32Q.

DOOR SCHEDULE table with columns: NUMBER, WIDTH, HEIGHT, DOOR TYPE, MATERIAL, FRAME TYPE, FIRE RATING, DETAIL, HDWE SET, COMMENTS, REVISIONS. Rows include 1A through 34.



081113 HOLLOW METAL DOORS AND FRAMES

- Curries, Cece, Republic or Steelcraft.
All doors/frames reinforced and prepped for hardware and factory primed for field finish: Two coats finish, minimum.
Exterior Doors: Heavy-Duty Doors and Frames: SDI A250.8, Level 2; SDI A250.4, Level B.
Interior Doors: Heavy-Duty Doors and Frames: SDI A250.8, Level 2; SDI A250.4, Level B.

084313 Aluminum Framed Storefronts

- Kawneer North America, an Arconic company, EFCO Corporation, YKK AP America, Inc., Tubille Inc.
T14000 I/O Series Multipane Storefront (Tubelle)
Tripla VersaGlaze 451/451T (Kawneer)
Other.
4.5 inch depth, 1/2 inch sightline.

088000 Glazing

- Exterior Insulating-Glass Units: Factory-assembled units consisting of sealed lites of glass separated by a dehydrated interspace, qualified according to ASTM E 2190.
G1: 1 inch thick Low-E coated insulating glass, tempered safety glass in doors/sidelites or where required by Code.

08 Hardware Schedule

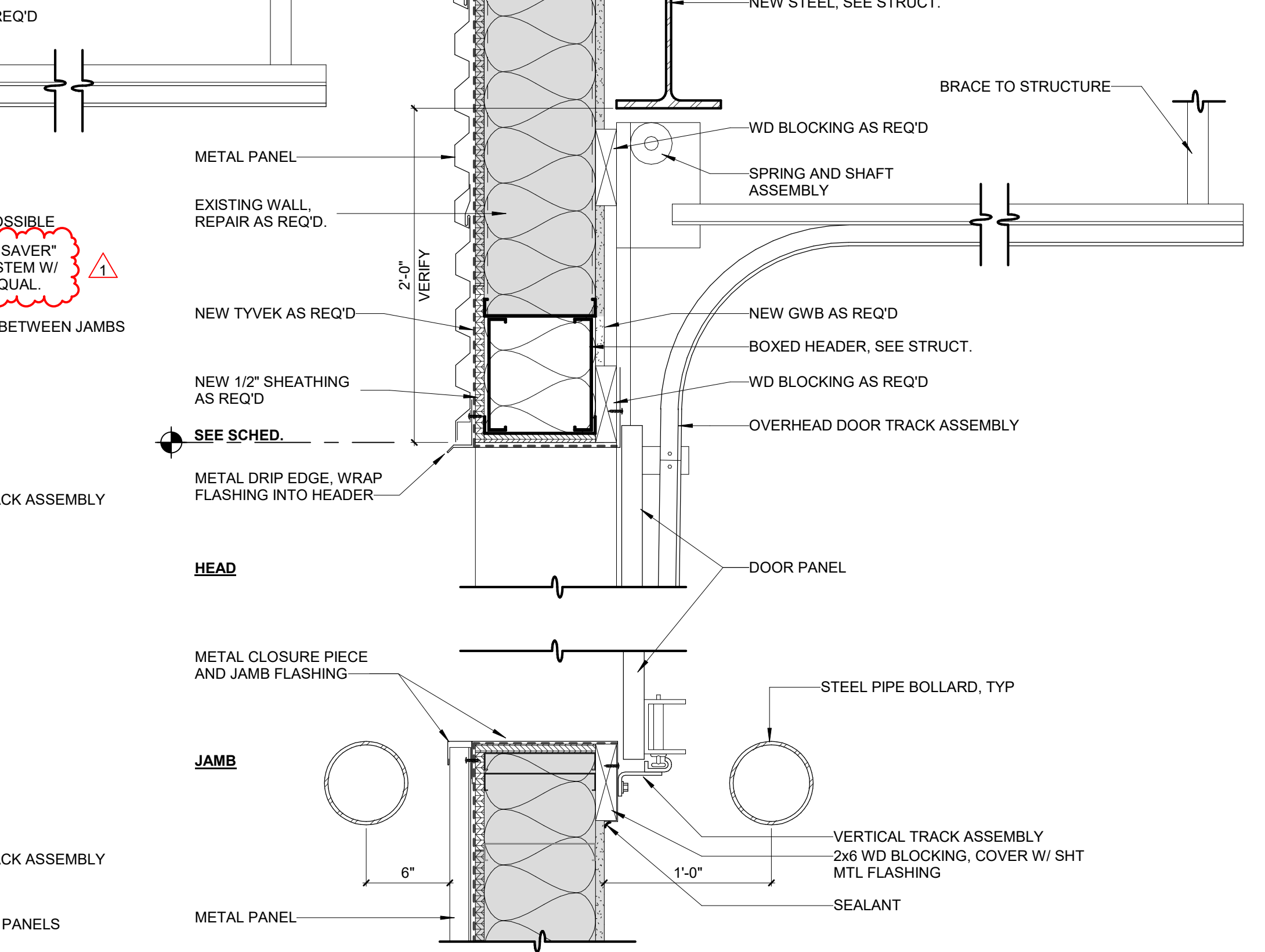
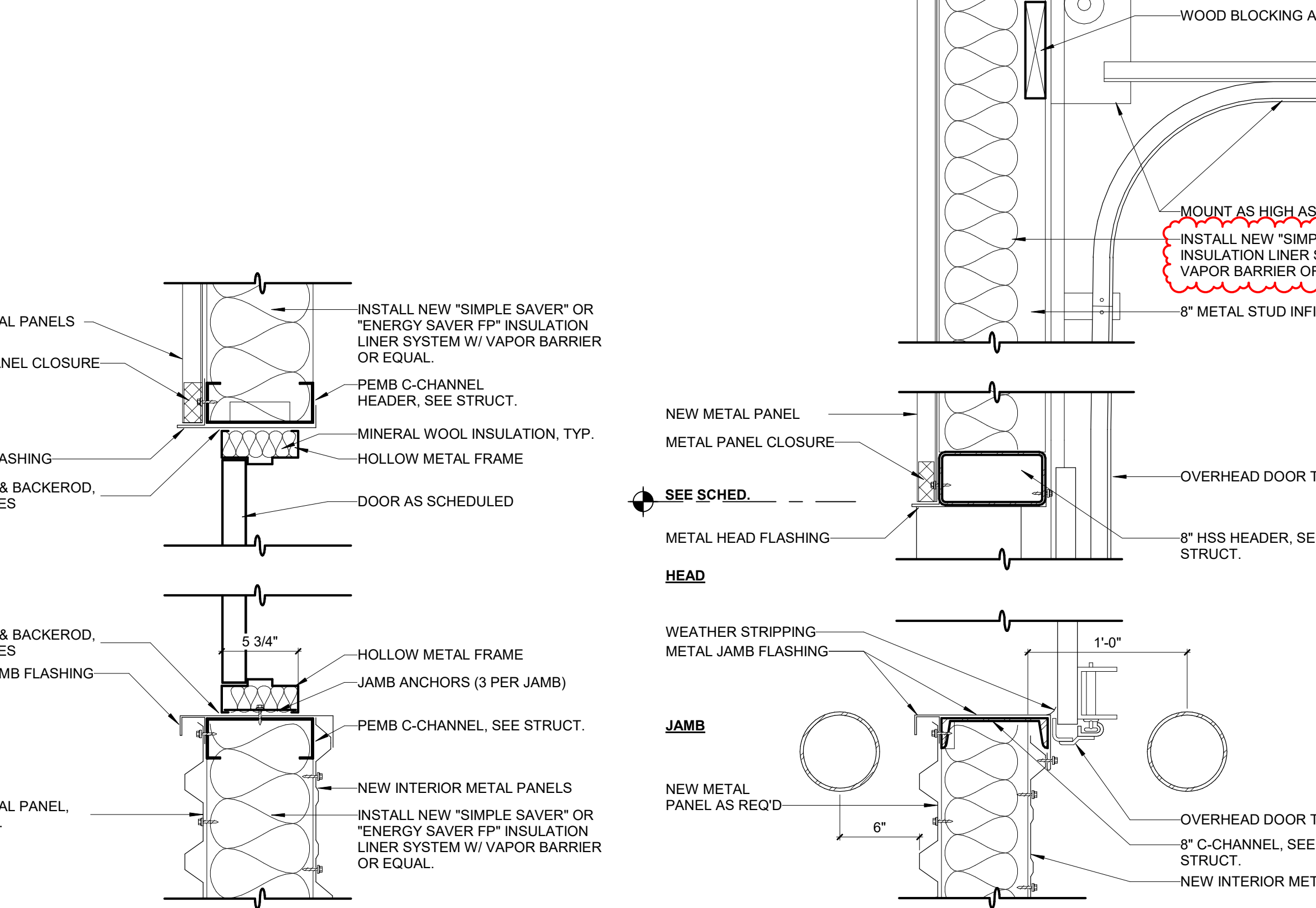
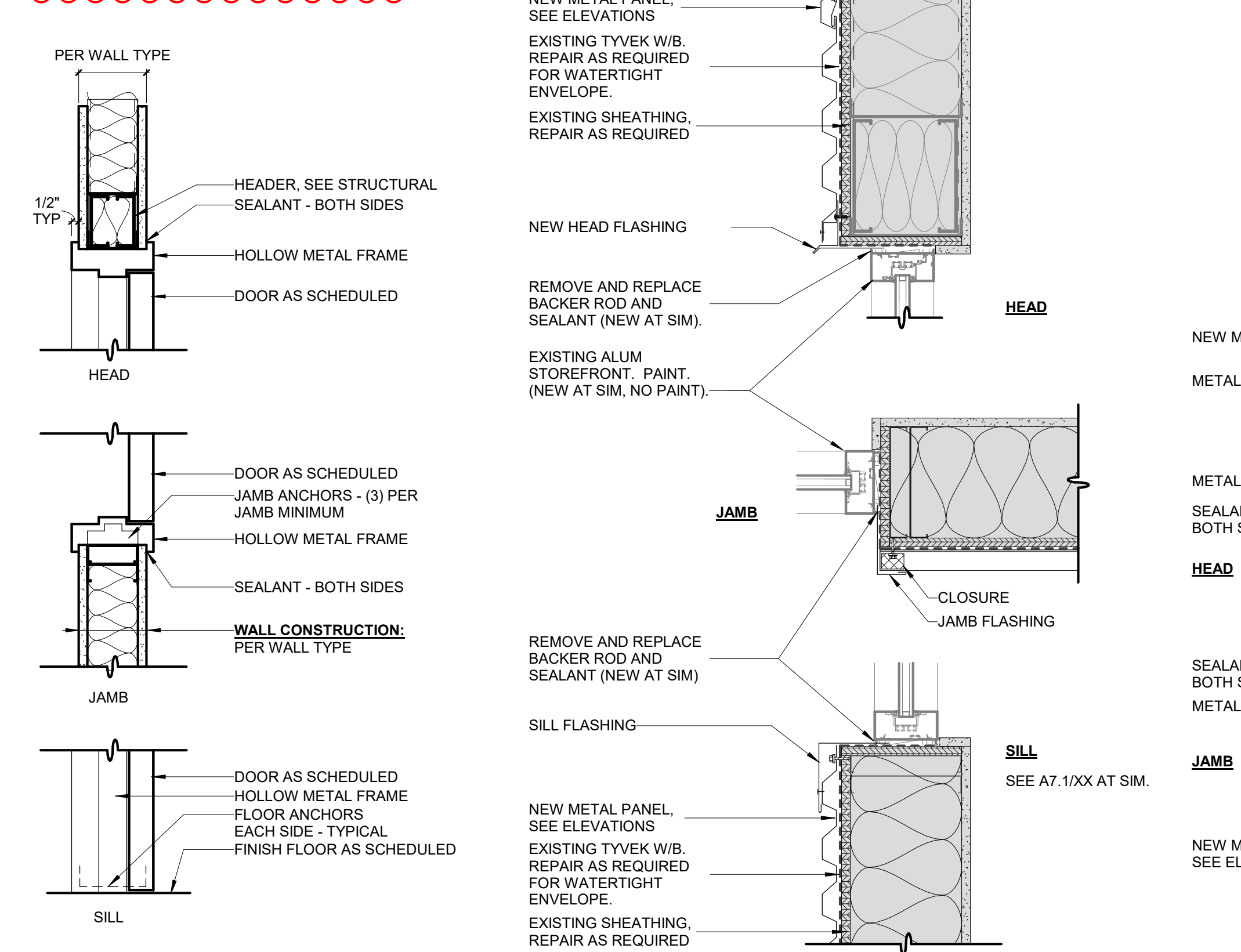
- Hardware Set 1: Provided by aluminum door supplier - Cylinder
Hardware Set 2: Provided by aluminum door supplier - (1) ea Floor Stop
Hardware Set 3: (3) ea Hinges, (1) ea Lever Lockset, passage function, Corbin Russel
Hardware Set 4: (3) ea Hinges, (1) ea Pull Plate, (1) ea Push Plate, (1) ea Closer, (1) ea Door Sweep, (1) ea ADA Threshold, Perimeter seals.
Hardware Set 5: (3) ea Hinges, (1) ea Closer, (1) ea Lever Lockset, (1) ea Cylinder, (1) ea Sweep, (1) ea Door Bottom, (1) ea Kick Plate, 10", (1) ea Door Sweep, (1) ea ADA Threshold, Perimeter seals.

084213 Aluminum Framed Entrances

- Kawneer North America, an Arconic company, EFCO Corporation, YKK AP America, Inc., Tubille Inc.
Kawneer 350T Thermal Entrance
Medium stile
2-1/4" Depth
Finish:
Clear Anodic Finish: AAMA 611 (AA-M10C21A41), Class I, 0.018 mm.
Glazing: Specified in 088000 and with matching set of GPs

088300 Mirrors

- Mirrored Glass: 1/2" thick clear float, silvered, with copper backing, edges polished and ground smooth.



5 DETAIL - TYPICAL HM FRAME IN MTL STUD WALL 1 1/2" = 1'-0"

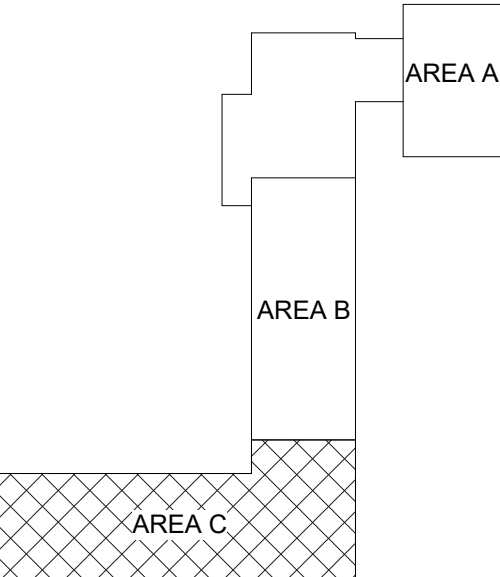
4 ALUM DOOR IN MTL STUD EXT 1 1/2" = 1'-0"

3 HM DOOR IN MTL BLDG 1 1/2" = 1'-0"

2 OVHDD DOOR DTL IN MTL BLDG 1 1/2" = 1'-0"

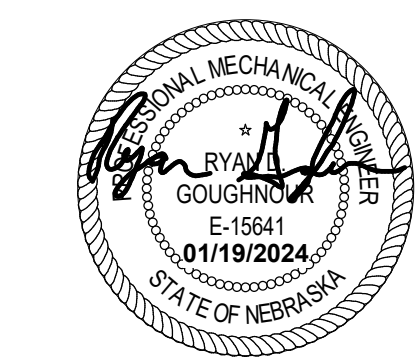
1 OVHDD DOOR DTL 1 1/2" = 1'-0"

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION
1	02/01/2024	Addendum 01



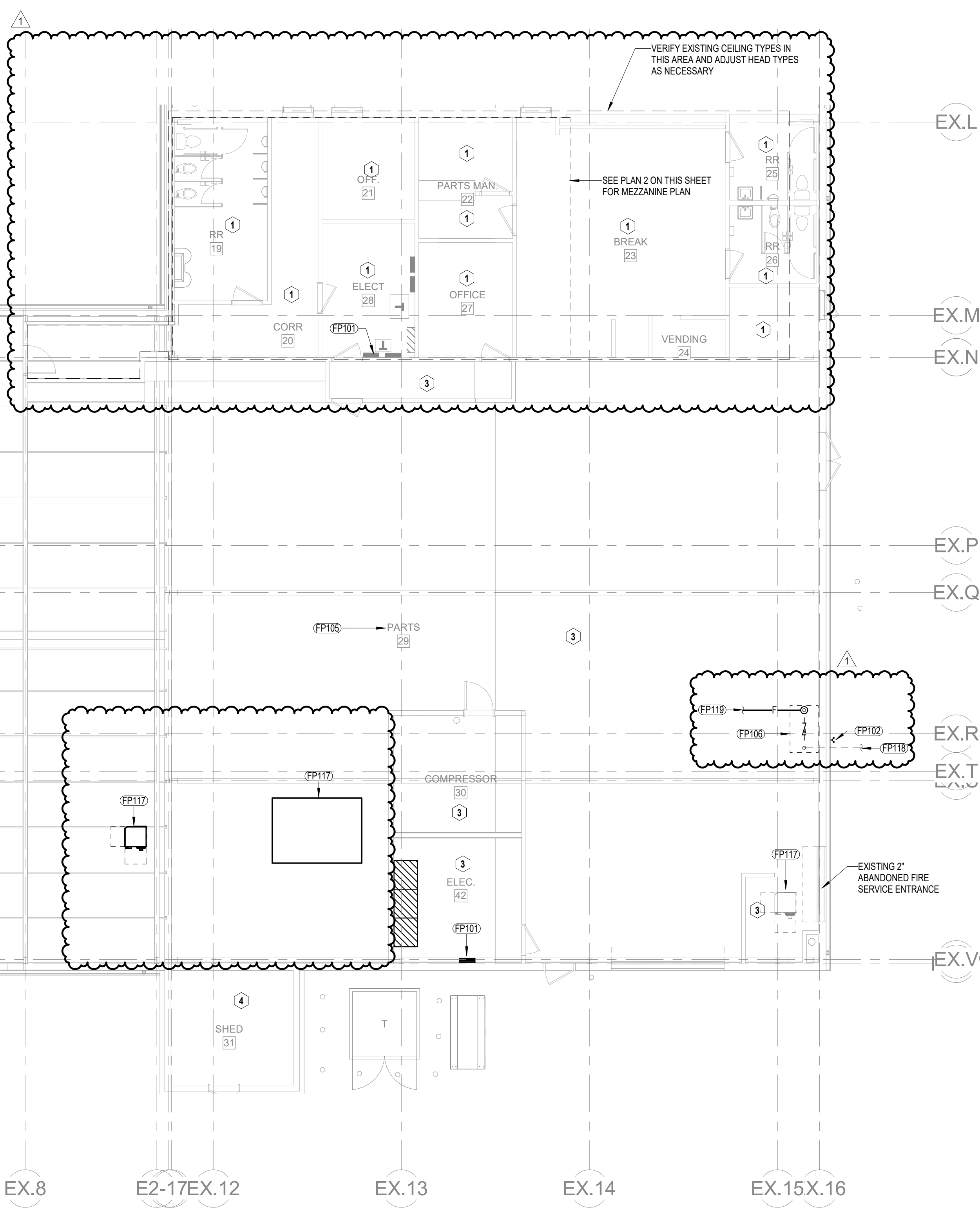
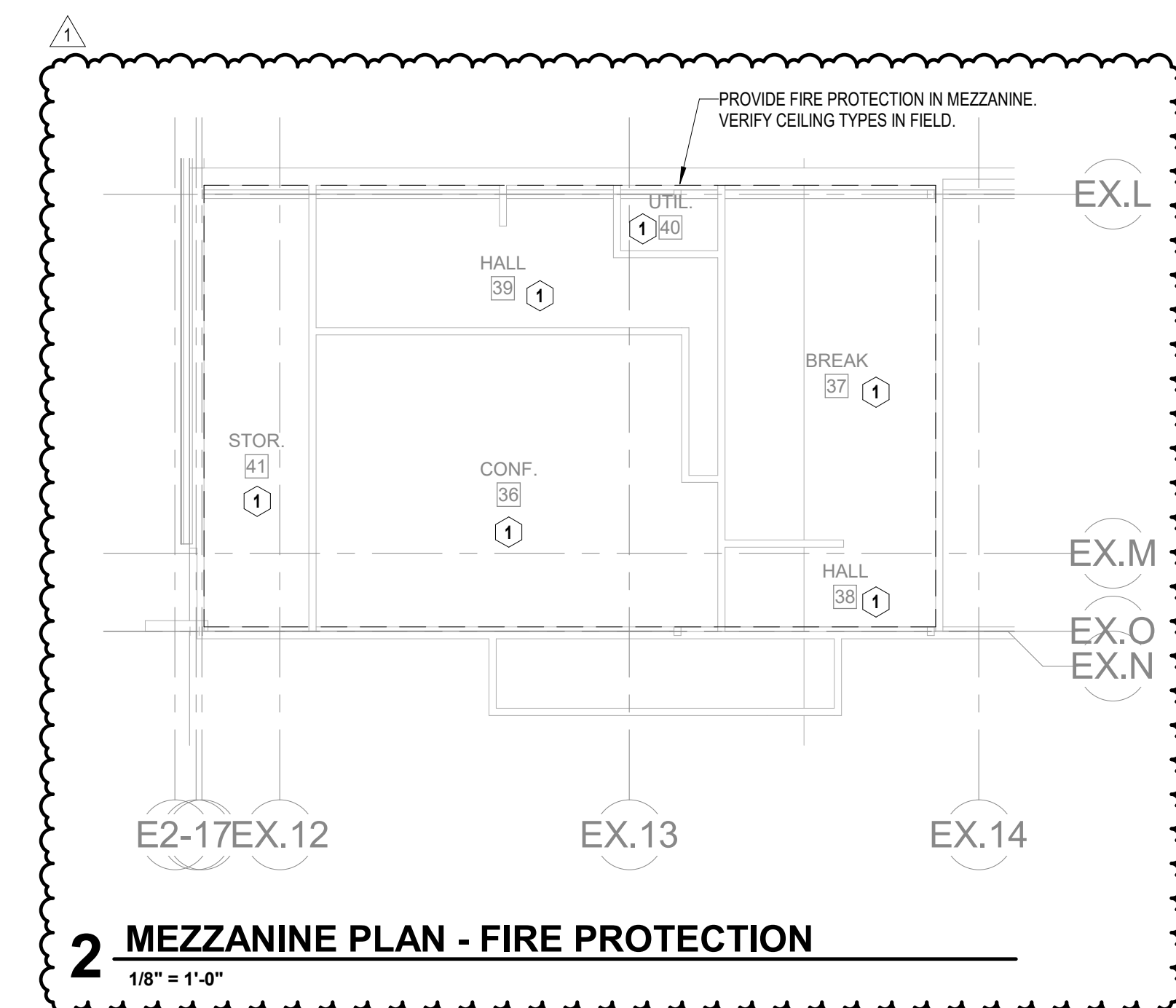
WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS

PROJECT: 23043 DATE: JANUARY 19, 2024
 PROJECT STATUS: CONSTRUCTION DOCUMENTS



FLOOR PLAN - FIRE PROTECTION PLAN - AREA C

NORTH
FP1.3



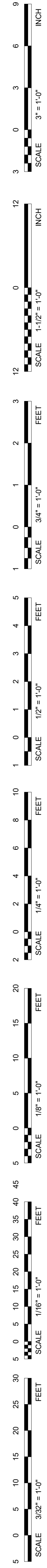
FIRE SPRINKLER HEAD DESIGNATION SCHEDULE (1)

PLAN TAG	CEILING TYPE	HEAD TYPE	HEAD COLOR
1	LAY-IN ACOUSTICAL TILE	CONCEALED	WHITE
2	GYP BOARD	CONCEALED	WHITE
3	EXPOSED STRUCTURE	UPRIGHT	BRASS
4	SIDE WALL	DRY-TYPE	CHROME

REMARKS:
 1. THIS PLAN IS FOR COORDINATION PURPOSES ONLY. REFER TO ARCHITECTURAL CEILING PLANS FOR SPECIFIC CEILING TYPES AND POTENTIAL OBSTRUCTIONS. PROVIDE ALL HEADS AS REQUIRED FOR DESIGN INTENT AND AN NFPA 13 COMPLIANT SYSTEM. SEE ADDITIONAL FIRE PROTECTION NOTES FOR ADDITIONAL INFORMATION.

KEYNOTES

- FP101 DO NOT ROUTE PIPING ABOVE ELECTRICAL PANELS. MAINTAIN ALL CODE REQUIRED CLEARANCES.
- FP102 PROPOSED LOCATION FOR FIRE DEPARTMENT CONNECTION. VERIFY ACCEPTABLE LOCATION WITH AUTHORITY HAVING JURISDICTION. FIRE DEPARTMENT CONNECTION TO BE INSTALLED WITH 5' CLEARANCE FROM OBSTRUCTIONS INCLUDING OUTWARD SWINGING DOORS, BOLLARDS, GAS METERS, OR OTHER OBSTRUCTIONS. PIPE DROP TO FDC IN WASH BASIN SHALL BE PROTECTED FROM WATER SPRAY WITH PVC PIPE COVERING TO REDUCE CORROSION FROM SPRAY.
- FP104 COORDINATE LOCATION OF FIRE SPRINKLER PIPING AND HEADS WITH OVERHEAD GARAGE DOOR. PROVIDE PROTECTIVE CAGE WHERE INSTALLED UNDERNEATH DOORS.
- FP105 EXPOSED STRUCTURE. ROUTE FIRE SPRINKLER PIPING AND HEADS AS HIGH AS POSSIBLE. PAINT EXPOSED PIPING - COLOR SELECTED BY ARCHITECT.
- FP106 PROVIDE FIRE SERVICE ENTRANCE WITH DOUBLE CHECK BACKFLOW PREVENTER, ISOLATION VALVES, CHECK VALVES, FLOW SWITCH, ETC. AS REQUIRED BY NFPA 13, LOCAL CODES, AND THE AUTHORITY HAVING JURISDICTION.
- FP112 ROUTE FIRE SPRINKLER PIPING MINIMUM OF 6'-0" FROM OVERHEAD GARAGE DOORS TO MINIMIZE FREEZE POTENTIAL.
- FP117 COORDINATE LOCATION OF FIRE SPRINKLER HEADS WITH THE LOCATION OF UNIT HEATER AND RADIANT TUBE SERVICES.
- FP118 IF FIRE SERVICE RUN MINIMUM 5 FEET BELOW GRADE. SEE CIVIL FOR CONTINUATION TO POST INDICATOR VALVE MINIMUM 40 FEET FROM THE BUILDING.
- FP119 FIRE SPRINKLER LINE TO BUILDING. FINAL SIZING AND PIPE ROUTING TO BE DESIGNED BY FIRE SPRINKLER CONTRACTOR. FIRE SPRINKLER FLOW TEST RESULTS DATED 5/11/2023 INDICATE STATIC PRESSURE OF 154 PSI AND RESIDUAL PRESSURE OF 134 PSI AT THE RESIDUAL HYDRANT AND FLOW HYDRANT FLOW RATE OF 3.718 GPM.



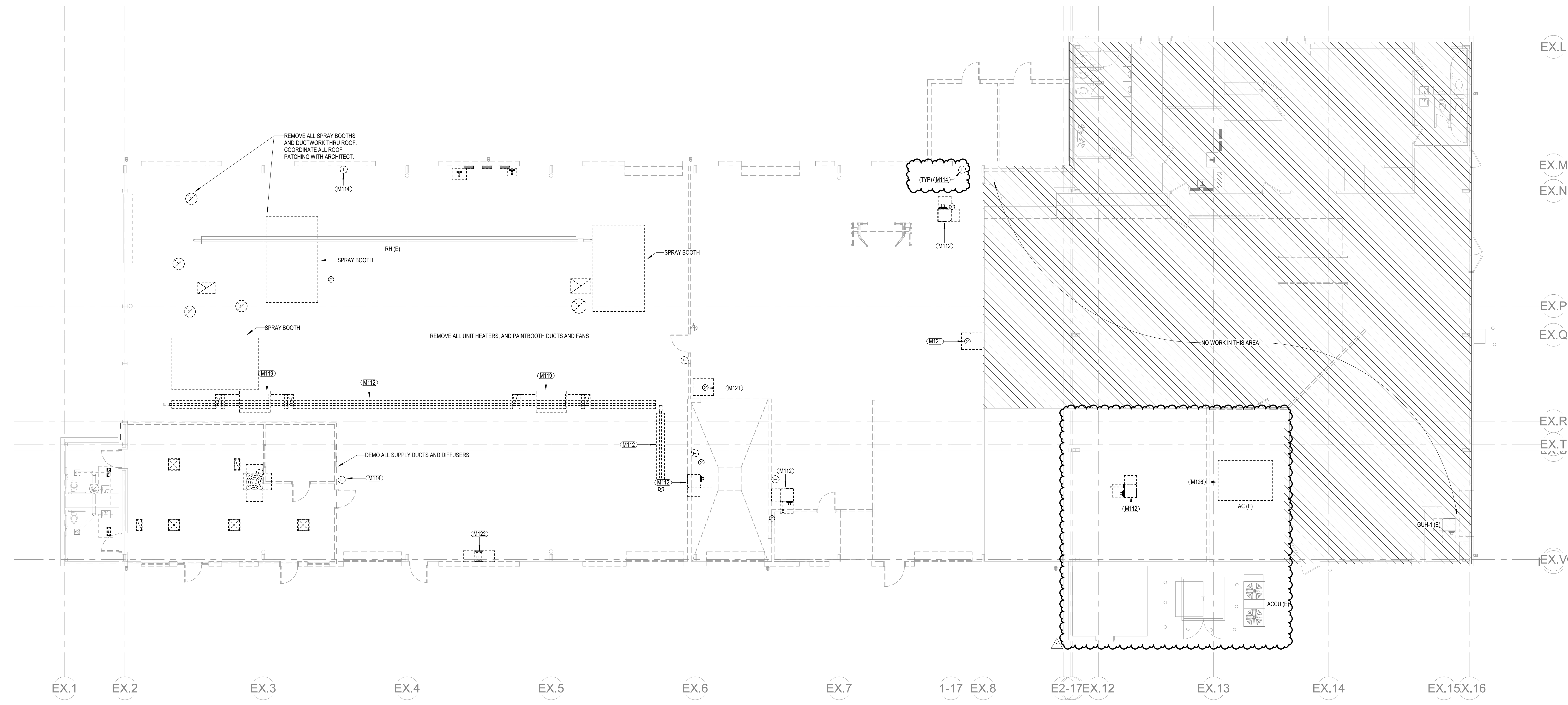
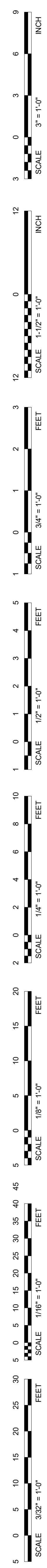
MEI PROJECT NO. 23416

morrissey engineering inc
 mechanical | electrical | lighting | technology | sustainability
 4940 North 118th Street
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 Nebraska COA Number: CA-0835
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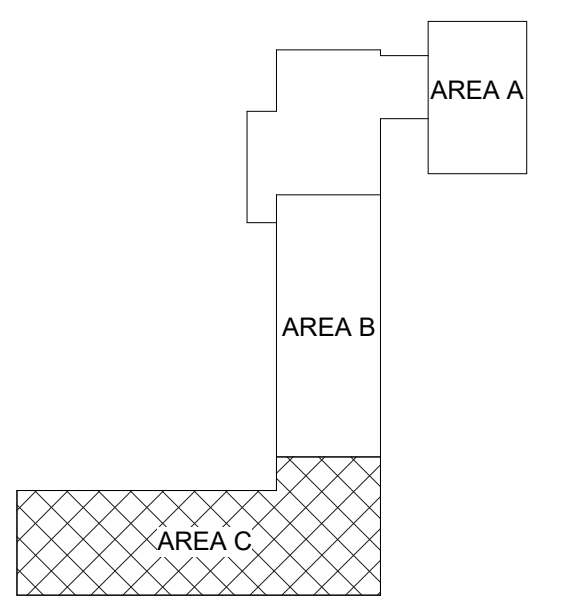
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note:
 do not scale drawings. verify all dimensions and clearances from architectural, structural, shop and other appropriate drawings or at site. lay out and coordinate all work prior to installation to provide clearances required for operation, maintenance, and codes and verify non-interference with other work. do not fabricate prior to verification of clearance for all trades.

- KEYNOTES**
- M112 SALVAGE GAS UNIT HEATER FOR RELOCATION. DISCONNECT EXHAUST FLUE. REPAIR AREA FOR CONFORMANCE TO MECHANICAL CODE.
 - M114 REMOVE ALL EXISTING THERMOSTATS. NEW PROGRAMMABLE THERMOSTATS MEETING ENERGY CODE SETBACKS AND COOLHEAT/AUTO MODE SHALL BE PROVIDED FOR ALL NEW AND EXISTING COILS/UNIT.
 - M119 REMOVE ALL MECHANICAL EQUIPMENT ON ROOF AND DUCTWORK. COORDINATE ROOF PATCHING WITH ARCHITECT.
 - M121 REMOVE HOTSY BOOTH AND EXHAUST DUCT THRU ROOF. COORDINATE ALL ROOF PATCHING WITH ARCHITECT.
 - M122 REMOVE ALL FAN COILS FOR ALL FAN COILS. COORDINATE WITH ARCHITECT.
 - M126 SALVAGE AIR COOLED FAN COIL UNIT AND DISCHARGE DUCTWORK AND REGISTERS FOR RELOCATION. REMOVE EXISTING REFRIGERANT PIPING AND CONDENSATE PIPING.



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1 DEMOLITION FLOOR PLAN - HVAC - AREA C
 1/8" = 1'-0"

MEI PROJECT NO. 23416

 mechanical | electrical | lighting | technology | sustainability
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 Omaha, NE 68184
 P: 402.491.4144
 Nebraska COA Number: CA-0835
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DEMOLITION FLOOR PLAN - HVAC - AREA C

NORTH

MD1.3

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KEYNOTES
M127 REMOVE EXISTING REFRIGERANT PIPING AND CONDENSATE PIPING. SEE SHEET M127 FOR GAS PIPING TO BE RELOCATED TO NEW GAS PIPING.
M209 DISCONNECT EXISTING GAS PIPING FOR UNIT HEATER RELOCATION. SEE NEW PLANS FOR CONNECTION TO NEW GAS PIPING.

9 INCH
6 INCH
3 INCH
3" = 1'-0"
SCALE

12 INCH
0 INCH
1'-1/2" = 1'-0"
SCALE

3 FEET
2 FEET
1 FEET
3/4" = 1'-0"
SCALE

5 FEET
4 FEET
3 FEET
2 FEET
1 FEET
1/2" = 1'-0"
SCALE

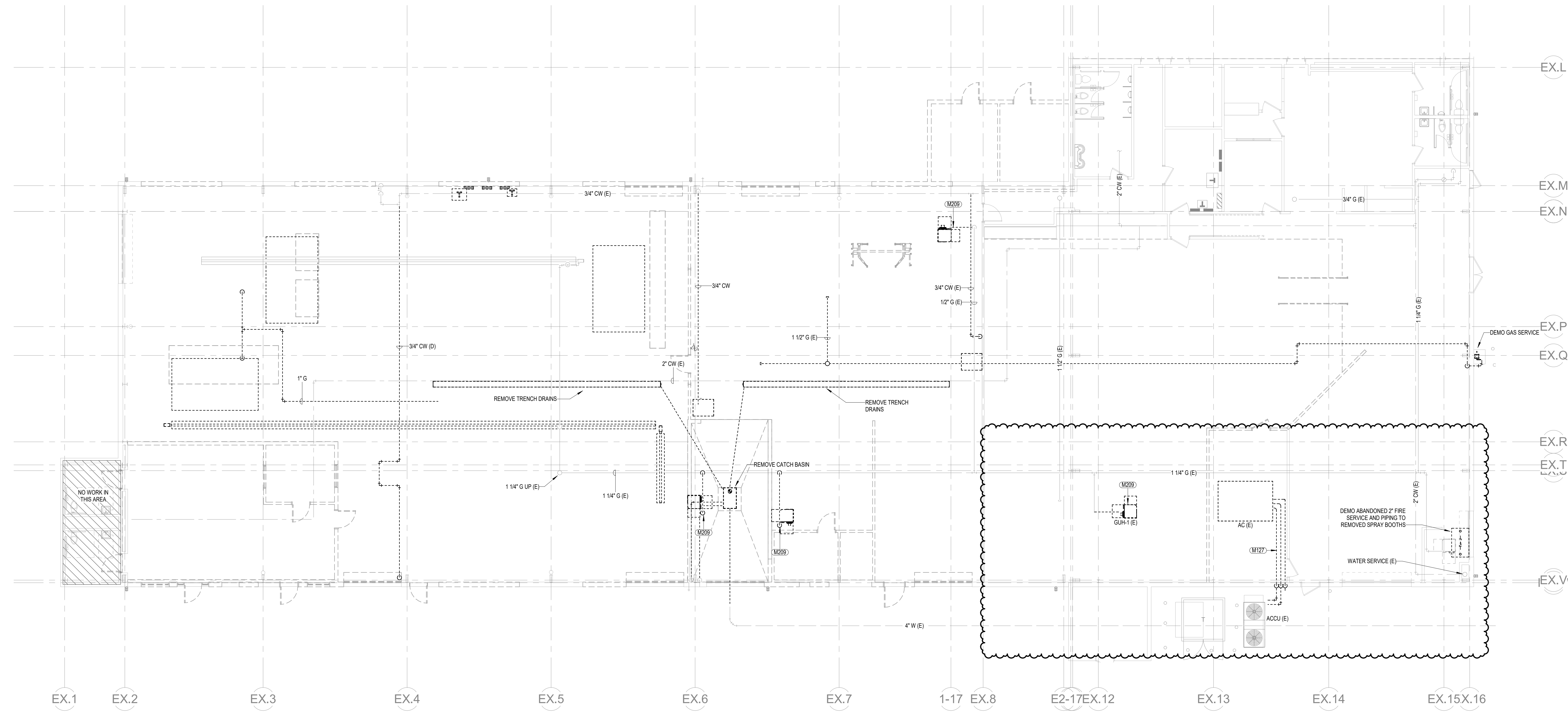
10 FEET
8 FEET
6 FEET
4 FEET
2 FEET
1/4" = 1'-0"
SCALE

20 FEET
15 FEET
10 FEET
5 FEET
1/8" = 1'-0"
SCALE

45 FEET
30 FEET
25 FEET
20 FEET
15 FEET
10 FEET
5 FEET
3/16" = 1'-0"
SCALE

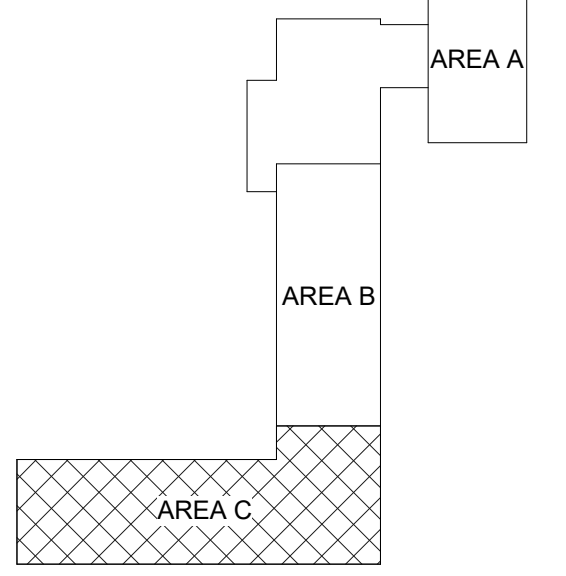
50 FEET
30 FEET
25 FEET
20 FEET
15 FEET
10 FEET
5 FEET
1/16" = 1'-0"
SCALE

50 FEET
30 FEET
25 FEET
20 FEET
15 FEET
10 FEET
5 FEET
3/32" = 1'-0"
SCALE



1 DEMOLITION FLOOR PLAN - PLUMBING - AREA C
1/8" = 1'-0"

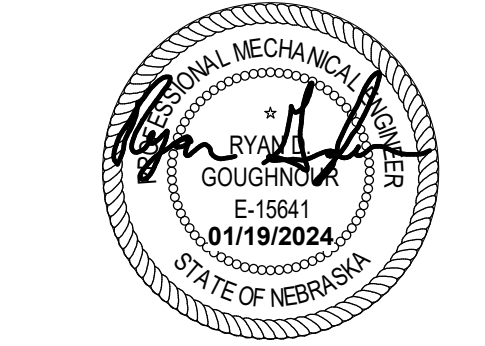
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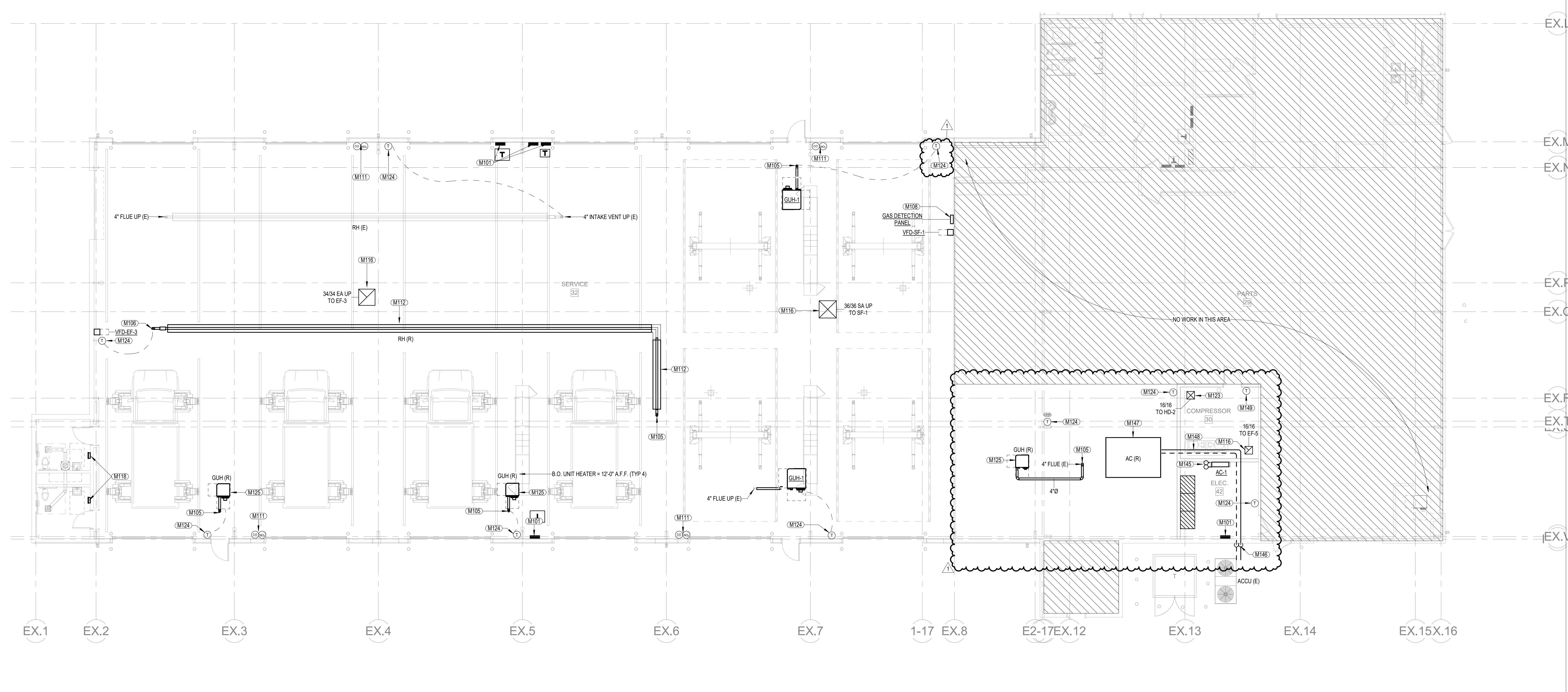
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DEMOLITION FLOOR PLAN - PLUMBING - AREA C

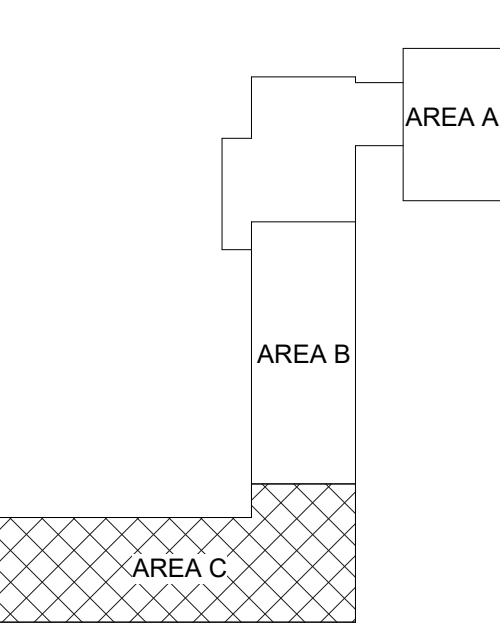
NORTH
MD2.3

- KEYNOTES**
- M101 DO NOT ROUTE DUCTWORK OVER ELECTRICAL PANELS. MAINTAIN ALL CODE REQUIRED CLEARANCES.
 - M105 FLUE UP THROUGH ROOF TO VENT CAP FROM RADIANT TUBE HEATERS UNIT HEATERS. SIZE AND TERMINATE PER MANUFACTURER'S RECOMMENDATIONS. SEAL PENETRATION WATER TIGHT. COORDINATE EXACT LOCATION OF ROOF PENETRATIONS WITH STRUCTURE AND GENERAL CONTRACTOR. MAINTAIN REQUIRED CLEARANCES BETWEEN AIR INTAKE AND EXHAUST.
 - M106 COMBUSTION AIR UP THROUGH ROOF TO VENT CAP FROM RADIANT TUBE HEATERS. SIZE AND TERMINATE PER MANUFACTURER'S RECOMMENDATIONS. SEAL PENETRATION WATER TIGHT. COORDINATE EXACT LOCATION OF ROOF PENETRATIONS WITH STRUCTURE AND GENERAL CONTRACTOR. MAINTAIN REQUIRED CLEARANCES BETWEEN COMBUSTION AIR INTAKE AND EXHAUST.
 - M108 LOCAL CONTROL PANEL FOR GAS DETECTION SYSTEM CONTROLS WITH CARBON MONOXIDE AND NITROGEN DIOXIDE DETECTORS AS SHOWN ON PLANS. CONTROL PANEL SHALL HAVE CAPABILITY FOR MANUAL OVERRIDE OF FANS. ALLOW VOLTAGE CONTROL WIRING FOR GAS DETECTION SYSTEM SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR. COORDINATE INSTALLATION OF THE CONTROL WIRING WITH THE ELECTRICAL CONTRACTOR. COORDINATE WITH ELECTRICAL CONTRACTOR AND TEMPERATURE CONTROLS CONTRACTOR TO PROVIDE A HAND/OFF/AUTO SWITCH TO CONTROL SUPPLY AND EXHAUST FANS.
 - M111 CO SENSOR AND NO2 SENSOR AT 48" AFF FOR EMERGENCY VENTILATION CONTROL SYSTEM. PREFERRED LOCATION AND SPACING SHOWN FOR REFERENCE. PROVIDE ADDITIONAL SENSORS AS REQUIRED BY THE MANUFACTURER'S RECOMMENDED MAXIMUM SPACING. SEE SPECIFICATIONS SECTION 22000 FOR ADDITIONAL DETAILS ON EMERGENCY VENTILATION SYSTEM.
 - M112 SALVAGE GAS UNIT HEATER FOR RELOCATION. DISCONNECT EXHAUST FLUE. SEE NEW PLANS FOR CONNECTION TO NEW FLUE PIPING.
 - M116 STUB DUCT 12" BELOW ROOF DECK AND PROVIDE 1/2" SCREEN AT OPENING.
 - M118 ELECTRIC UNIT HEATER. SEE ELECTRICAL PLANS.
 - M123 ROUTE SUPPLY DUCTWORK FROM HOOD INTAKE FAN TO 12" A.F.F.
 - M124 PROVIDE NEW 7 DAY PROGRAMMABLE THERMOSTAT. PROVIDE BACK INSULATED COVER FOR THERMOSTATS LOCATED ON EXTERIOR WALLS. COORDINATE PLATE COVER WITH ARCHITECT AND OWNER.
 - M125 RELOCATE GAS UNIT HEATER TO LOCATION SHOWN.
 - M145 RELOCATE EXISTING SALVAGED FAN COIL UNIT TO LOCATION SHOWN. MAINTAIN CLEARANCE ON EACH SIDE OF UNIT FOR MAINTENANCE AND SERVICING.
 - M146 PROVIDE NEW REFRIGERANT LINE SET BETWEEN INDOOR FAN COIL UNIT AND OUTDOOR CONDENSING UNIT. CHARGE REFRIGERANT PIPING AS REQUIRED BY EXISTING UNIT MANUFACTURER.
 - M149 PROVIDE COOLING ONLY THERMOSTAT FOR COMPRESSOR ROOM EXHAUST FAN. INTERLOCK OPERATION WITH EXHAUST FAN TO RUN WHEN THE ROOM TEMPERATURE RISES ABOVE 55°F (SEE FAN).



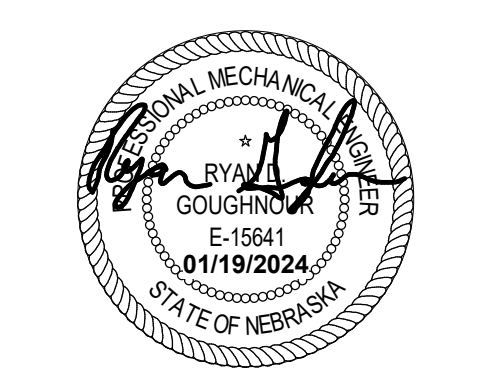
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FLOOR PLAN - HVAC - AREA C

M1.3

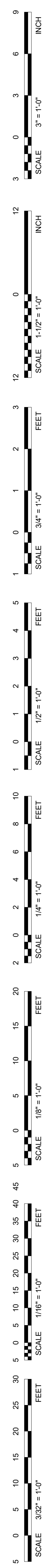
1 FLOOR PLAN - HVAC - AREA C
 1/8" = 1'-0"

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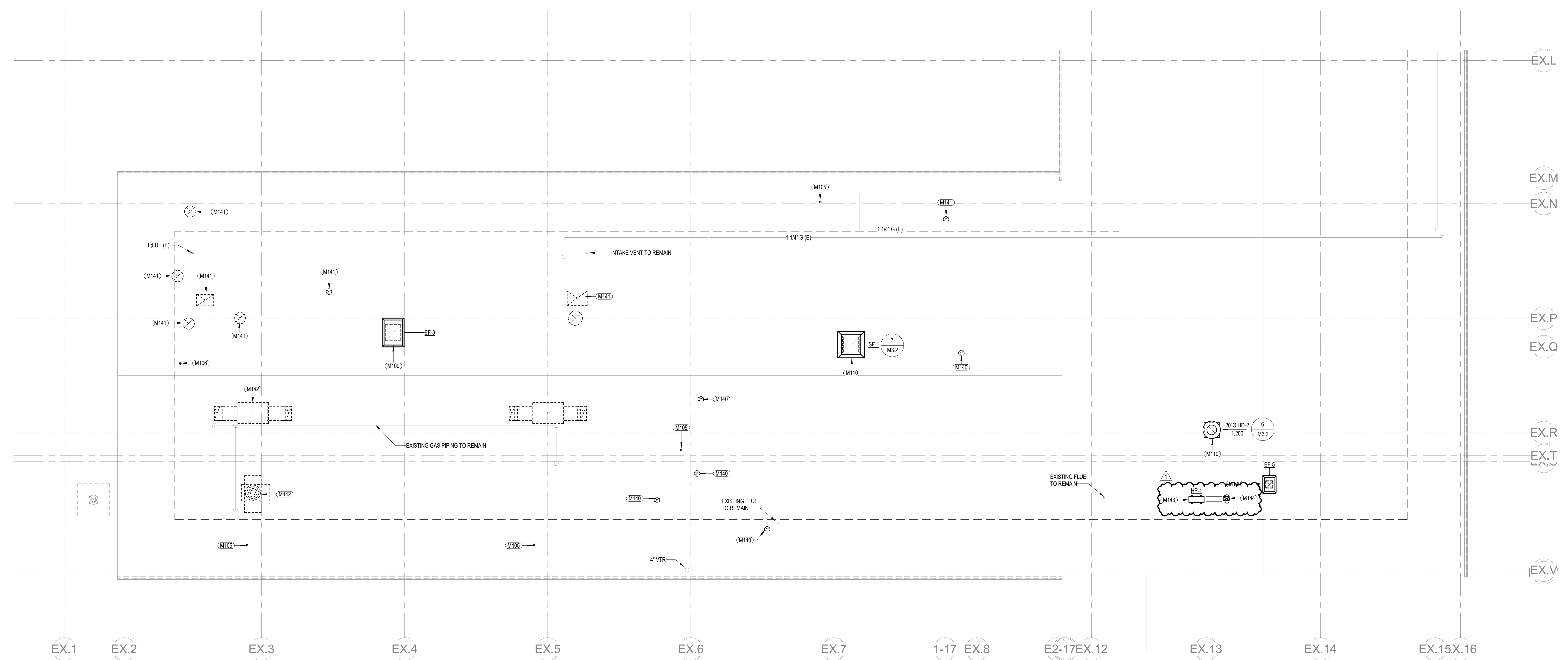
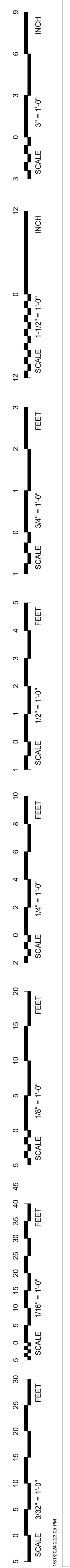
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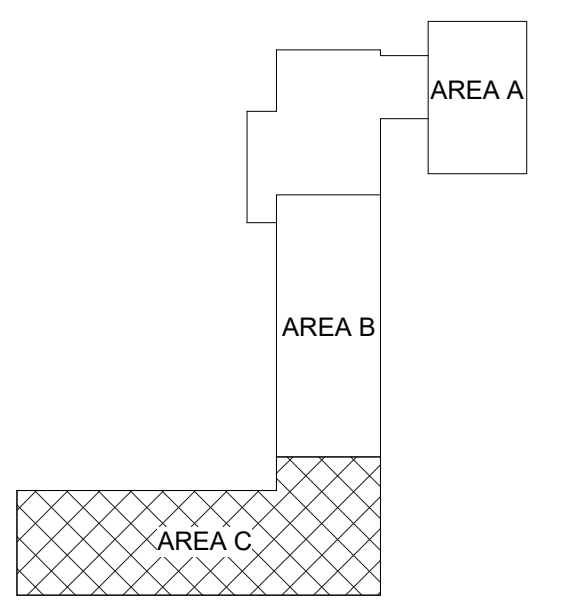


- KEYNOTES**
- M105 FLUE UP THROUGH ROOF TO VENT CAP FROM RADIANT TUBE HEATERS/UNIT HEATERS. SIZE AND TERMINATE PER MANUFACTURER'S RECOMMENDATIONS. SEAL PENETRATION WATER TIGHT. COORDINATE EXACT LOCATION OF ROOF PENETRATIONS WITH STRUCTURE AND GENERAL CONTRACTOR. MAINTAIN REQUIRED CLEARANCES BETWEEN AIR INTAKE AND EXHAUST.
 - M106 COMBUSTION AIR UP THROUGH ROOF TO VENT CAP FROM RADIANT TUBE HEATERS. SIZE AND TERMINATE PER MANUFACTURER'S RECOMMENDATIONS. SEAL PENETRATION WATER TIGHT. COORDINATE EXACT LOCATION OF ROOF PENETRATIONS WITH STRUCTURE AND GENERAL CONTRACTOR. MAINTAIN REQUIRED CLEARANCES BETWEEN COMBUSTION AIR INTAKE AND EXHAUST.
 - M109 INSTALL ROOF EXHAUST PER MANUFACTURER'S RECOMMENDATIONS. MINIMUM 1'0" CLEARANCE REQUIRED BETWEEN ANY POINT OF BUILDING EXHAUST AND BUILDING AIR INTAKE. COORDINATE EXACT LOCATION OF ROOF PENETRATION WITH STRUCTURE AND GENERAL CONTRACTOR.
 - M110 INSTALL ROOF INTAKE HOOD PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE EXACT LOCATION OF ROOF PENETRATION WITH STRUCTURE AND GENERAL CONTRACTOR.
 - M140 DEMO EXHAUST FLUE AND REPAIR ROOF OPENING. COORDINATE ROOF REPAIR WITH ARCHITECTURAL.
 - M141 REMOVE SPRAY BOOTH EXHAUST AND INTAKE DUCTWORK ON ROOF COMPLETE. COORDINATE ROOF REPAIRS WITH ARCHITECT.
 - M142 REMOVE ROOF TOP EQUIPMENT AND DUCTWORK SHOWN DASHED. COORDINATE ROOF OPENING REPAIR WITH ARCHITECT.
 - M143 SET AIR COOLED CONDENSING UNIT ON ROOF ON DURALOCK (OR EQUIVALENT) ROOF SUPPORTS. LOCATE UNIT TO MAINTAIN ALL MANUFACTURER'S RECOMMENDED CLEARANCES. ROUTE REFRIGERANT PIPING ON PIPE STANDS ON ROOF TO REFRIGERANT ROOF PENETRATION.
 - M144 ROUTE REFRIGERANT PIPING DOWN THROUGH ROOF. PROVIDE PENETRATION BOOT COMPLIANT WITH ROOFING MANUFACTURER'S WARRANTY. SIZE REFRIGERANT PIPING PER MANUFACTURER'S RECOMMENDATIONS.



1 ROOF PLAN - MECHANICAL - AREA C
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ROOF PLAN - MECHANICAL - AREA C



M1.6

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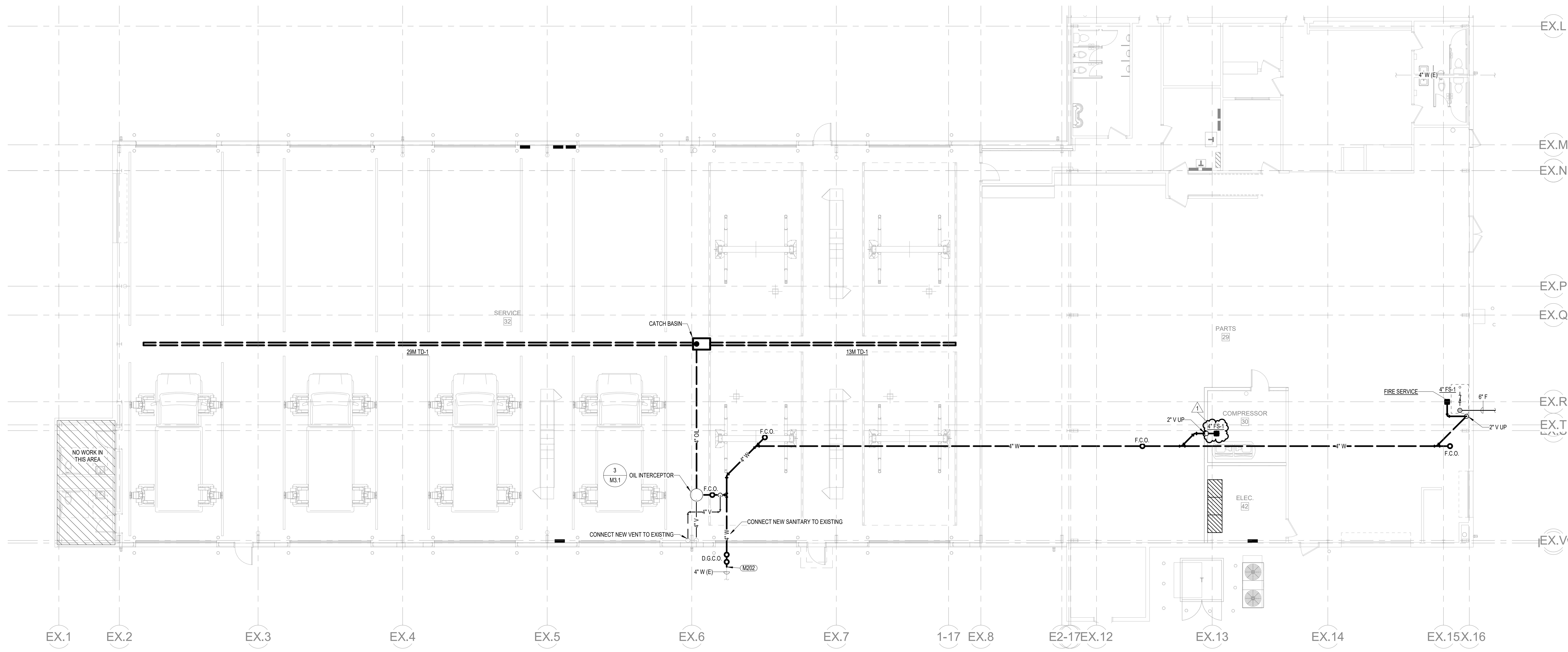
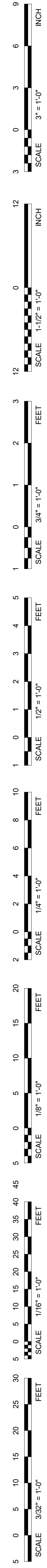
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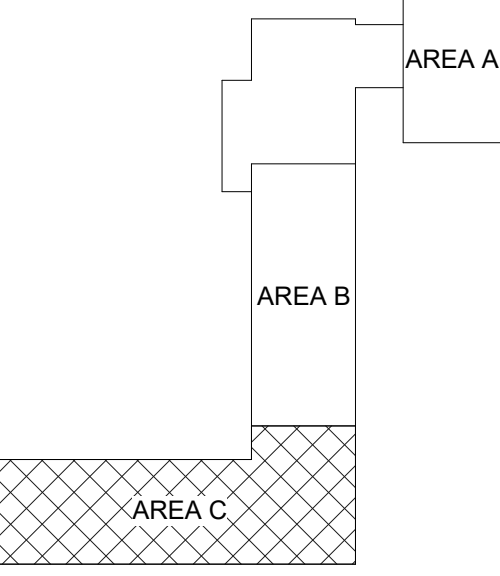
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KEYNOTES
 M202 CONNECT NEW PIPING TO EXISTING PIPING AT LOCATION INDICATED. FIELD VERIFY EXACT SIZE, LOCATION AND ELEVATION OF EXISTING PIPING PRIOR TO CONNECTION. TRANSITION, EXTEND AND OFFSET NEW PIPING AS REQUIRED TO MAKE CONNECTION AND AVOID CONFLICTS.



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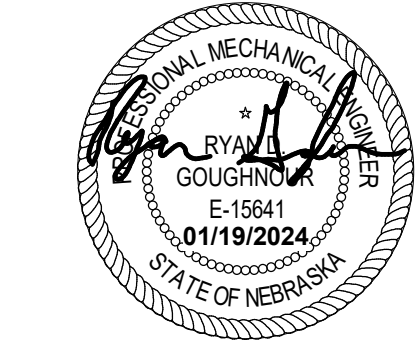
1 FIRST FLOOR - UNDERGROUND PLUMBING - AREA C
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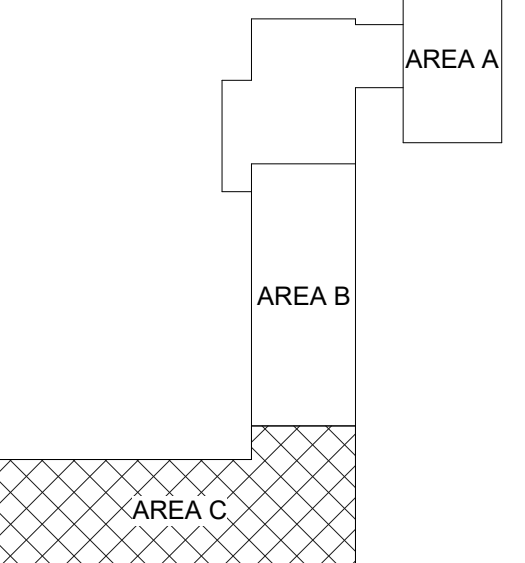


**UNDERGROUND PLAN
 - PLUMBING - AREA C**

KEYNOTES

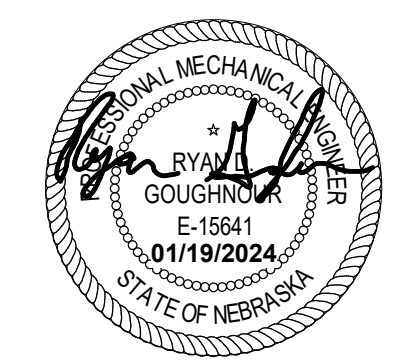
- M201 DO NOT ROUTE PIPING OVER ELECTRICAL PANELS. MAINTAIN ALL CODE REQUIRED CLEARANCES.
- M202 CONNECT NEW PIPING TO EXISTING PIPING AT LOCATION INDICATED. FIELD VERIFY EXACT SIZE, LOCATION AND ELEVATION OF EXISTING PIPING PRIOR TO CONNECTION. TRANSITION, EXTEND AND OFFSET NEW PIPING AS REQUIRED TO MAKE CONNECTION AND AVOID CONFLICTS.
- M203 ROUTE CONDENSATE PIPING DOWN IN WALL AND DISCHARGE TO FLOOR SINK.

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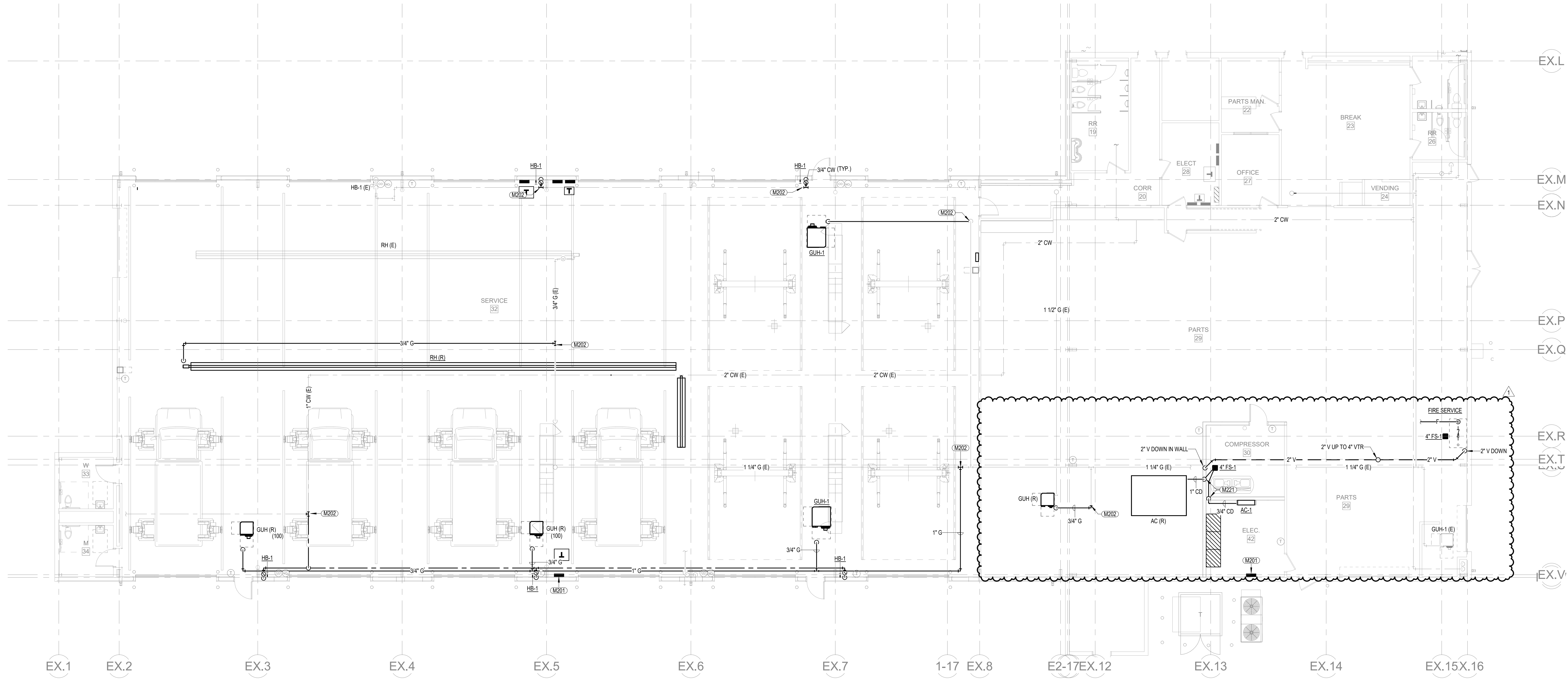
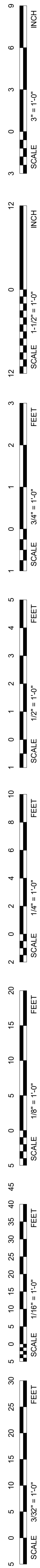
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FLOOR PLAN - PLUMBING - AREA C

NORTH

M2.6



1 FLOOR PLAN - PLUMBING - AREA C

1/8" = 1'-0"

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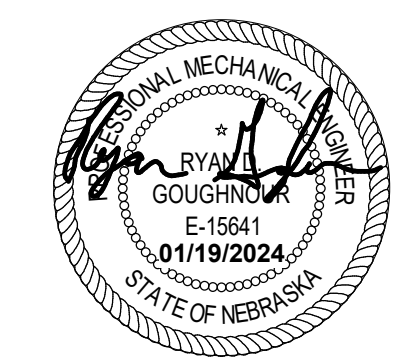
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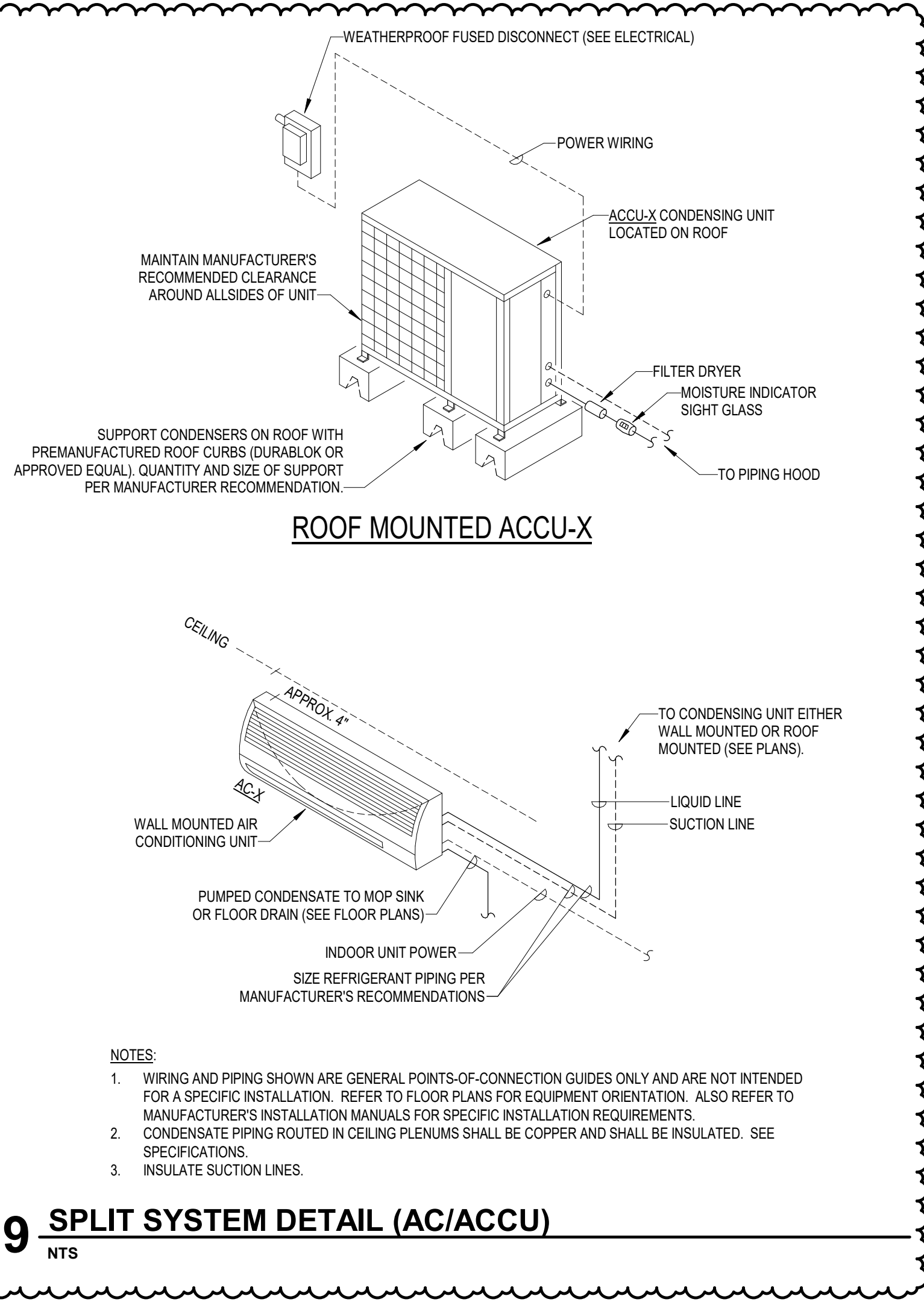
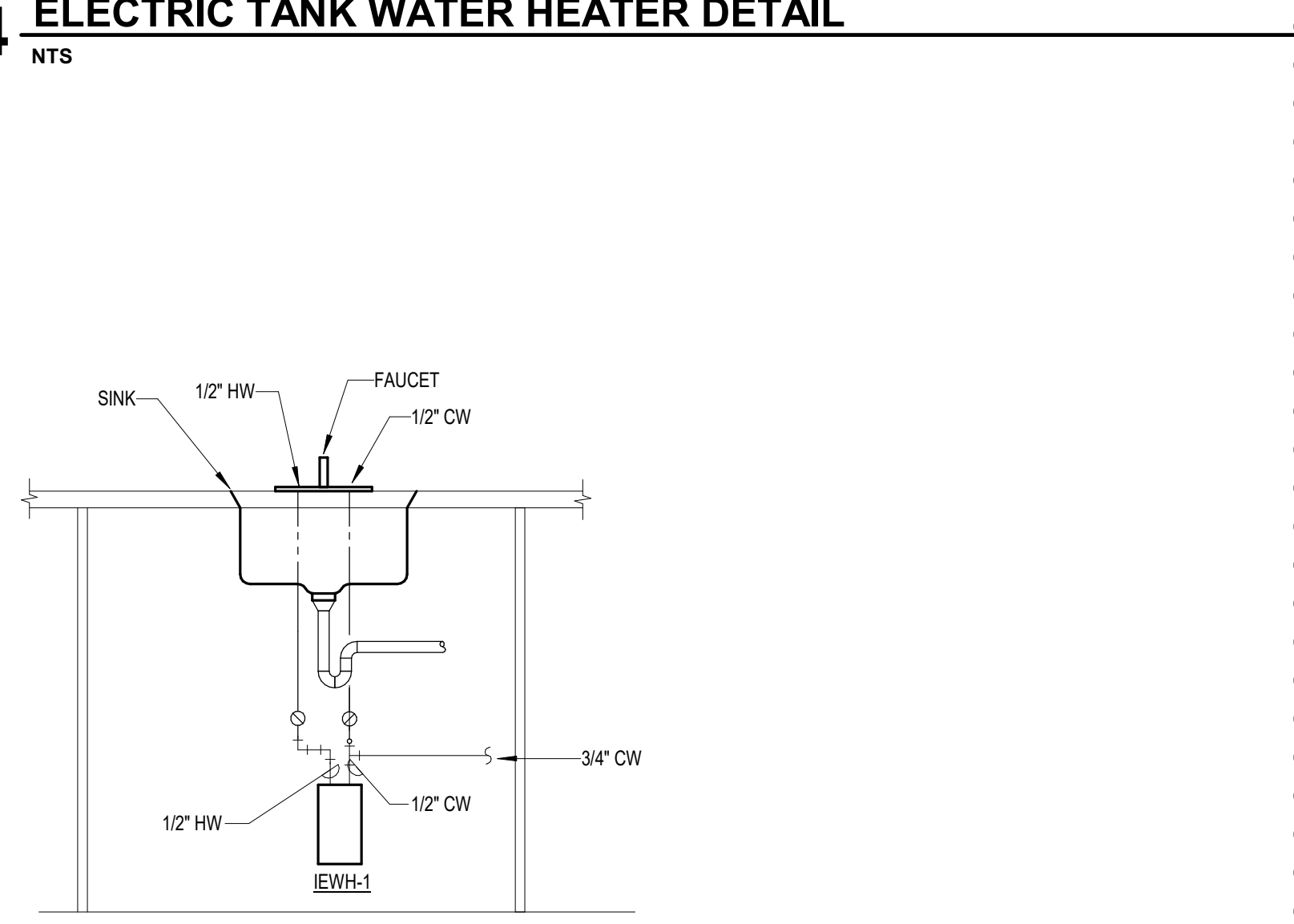
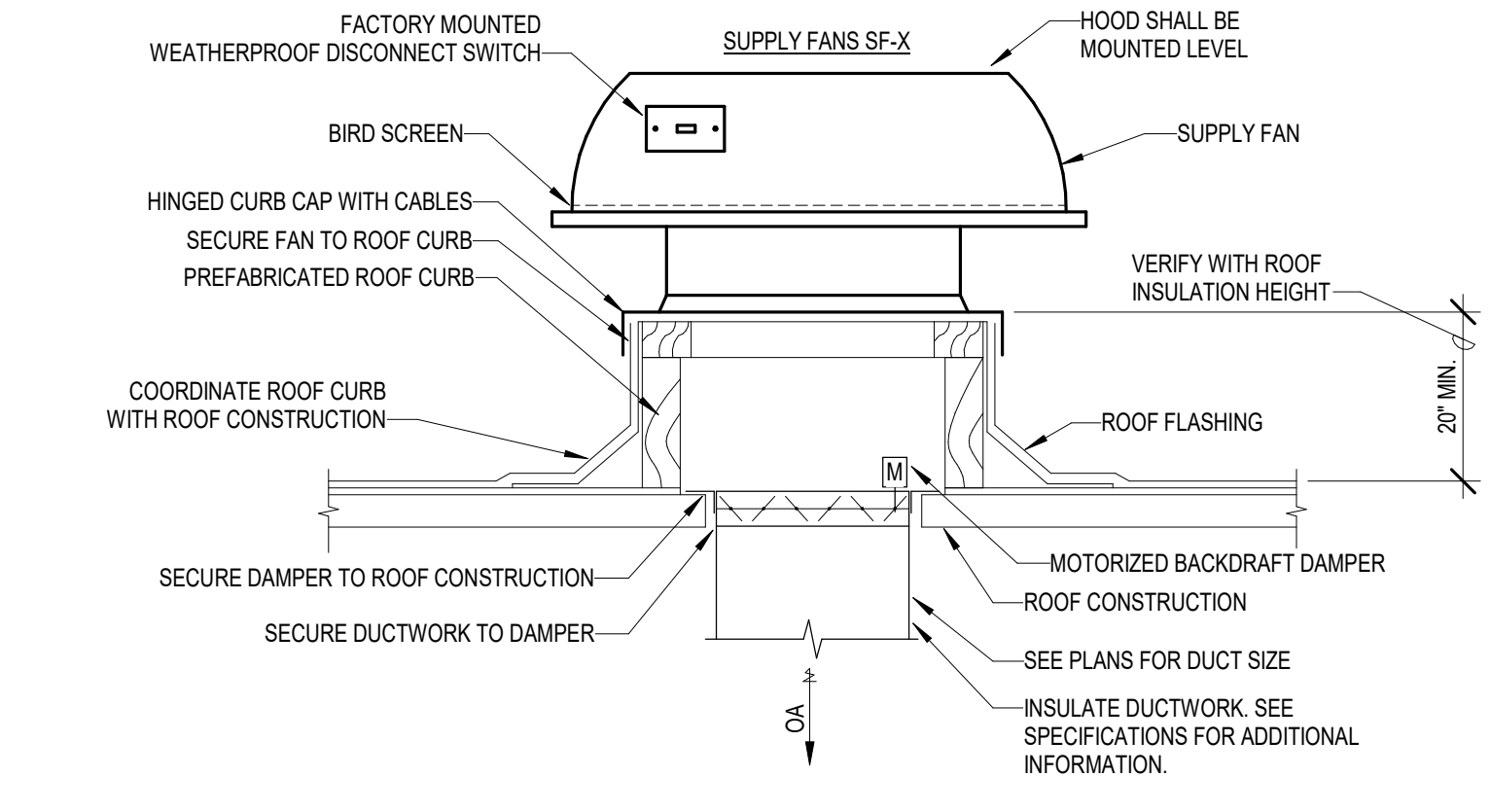
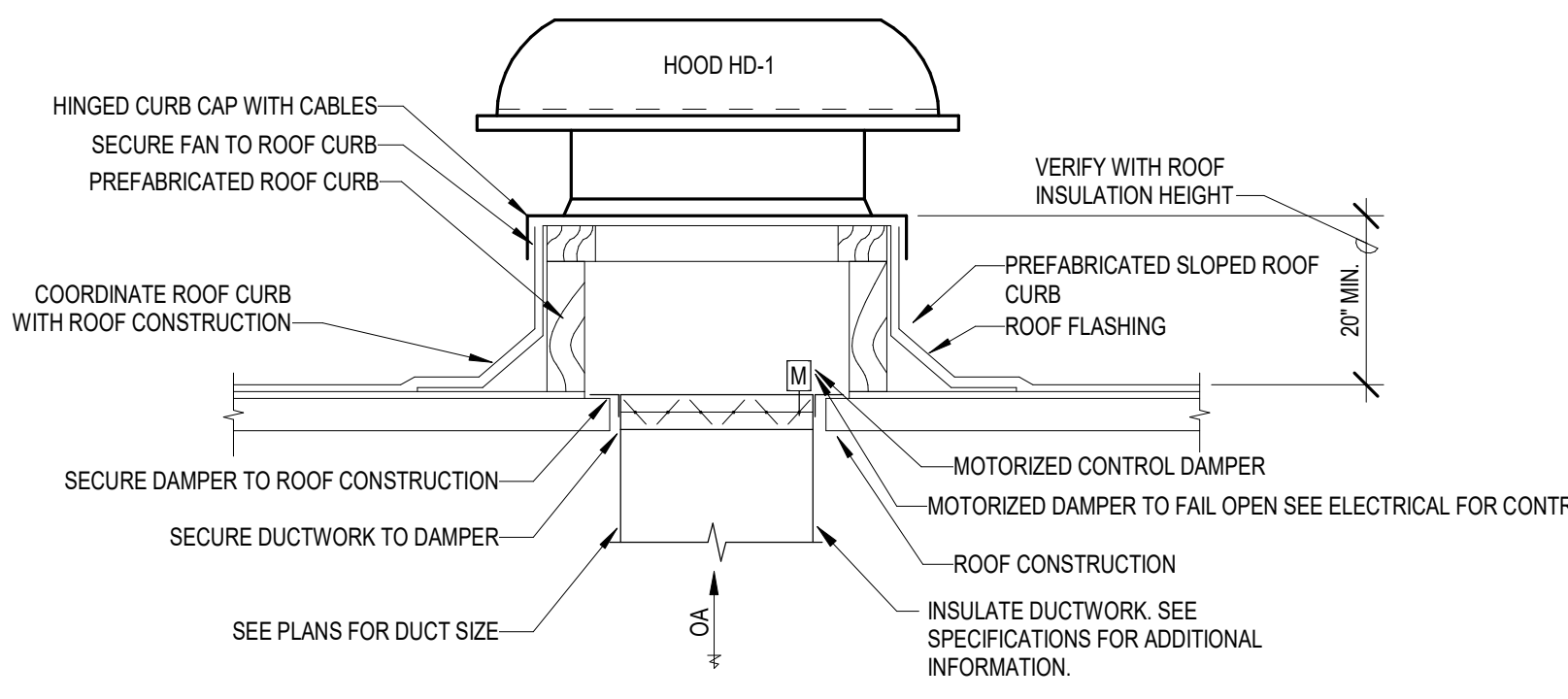
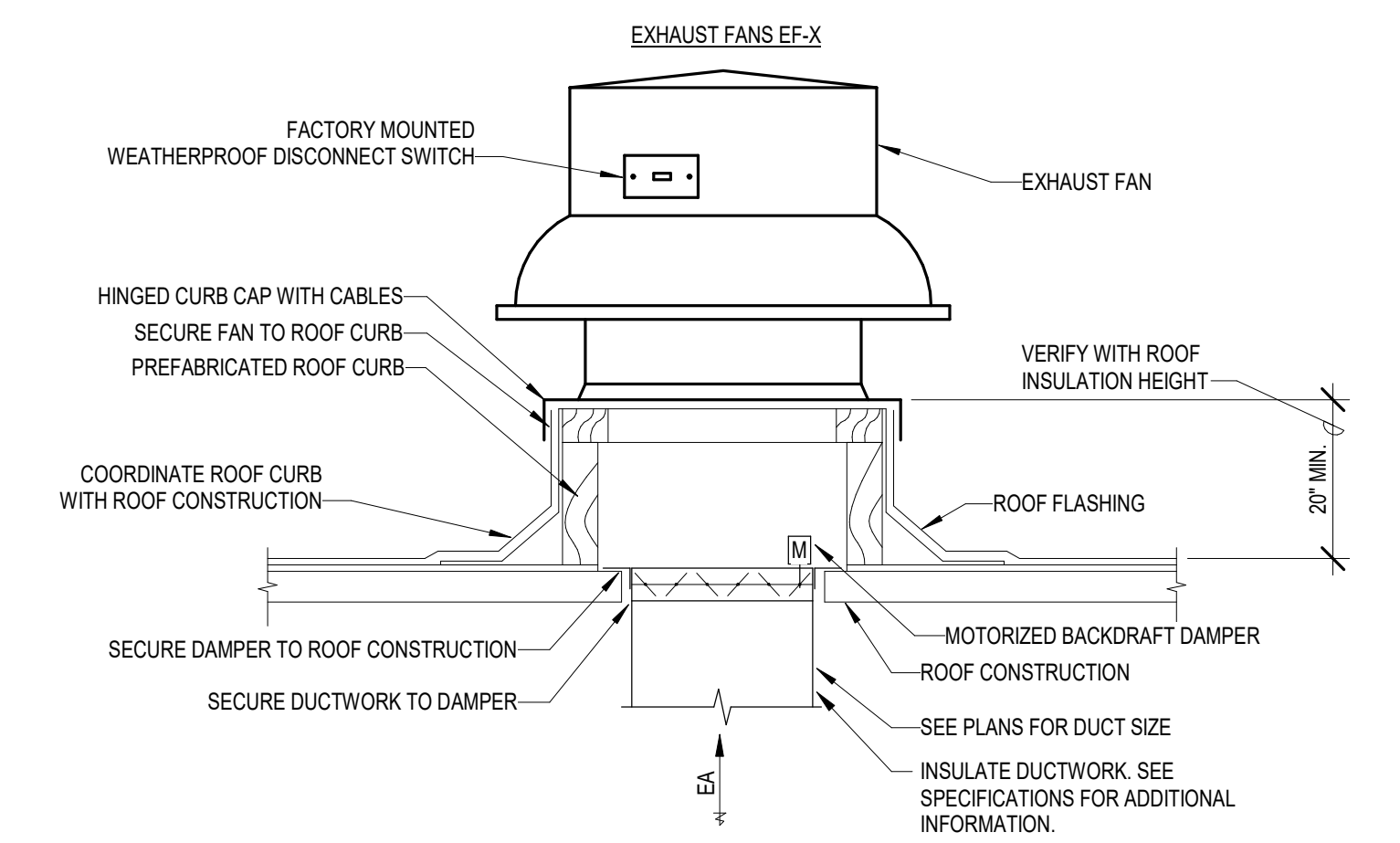
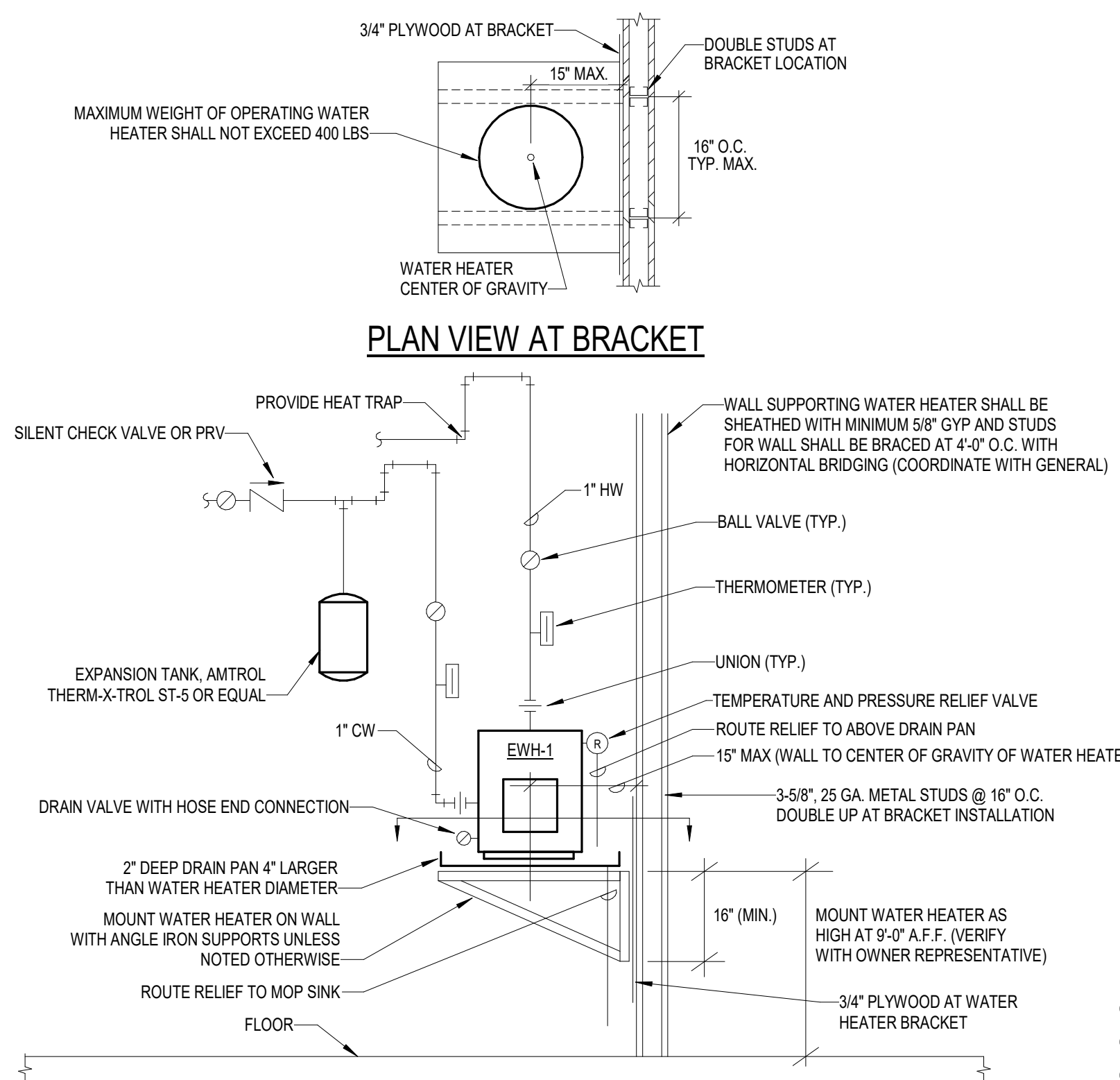
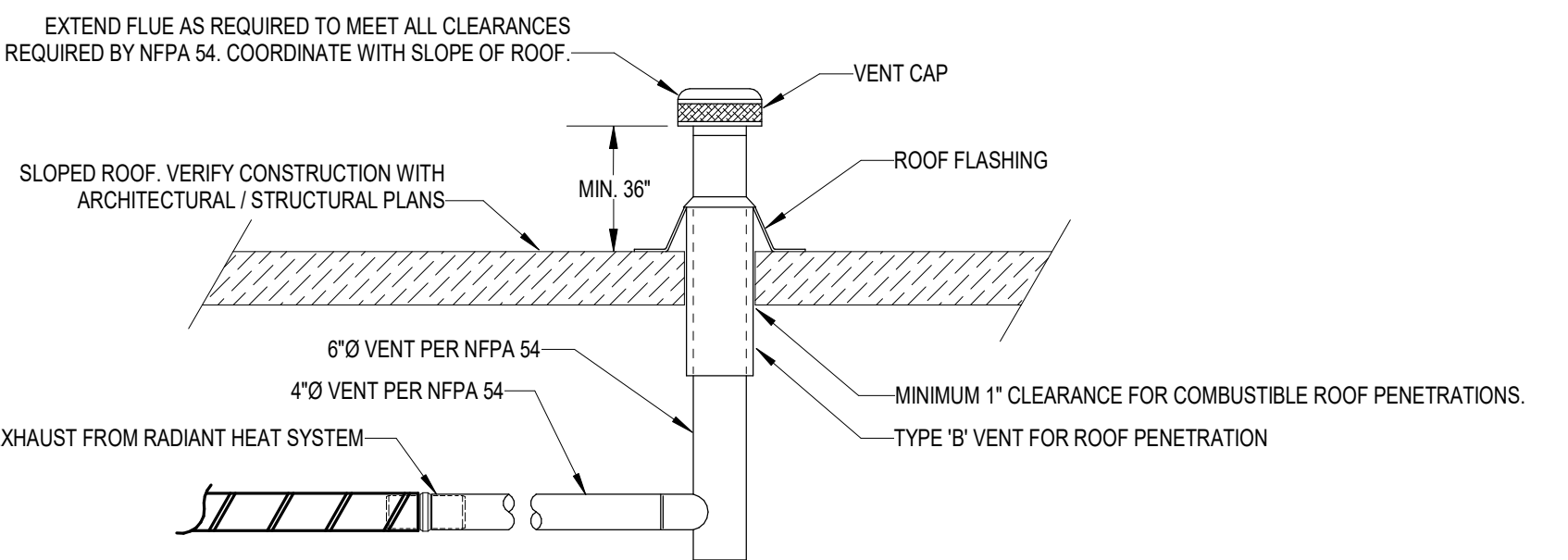
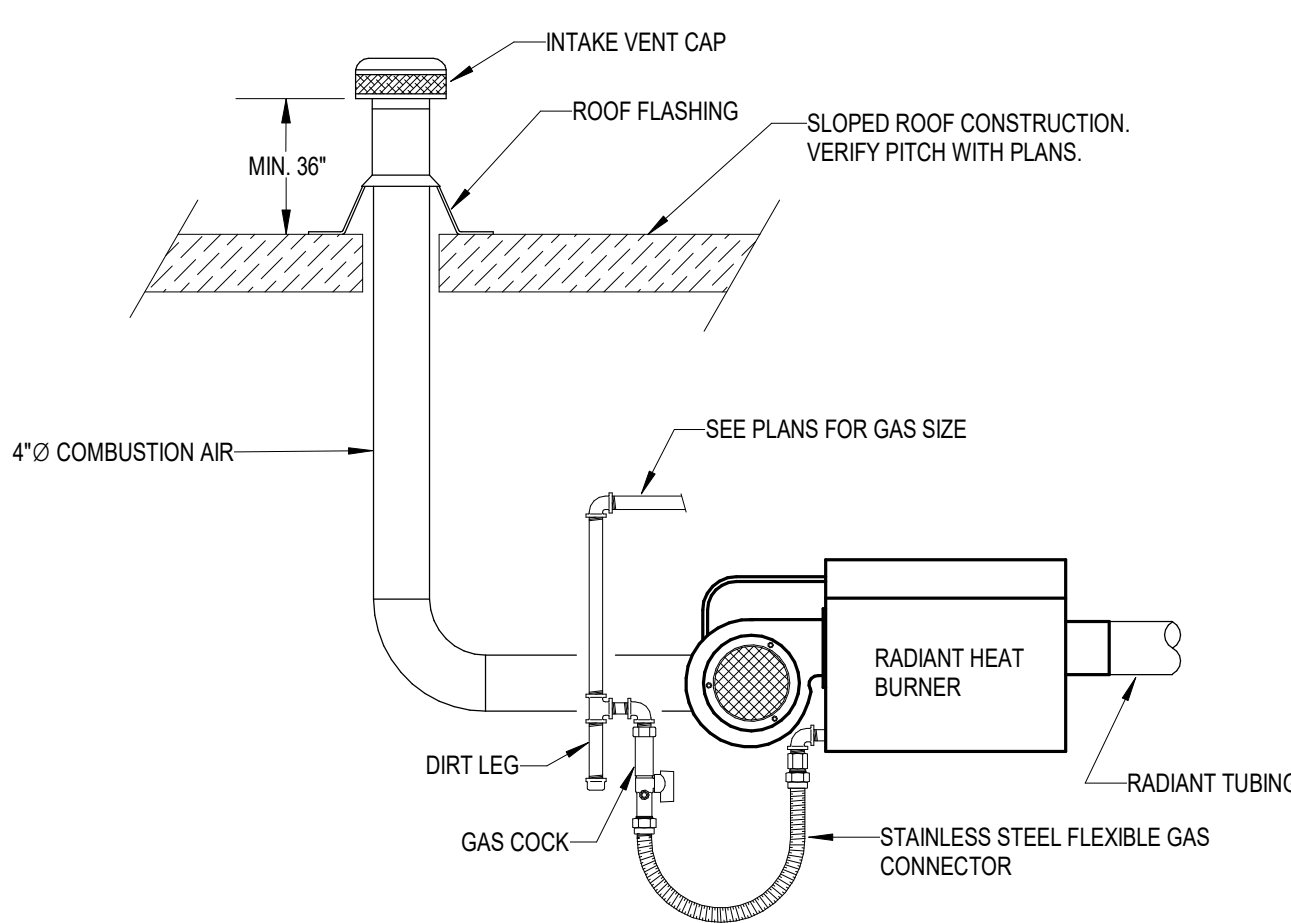
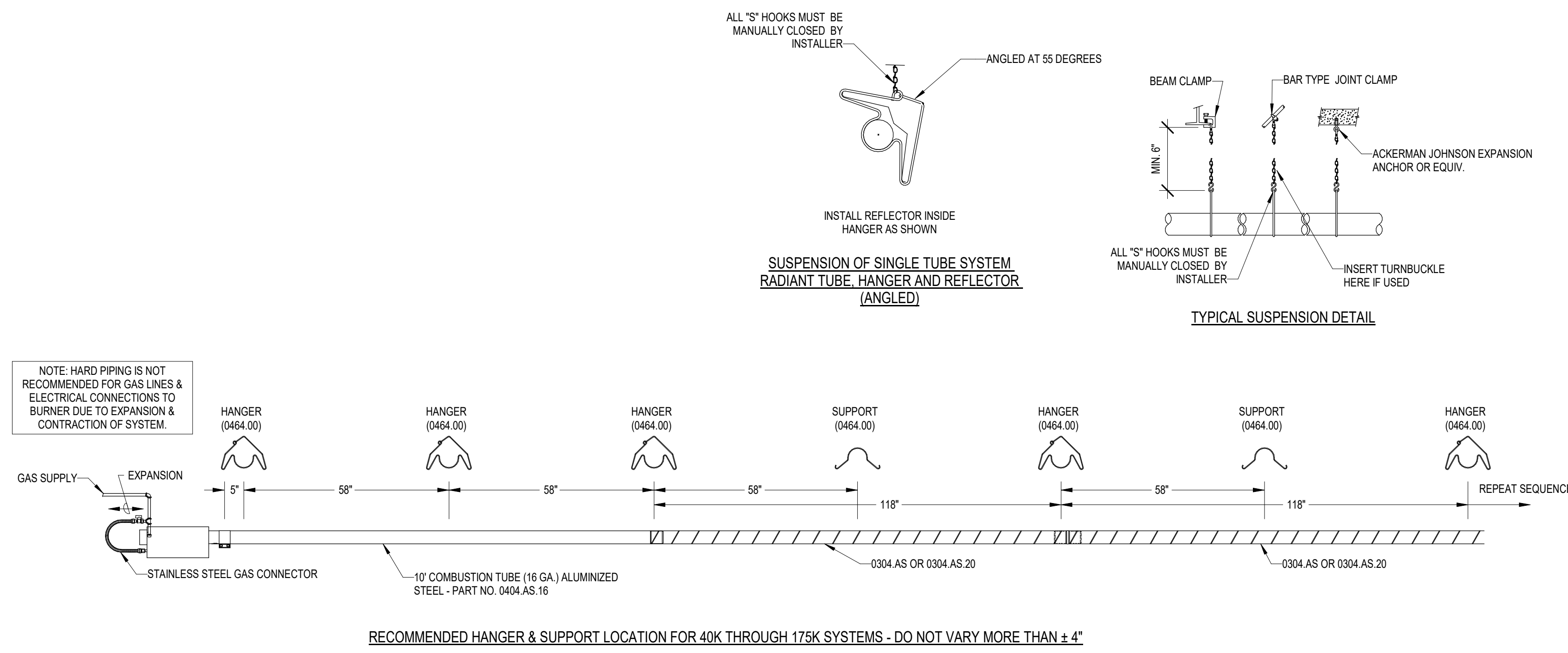
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MECHANICAL DETAILS

9 INCH SCALE 3" = 1'-0"
 12 INCH SCALE 1'-1/2" = 1'-0"
 3 FEET SCALE 3/4" = 1'-0"
 1 FEET SCALE 1/2" = 1'-0"
 5 FEET SCALE 1/4" = 1'-0"
 10 FEET SCALE 1/8" = 1'-0"
 20 FEET SCALE 3/32" = 1'-0"
 45 FEET SCALE 1/16" = 1'-0"
 100 FEET SCALE 3/162" = 1'-0"



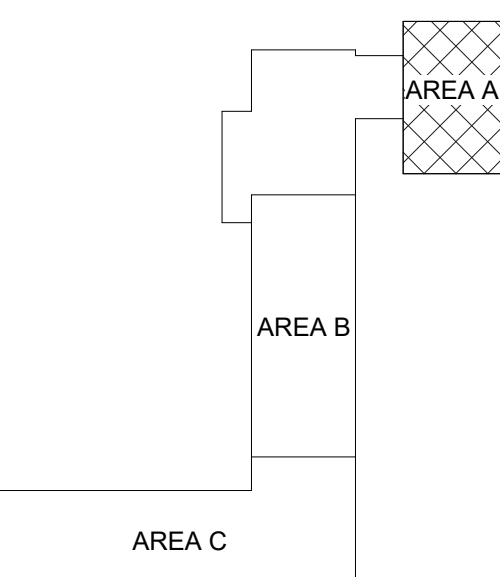
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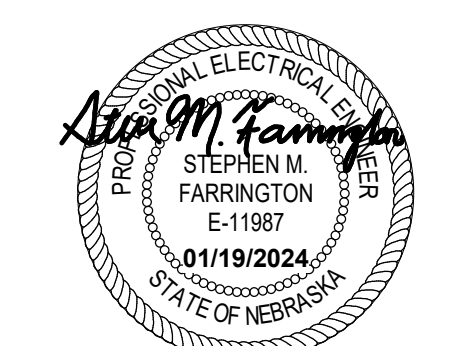
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REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION
1	02/01/2024	Addendum 01



**WOODHOUSE FORD
 PRO: BUILDING
 IMPROVEMENTS**

PROJECT: 23043 DATE: JANUARY 19, 2024
 PROJECT STATUS: CONSTRUCTION DOCUMENTS



**FLOOR PLAN -
 LIGHTING - AREA A**

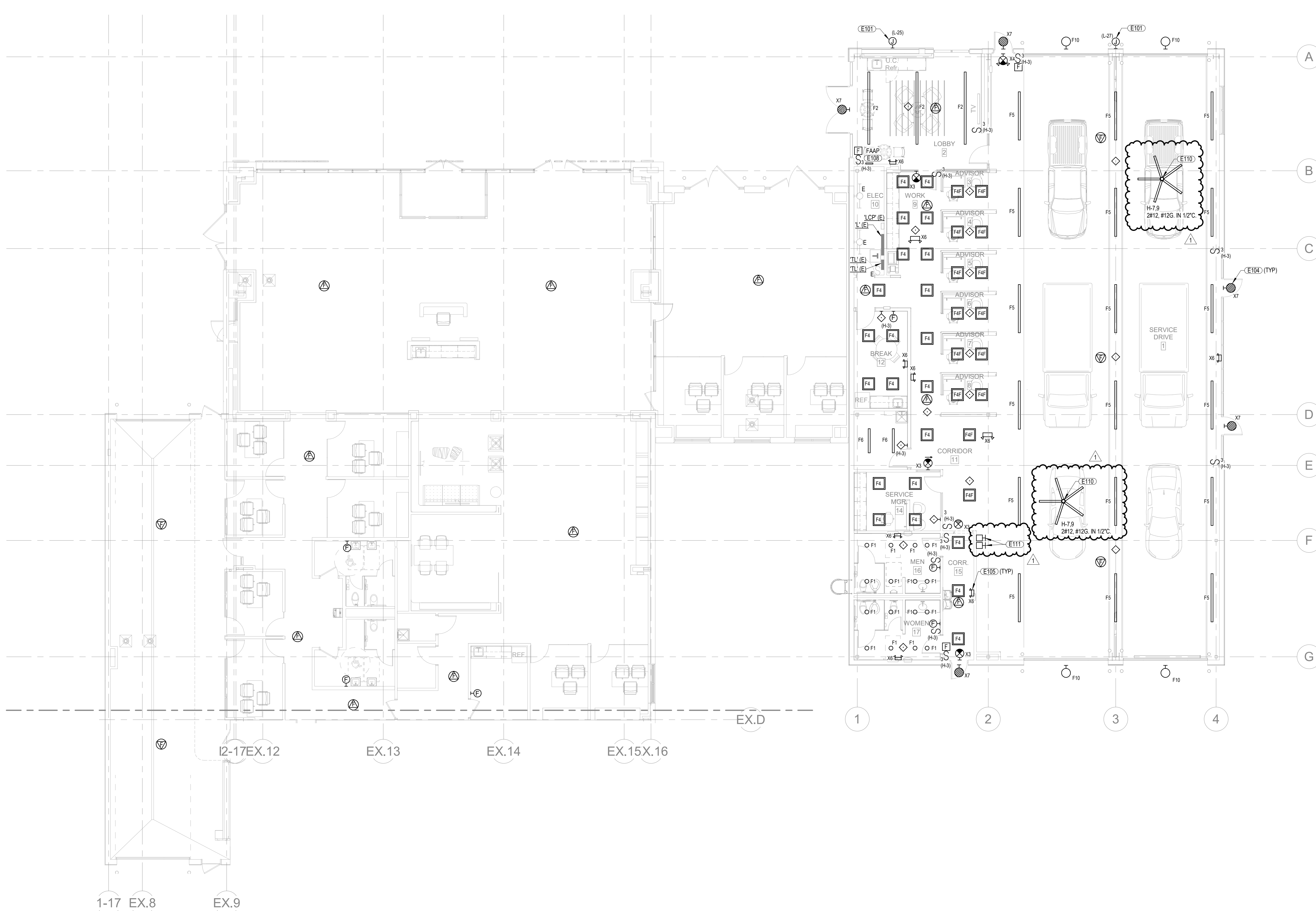
NORTH



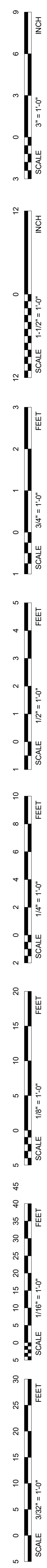
E1.1

KEYNOTES

- E101 PROVIDE FINAL CONNECTION TO SIGNAGE. COORDINATE LOCATION AND ALL REQUIREMENTS WITH SIGN CONTRACTOR PRIOR TO ROUGH-IN. PROVIDE AN APPROPRIATE LOCAL DISCONNECTING MEANS MOUNTED IN AN ACCESSIBLE, INCONSPICUOUS LOCATION THAT IS WITHIN SIGHT OF THE SIGN. CIRCUIT SIGN THROUGH EXISTING LIGHTING CONTROL PANEL.
- E104 CIRCUIT ALL EXTERIOR LIGHTING IN AREA A TO PANEL THROUGH EXISTING LIGHTING CONTROL PANEL. COORDINATE THE TIME OF DAY SCHEDULING WITH ALL OTHER EXTERIOR LIGHTING THROUGHOUT THE BUILDING.
- E105 CONNECT ALL EXIT SIGNS AND EMERGENCY LIGHTING UNITS TO GENERAL LIGHTING CIRCUIT SERVING AREA AHEAD OF ALL SWITCHING AND DIMMING CONTROL. PROVIDE SENSING CONNECTIONS AS REQUIRED FOR OPERATION OF ALL EMERGENCY LIGHTING DEVICES. FOR LUMINAIRES WITH INTEGRAL BATTERIES, CONNECT BATTERY LEADS TO ROOM LIGHTING CIRCUIT AHEAD OF ALL SWITCHING AND DIMMING CONTROL.
- E106 PROVIDE 10" DOWNHIT TO FAN
- E110 PROVIDE HVLS FAN, HUNTER ECO SERIES, 8 FT DIAMETER, 300V, 1 PHASE WITH VARIABLE SPEED DIGITAL TOUCH SCREEN CONTROLLER. PROVIDE WITH ALL MOUNTING ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION. FIELD VERIFY FAN LOCATION AND MAINTAIN ALL REQUIRED CLEARANCES.
- E111 INSTALL VARIABLE SPEED DIGITAL TOUCH SCREEN CONTROLLER FURNISHED WITH HVLS FAN.



1 FIRST FLOOR - LIGHTING - AREA A
 1/8" = 1'-0"



MEI PROJECT NO. 23416

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 mechanical | electrical | lighting | technology | sustainability

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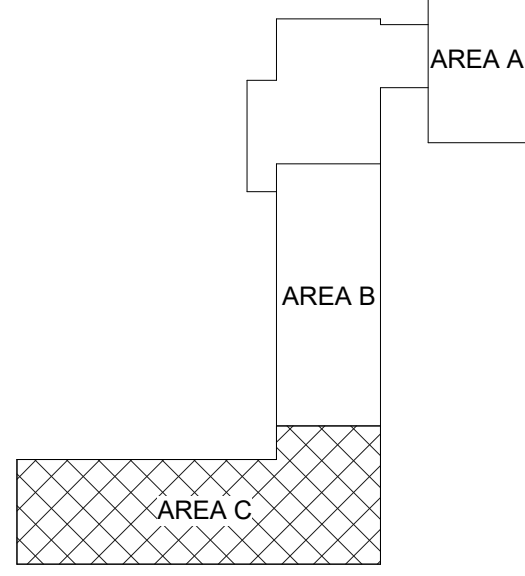
KEYNOTES

- E102 PROVIDE TIMELOCK AND CIRCUIT ALL EXTERIOR LIGHTING IN AREA C TO PANEL H2 THROUGH TIMELOCK. COORDINATE THE TIME OF DAY SCHEDULING WITH ALL OTHER EXTERIOR LIGHTING THROUGHOUT THE BUILDING.
- E105 CONNECT ALL EXIT SIGNS AND EMERGENCY LIGHTING UNITS TO GENERAL LIGHTING CIRCUIT SERVING AREA AHEAD OF ALL SWITCHING AND DIMMING CONTROL. PROVIDE SENSING CONNECTIONS AS REQUIRED FOR OPERATION OF ALL EMERGENCY LIGHTING DEVICES. FOR LUMINAIRES WITH INTEGRAL BATTERIES, CONNECT BATTERY LEADS TO ROOM LIGHTING CIRCUIT AHEAD OF ALL SWITCHING AND DIMMING CONTROL.
- E106 PROVIDE TAMPER AND FLOW SWITCH FOR NEW FIRE SERVICE ENTRANCE AND FOR EACH SPRINKLER VALVE STATION REQUIRED TO BE SUPERVISED. PROVIDE EXTERIOR WEATHERPROOF NOTIFICATION APPLIANCE MOUNTED DIRECTLY ABOVE THE FIRE DEPARTMENT CONNECTION POINT. COORDINATE THE LOCATION OF THE FIRE DEPARTMENT CONNECTION POINT WITH THE FIRE SPRINKLER CONTRACTOR PRIOR TO ROUGH-IN.
- E109 PROVIDE F.A. WIRING IN 'S' CONDUIT FROM FIRE ALARM CONTROL PANEL TO ELECTRONICALLY SUPERVISED POST INDICATOR VALVE. COORDINATE EXACT LOCATION AND ALL REQUIREMENTS WITH FIRE SPRINKLER CONTRACTOR.
- E110 PROVIDE HULS FAN, HUNTER ECO SERIES, 8 FT DIAMETER, 480V, 1 PHASE WITH VARIABLE SPEED DIGITAL TOUCH SCREEN CONTROLLER. PROVIDE WITH ALL MOUNTING ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION. FIELD VERIFY FAN LOCATION AND MAINTAIN ALL REQUIRED CLEARANCES.
- E111 INSTALL VARIABLE SPEED DIGITAL TOUCH SCREEN CONTROLLER FURNISHED WITH HULS FAN.

PROVIDE FULL FIRE ALARM COVERAGE ON SECOND FLOOR. NOT SHOWN FOR CLARITY.

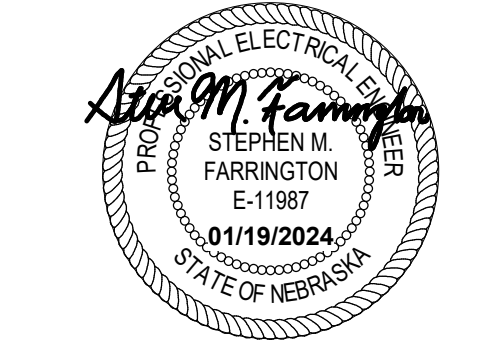
FLOOR UP TO 18" IS RATED CLASS I, DIVISION II PER NEC 511 IN SERVICE DEPARTMENT.

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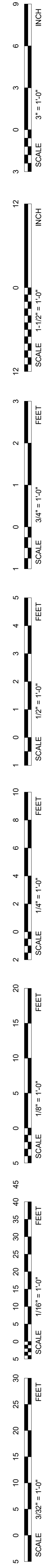
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PROJECT: 23043 DATE: JANUARY 19, 2024
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FLOOR PLAN - LIGHTING - AREA C

NORTH
E1.3



1 FIRST FLOOR - LIGHTING - AREA C 1/8" = 1'-0"

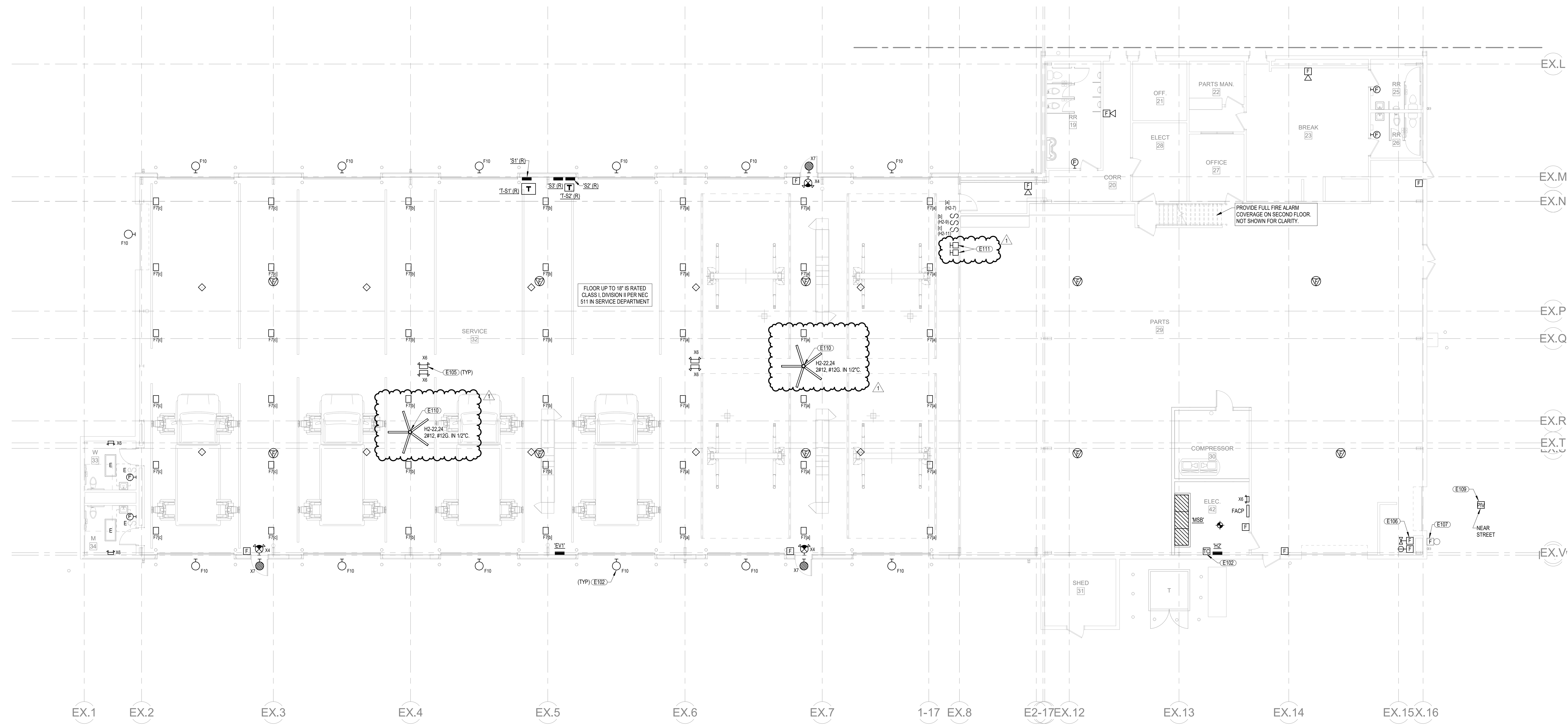
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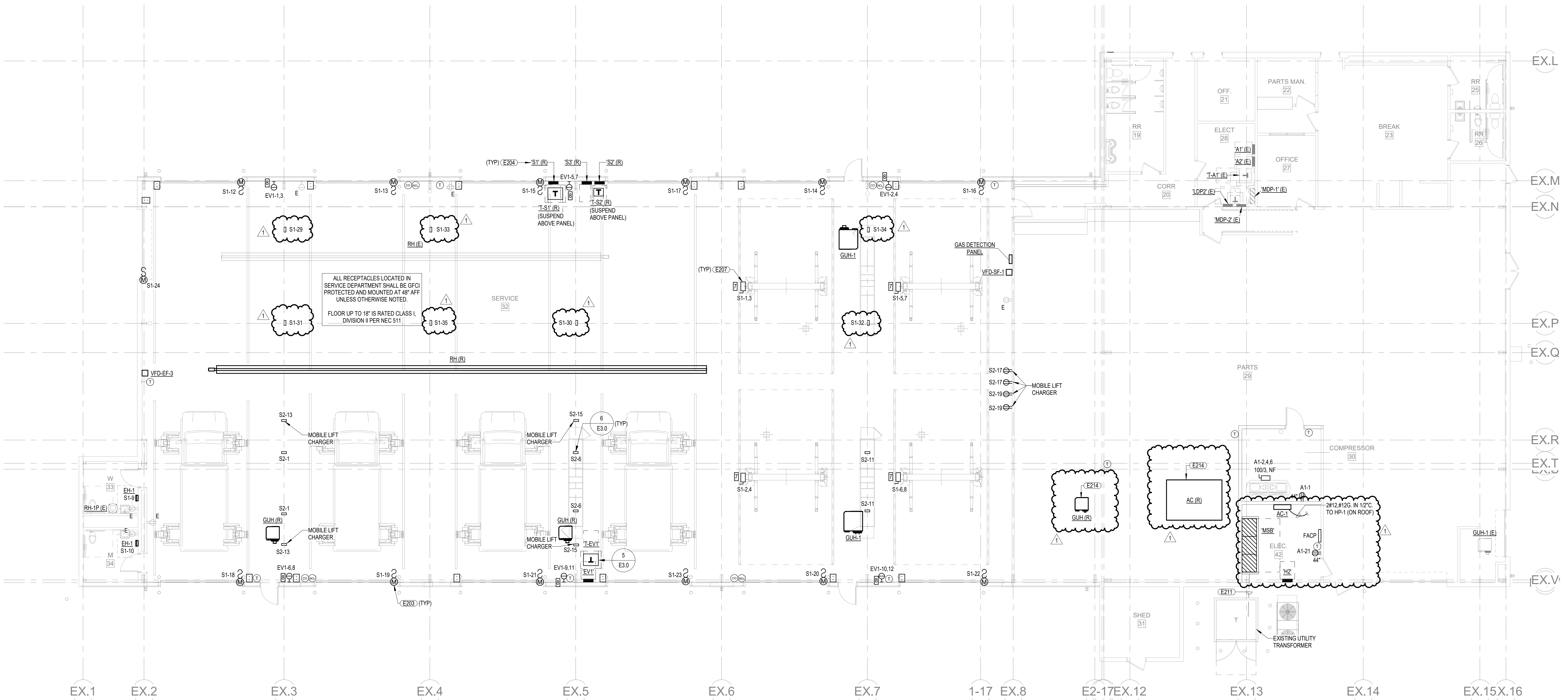
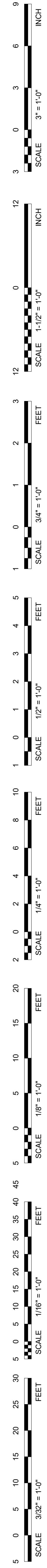
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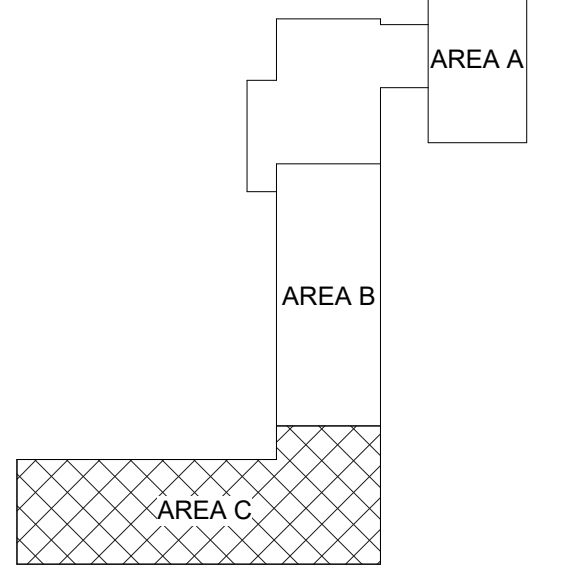
KEYNOTES

- E203 PROVIDE FINAL CONNECTION TO GARAGE DOOR OPENER. PROVIDE ALL PUSHBUTTONS AND UNDER CONCRETE LOOPS AS REQUIRED FOR A FULLY FUNCTIONAL SYSTEM.
- E204 INTERCEPT AND EXTEND EXISTING CIRCUITS TO REMAIN FROM PREVIOUS LOCATION TO PANEL'S NEW LOCATION.
- E207 PROVIDE FINAL CONNECTION TO LIFT. COORDINATE LOCATION OF CONNECTION POINT WITH EQUIPMENT MANUFACTURER PRIOR TO ROUGH-IN. SEE EQUIPMENT CONNECTION SCHEDULE FOR MORE INFORMATION.
- E211 PROVIDE UNDERGROUND SECONDARY CONDUITS AND CONDUCTORS. COORDINATE OPENING OF UTILITY TRANSFORMER WITH OPD. SEE RISER DRAWING FOR ADDITIONAL INFORMATION.
- E214 INTERCEPT AND EXTEND EXISTING CIRCUIT TO RELOCATED EQUIPMENT. REFER TO MECHANICAL PLANS FOR ADDITIONAL INFORMATION.



ALL RECEPTACLES LOCATED IN SERVICE DEPARTMENT SHALL BE GFCI PROTECTED AND MOUNTED AT 48" AFF UNLESS OTHERWISE NOTED. FLOOR UP TO 18" IS RATED CLASS I, DIVISION II PER NEC 511

REVISIONS SCHEDULE		
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PROJECT: 23043 DATE: JANUARY 19, 2024
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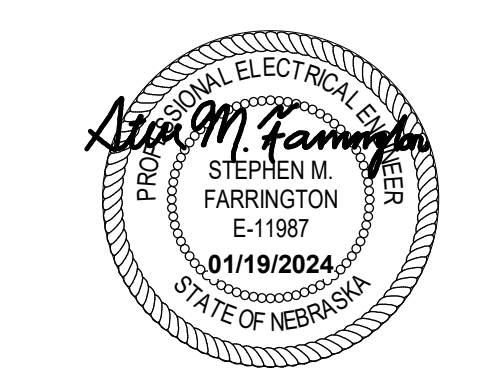
1 FIRST FLOOR - POWER - AREA C
 1/8" = 1'-0"

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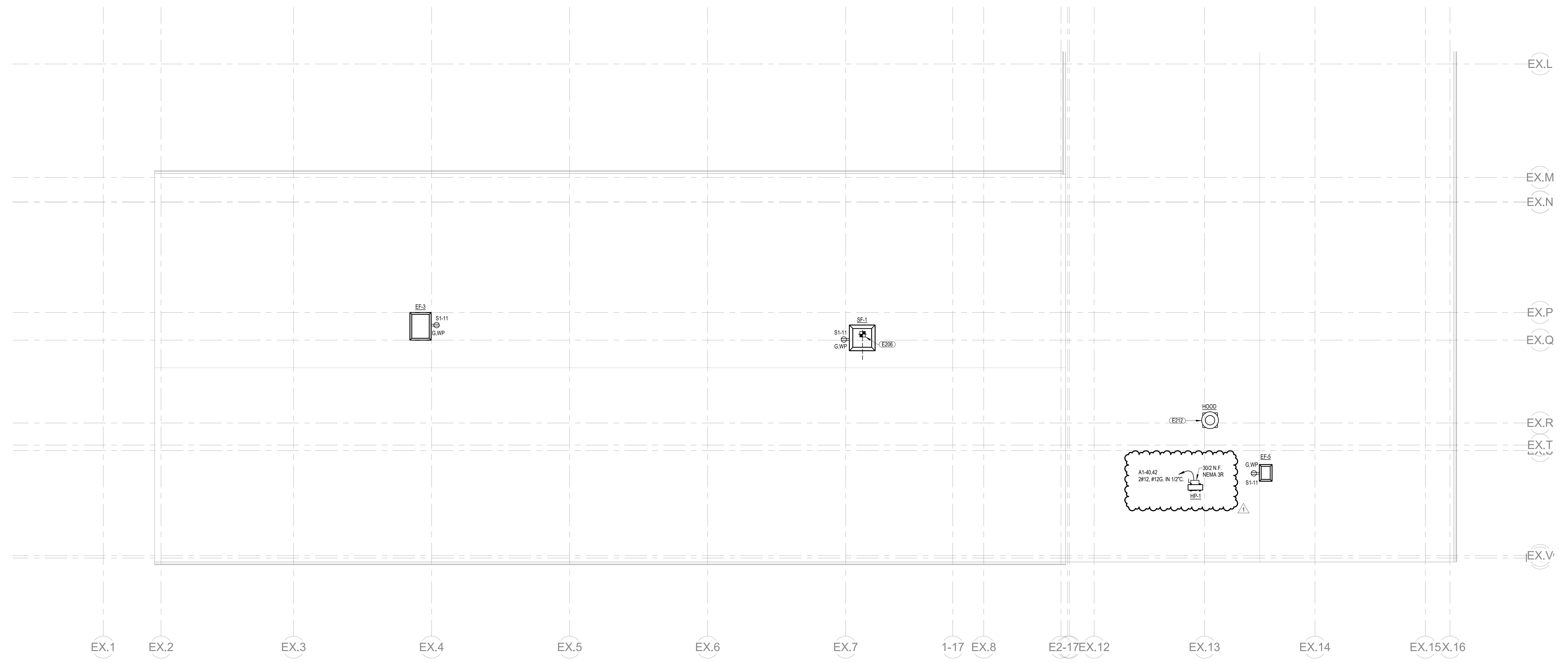
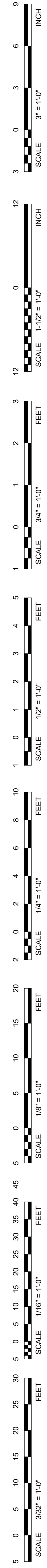
FIRST FLOOR PLAN - POWER - AREA C



E2.3

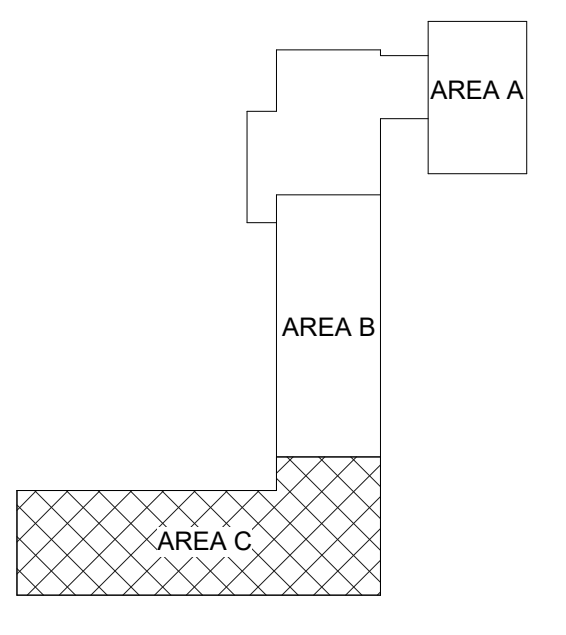
KEYNOTES

- E206 DUCT SMOKE DETECTOR AND RELAY FOR HVAC UNIT SUPPLY FAN SHUTDOWN SHALL BE FURNISHED BY THE ELECTRICAL CONTRACTOR FOR INSTALLATION BY THE MECHANICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR SHALL ALSO PROVIDE A REMOTE KEYED TEST STATION WITH VISUAL STATUS ANNUNCIATOR WHEN DUCT SMOKE DETECTOR IS INSTALLED IN A CONCEALED LOCATION GREATER THAN 10' ABOVE FINISHED FLOOR OR WHEN DUCT SMOKE DETECTOR'S STATUS INDICATORS ARE NOT READILY VISIBLE. COORDINATE LOCATION OF REMOTE KEYED TEST STATION WITH AUTHORITY HAVING JURISDICTION AND OWNER PRIOR TO ROUGH-IN. ALL FINAL WIRING SHALL BE BY THE ELECTRICAL CONTRACTOR.
- E212 PROVIDE CONNECTION TO MOTORIZED DAMPER AND INTERLOCK WITH ASSOCIATED EXHAUST FAN.



1 ROOF LEVEL - POWER - AREA C
 1/8" = 1'-0"

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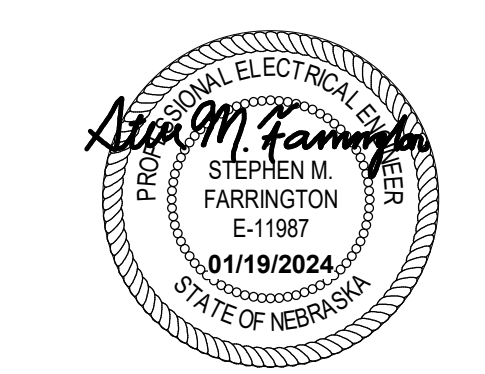
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ROOF PLAN - POWER - AREA C



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STRUCTURAL ENGINEER
LANGE STRUCTURAL GROUP
 1919 S 40TH STREET, SUITE 302
 LINCOLN, NE 68506
 V.402.421.9540
 langestructuralgroup.com

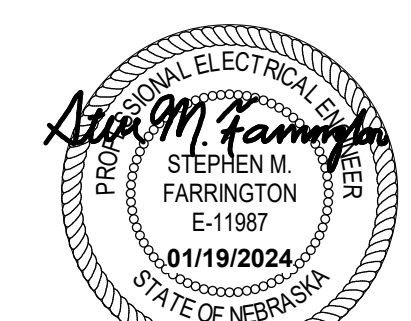
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PROJECT: 23043 DATE: JANUARY 19, 2024
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ELECTRICAL SCHEDULES AND DIAGRAMS

NORTH



E4.0

LUMINAIRE SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LIGHT SOURCE		ELECTRICAL		FINISH	MOUNTING	REMARKS	
				SPEC.	CCT	TYPE	LOAD				VOLTS
F1	6" ROUND DOWNLIGHT	COOPER	RTN-H515D14-HM1284-61WHH	7500 LM	4000K	LED	14 W	277 V	CLEAR	RECESSED	NOTE 1
F2	12" SUSPENDED LINEAR	COOPER	RTN-S24-F-0J076340-D-LIN-XSTD-WH12	9000 LM	4000K	LED	52 W	277 V	WHITE	SUSPENDED	NOTE 1
F4	242 TROFFER	COOPER	RTN-22C2-32-S-UNV-L840-CD1-U	3200 LM	4000K	LED	24 W	277 V	WHITE	RECESSED	NOTE 1
F4F	242 TROFFER	COOPER	RTN-22C2-32-S-UNV-L840-CD1-U-DF-22W-U	3200 LM	4000K	LED	24 W	277 V	WHITE	RECESSED	NOTE 1
F5	8" SERVICE DRIVE STRIP	COOPER	RTN-S1SNL-ED-D5-88SL-LW-LIN-L840-CD1	8800 LM	4000K	LED	61 W	277 V	WHITE	SUSPENDED	NOTE 1
F6	4" STRIP LIGHT	COOPER	RTN-S1SNL-ED-D5-48SL-LW-LIN-L840-CD1	4400 LM	4000K	LED	31 W	277 V	WHITE	SUSPENDED	NOTE 1
F7	HIGHBAY	COOPER	RTN-VH8-24-N-LIN-V-L850-CDU	24,000 LM	5000K	LED	174 W	277 V	WHITE	SUSPENDED	NOTE 1
F10	EXTERIOR WALL PACK	COOPER	RTN-GWC-SABZ-750-U-T3-DP	6105 LM	5000K	LED	44 W	277 V	DARK PLATINUM	WALL	NOTE 1
X3	SINGLE FACE EXIT SIGN	COOPER	RTN-1PX7SD	FURN. W/ LUMINAIRE	FURN. W/ LUMINAIRE	LED	2 W	277 V	WHITE	NOTE 2	NOTE 1
X4	SINGLE FACE EXIT SIGN	COOPER	RTN-1PXEL7HR	FURN. W/ LUMINAIRE	FURN. W/ LUMINAIRE	LED	2 W	277 V	WHITE	NOTE 2	NOTE 1
X6	LED BATTERY LIGHT	COOPER	RTN-SEL5SDS	FURN. W/ LUMINAIRE	FURN. W/ LUMINAIRE	LED	2 W	277 V	WHITE	SURFACE	NOTE 1
X7	EXTERIOR BATTERY LIGHT	COOPER	RTN-SELDMA26SD	FURN. W/ LUMINAIRE	FURN. W/ LUMINAIRE	LED	4 W	277 V	SILVER	WALL	NOTE 1

GENERAL REQUIREMENTS:

- CONTRACTOR SHALL VERIFY CATALOG NUMBERS AND INSTALLATION REQUIREMENTS PRIOR TO ORDERING. NOTIFY ENGINEER OF ANY CONFLICTS WITH PROPOSED INSTALLATION.
- CONTRACTOR SHALL COORDINATE CEILING TRIM OPTIONS FOR LUMINAIRES INSTALLED IN GRID-TYPE SUSPENDED CEILINGS. SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.
- UNLESS NOTED OTHERWISE REFER TO PLANS FOR SUSPENSION LENGTHS REQUIRED FOR ALL SUSPENDED LUMINAIRES.

LUMINAIRE SCHEDULE NOTES:

- PRICING AND SPECIFICATION ASSISTANCE: DAN RODRIGUEZ - CED AUTOMOTIVE dan@rodriguezcedstc.com / 562.964.5995
- REFER TO PLANS FOR MOUNTING REQUIREMENTS SUCH AS WALL MOUNT, END MOUNT, CEILING MOUNT AND PROVIDE LUMINAIRES ACCORDINGLY. PROVIDE DIRECTIONAL CHEVRON ARROWS AS INDICATED ON PLANS.

EQUIPMENT CONNECTION SCHEDULE

MARK	ITEM	VOLTAGE	PH	HP (KW)	AMPS	CONNECTION		WIRE, GROUND, CONDUIT	REMARKS
						DISCONNECT	CORD AND PLUG		
1	WHEEL BALANCER	208 V	1		10		L6-20R	2#12-#12G-12"C	
2	IRM CLAMP TIRE CHANGER	208 V	1		6		L6-20R	2#12-#12G-12"C	
3	TIRE CHANGER	208 V	1		20		L6-20R	2#12-#12G-12"C	
4	BENCH LATHE	120 V	1		15		5-15R	2#12-#12G-12"C	
5	BRAKE LATHE	120 V	1		15		5-15R	2#12-#12G-12"C	
6	FOUR POST LIFT	208 V	1		3		602, NF	2#6-#10G-1"C	
7	TWO POST LIFT	208 V	1		4		602, NF	2#6-#10G-1"C	
8	CAR CHARGER RECEPTACLE	208 V	1		50		14-50R	3#6-#10G-1"C	

COPPER FEEDER SCHEDULE

FEEDER	WIRE AND CONDUIT
100-4	4#2, #6 G-1-1/2"C
100-4T	4#1, #6 G-1-1/2"C
125-3	3#1, #6 G-1-1/2"C
225-4T	4#4, #2 G-2-1/2"C
800-4	4-000 KCMIL #1/0 G IN EACH OF (2), 4"C
1200-4S	4-400 KCMIL IN EACH OF (4), 3"C

KEYNOTES

- E401 PROVIDE 3/4" THICK CONCRETE HOUSEKEEPING PAD WITH 3/4" CHAMFER EDGE AROUND ALL SIDES EXCEPT THOSE ABUTTING A WALL.
- E402 REMOVE MAIN BONDING JUMPER FROM EXISTING MAIN DISTRIBUTION PANEL.
- E403 COORDINATE THE OPENING OF THE UTILITY TRANSFORMER FOR THE REMOVAL OF EXISTING SERVICE FEEDERS AND THE CONNECTION OF NEW SERVICE FEEDERS WITH (3PH). COORDINATE THE CUTOVER FROM EXISTING TO NEW SERVICE WITH THE OWNER PRIOR TO COMMENCEMENT OF WORK.
- E404 REMOVE EXISTING SERVICE FEEDERS, CAP AND ABANDON CONDUIT UNDERGROUND.
- E405 INTERCEPT AND EXTEND EXISTING FEEDERS TO NEW TRANSFORMER LOCATION.
- E406 PROVIDE LOCKABLE UPSTREAM BREAKERS FOR RELOCATED TRANSFORMERS.

SWITCHBOARD SCHEDULE

Panel: MSB Rating: 1200 A A.I.C. Rating: 35000
 Type: MAIN CKT. BKR. W/GND. Voits: 480/277
 Phases: 3 Wires: 4 S.E. Rated: YES
 Integral SPD: YES

CKT	NAMEPLATE DESIGNATION	RATING	Comments
1	MDP-1	800 A 3	
2	SPARE	400 A 3	
3	SPARE	400 A 3	
4	SPACE	400 A 3	
5	SPACE	400 A 3	
6	SPARE	225 A 3	
7	SPARE	225 A 3	
8	XFMR T-EV1	125 A 3	LOCKABLE BREAKER
9	XFMR T-EV2	125 A 3	LOCKABLE BREAKER
10	H2	100 A 3	
11	SPARE	100 A 3	
12	SPARE	100 A 3	
13	SPACE	100 A 3	
14	SPACE	100 A 3	

- Notes:
- THE CURRENT LIMITING PLUG IN THE CIRCUIT BREAKER OR THE BREAKER ITSELF MUST BE THE NEXT LOGICAL SIZE ABOVE THE SERVICE CONDUCTOR SIZE.
 - A PERMANENT "RED" ENGRAVED PHENOLIC PLATE MUST BE INSTALLED ON OR ABOVE THE MAIN CIRCUIT BREAKER WITH THE FOLLOWING INFORMATION:
 - SERVICE SIZE - PER NEC.
 - ALL PROGRAMMED BREAKER SETTINGS.
 - "CAUTION - ANY CHANGES TO THESE SETTINGS COULD BE A POTENTIAL RISK TO LIFE AND PROPERTY".
 - PROVIDE AN ARC ENERGY REDUCING MAINTENANCE SWITCH FOR EACH CIRCUIT BREAKER FRAME SIZE 1200 AMPS AND LARGER.

MECHANICAL CONNECTION SCHEDULE

PLAN TAG	VOLTAGE	PHASE	DISCONNECT	CIRCUIT	WIRE AND CONDUIT	REMARKS
AC-1	208 V	1	INTEGRAL	L-24	2#12-#12G-12"C	VIA 1"IP-1"
RH-1C	120 V	1	TOGGLE	L-24	2#12-#12G-12"C	NOTE 4
RH-1D	120 V	1	TOGGLE	L-24	2#12-#12G-12"C	NOTE 4
EF-1	208 V	1	303 N.F. NEMA 3R	L28.31	2#12-#12G-12"C	NOTE 1
EF-2	480 V	3	303 N.F. NEMA 3R	HC2-1.3.5	3#12-#12G-12"C	NOTE 1.2
EF-3	480 V	3	303 N.F. NEMA 3R	H2-1.3.5	3#12-#12G-12"C	NOTE 1.2
EF-4	120 V	1	WP TOGGLE	L-28	2#12-#12G-12"C	NOTE 1
EF-5	120 V	1	WP TOGGLE	A1-27	2#12-#12G-12"C	NOTE 1
DNH-1	277 V	1	TOGGLE	H-2	2#12-#12G-12"C	
GAS DETECTION PANEL	120 V	1	INTEGRAL	L-33	2#12-#12G-12"C	
GAS DETECTION PANEL	120 V	1	INTEGRAL	A-36	2#12-#12G-12"C	
GAS DETECTION PANEL	120 V	1	INTEGRAL	S1-26	2#12-#12G-12"C	

NOTES:

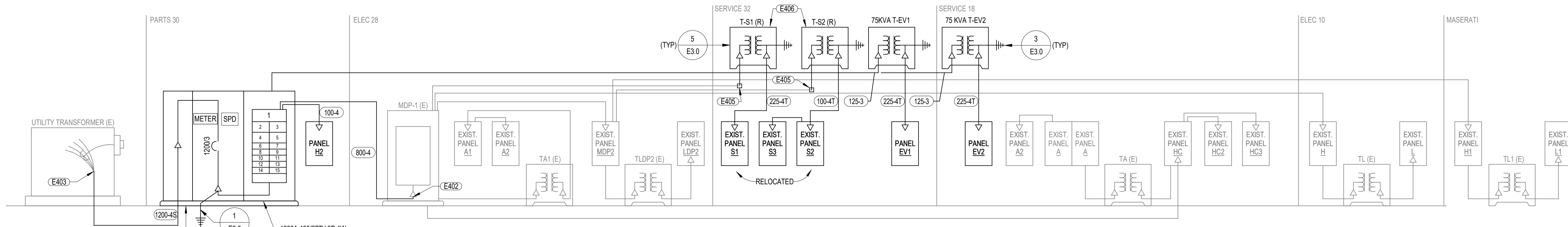
- INTERLOCK FAN WITH ASSOCIATED MOTORIZED DAMPER. DAMPER SHALL BE AT SAME VOLTAGE AS FAN.
- PROVIDE CIRCUIT TO ASSOCIATED VFD IN BAY BELOW. PROVIDE FINAL WIRING FROM VFD TO FAN. SEE PLANS FOR LOCATION OF VFD'S.
- PROVIDE FINAL CONNECTION TO INSTANTANEOUS WATER HEATER. THE REQUIRED DISCONNECTING MEANS SHALL CONSIST OF PADLOCK ACCESSORY ON CIRCUIT BREAKER SERVING WATER HEATER BRANCH CIRCUIT TO LOCK CIRCUIT BREAKER IN OPEN (OFF) POSITION. COORDINATE ALL REQUIREMENTS WITH PLUMBING CONTRACTOR PRIOR TO ROUGH-IN.
- PROVIDE FINAL CONNECTION TO SPARK IGNITER. PROVIDE 120V WIRING TO CONTROL PANELS AND THERMOSTATS. SEE MECHANICAL PLANS FOR LOCATIONS.

ELECTRIC HEAT SCHEDULE

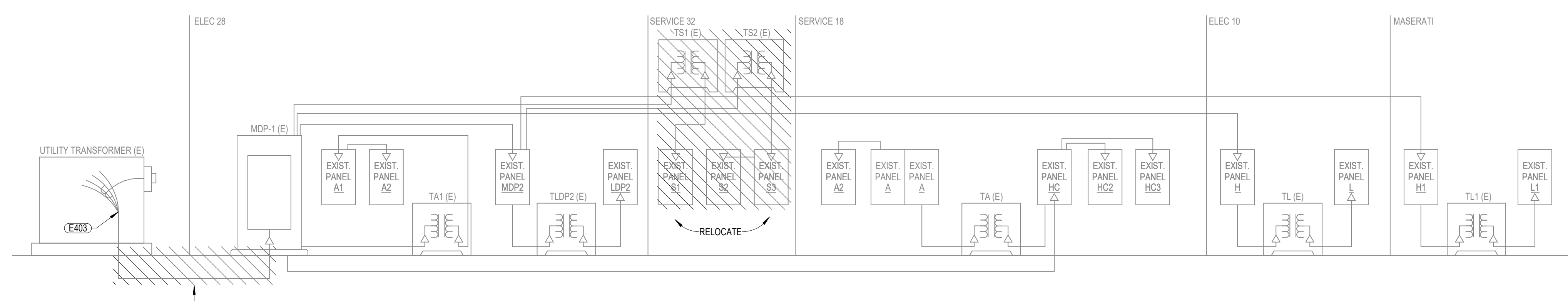
MARK	MANUFACTURER	CATALOG NUMBER	WATTS	VOLTAGE	PHASE	REMARKS
EH-1	KING	PAW1215-W-TT-1-TP	1500 WATT	120 V	1	

NOTES:

- PROVIDE WITH INTEGRAL SERVICE DISCONNECT AND THERMOSTAT. INSTALL PER MANUFACTURERS INSTRUCTIONS.



2 ELECTRICAL RISER DIAGRAM - NEW
 NOT TO SCALE



1 ELECTRICAL RISER DIAGRAM - EXISTING
 NOT TO SCALE

MEI PROJECT NO. 23416

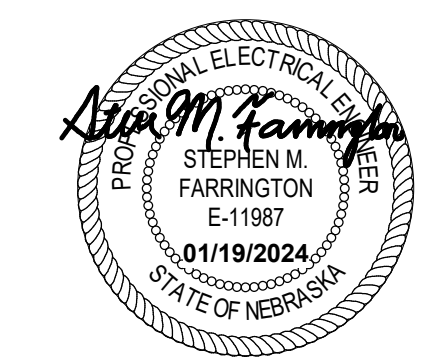
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REVISIONS SCHEDULE table with columns: MARK, DATE, DESCRIPTION. Row 1: 1, 02/01/2024, Addendum 01

WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS

PROJECT: 23043 DATE: JANUARY 19, 2024
PROJECT STATUS: CONSTRUCTION DOCUMENTS



ELECTRICAL PANEL SCHEDULES

LIGHTING PANEL SCHEDULE table for Panel: EV1, Rating: 225 A, Voltage: 120/208, Phase: 3, Wire: 4. Includes circuit descriptions like MAIN BREAKER (E), EVSE, and SPARE.

EXISTING LIGHTING PANEL SCHEDULE table for Panel: HC3, Rating: 225 A, Voltage: 480/277, Phase: 3, Wire: 4. Includes circuit descriptions like EX LGT LOAD (E), SF-2, and SPARE.

LIGHTING PANEL SCHEDULE table for Panel: H2, Rating: 100 A, Voltage: 480/277, Phase: 3, Wire: 4. Includes circuit descriptions like SERVICE BAY LTG, EXTERIOR LTG, and SPARE.

RELOCATED LIGHTING PANEL SCHEDULE table for Panel: S1, Rating: 200 A, Voltage: 120/208, Phase: 3, Wire: 4. Includes circuit descriptions like TWO POST LIFT, REC - ROOFTOP REC, and SPARE.

EXISTING LIGHTING PANEL SCHEDULE table for Panel: A2, Rating: 200 A, Voltage: 120/208, Phase: 3, Wire: 4. Includes circuit descriptions like MAIN BREAKER (E), SPARE, and REC (E).

EXISTING LIGHTING PANEL SCHEDULE table for Panel: HC2, Rating: 225 A, Voltage: 480/277, Phase: 3, Wire: 4. Includes circuit descriptions like SERVICE BAY LTG, XFMR TA (E), and SPARE.

RELOCATED LIGHTING PANEL SCHEDULE table for Panel: S3, Rating: 125 A, Voltage: 120/208, Phase: 1, Wire: 3. Includes circuit descriptions like SPARE, EX LOAD (E), and REC - ROOFTOP REC.

RELOCATED LIGHTING PANEL SCHEDULE table for Panel: S2, Rating: 100 A, Voltage: 120/208, Phase: 3, Wire: 4. Includes circuit descriptions like WORKBENCH DROP CORDS, SPARE, and REC - ROOFTOP REC.

EXISTING LIGHTING PANEL SCHEDULE table for Panel: A2, Rating: 200 A, Voltage: 120/208, Phase: 3, Wire: 4. Includes circuit descriptions like SPARE, REC (E), and 30A REC (E).

EXISTING LIGHTING PANEL SCHEDULE table for Panel: HC, Rating: 225 A, Voltage: 480/277, Phase: 3, Wire: 4. Includes circuit descriptions like SERVICE BAY LTG, XFMR TA (E), and SPARE.

EXISTING DISTRIBUTION PANEL SCHEDULE table with columns: CKT, NAMEPLATE DESIGNATION, RATING, COMMENTS. Lists various service areas and equipment.

EXISTING LIGHTING PANEL SCHEDULE table for Panel: A1, Rating: 200 A, Voltage: 120/208, Phase: 3, Wire: 4. Includes circuit descriptions like REC - AIR DRYER, FACP, and SPARE.

EXISTING LIGHTING PANEL SCHEDULE table for Panel: H, Rating: 225 A, Voltage: 480/277, Phase: 3, Wire: 4. Includes circuit descriptions like IEWH-1, EXTERIOR LTG, and SPARE.

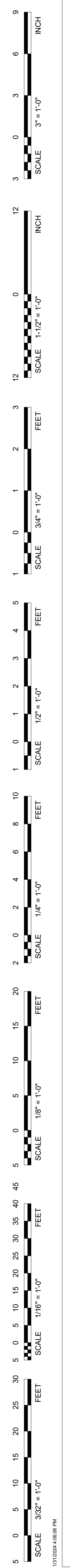
EXISTING LIGHTING PANEL SCHEDULE table for Panel: LDP2, Rating: 200 A, Voltage: 120/208, Phase: 3, Wire: 4. Includes circuit descriptions like EX LOAD (E), SPARE, and REC - ROOFTOP REC.

EXISTING LIGHTING PANEL SCHEDULE table for Panel: MDP-2, Rating: 225 A, Voltage: 480/277, Phase: 3, Wire: 4. Includes circuit descriptions like POLE LTG AND TIMECLOCK (E), XFMR FOR BODY SHOP PANEL, and SPARE.

EXISTING LIGHTING PANEL SCHEDULE table for Panel: A, Rating: 225 A, Voltage: 120/208, Phase: 3, Wire: 4. Includes circuit descriptions like GARAGE DOOR, TWO POST LIFT, and SPARE.

LIGHTING PANEL SCHEDULE table for Panel: EV2, Rating: 225 A, Voltage: 120/208, Phase: 3, Wire: 4. Includes circuit descriptions like EVSE, SPARE, and REC - ROOFTOP REC.

EXISTING LIGHTING PANEL SCHEDULE table for Panel: L, Rating: 150 A, Voltage: 120/208, Phase: 3, Wire: 4. Includes circuit descriptions like GARAGE DOOR, BREAK ROOM REC, and SPARE.



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