

ABBREVIATIONS

Table of abbreviations for construction terms including ACC, ACT, AFF, AHJ, ALT, ALUM, ARCH, AWP, BCMU, BCS, BD, BLKG, BO, BRNG, CC, CCD, CIP, CJ, CL, CLG, CLR, CMU, COL, CONC, CONT, CPT, CT, DBL, DEG, DF, DIA, DIM, DN, DTL, DWG, EA, EFS, EJ, ELEV, ELEC, EQ, EQUIP, EWC, EXG, EXT, FD, FND, FE, FEC, FF, FLR, FLRG, FT, GA, GALV, GB, GC, GCMU, GWB, HGT, HOWE, HM, HORIZ, HR, IN, INSUL, INT, JB, KIT, L, LAV, LAM, LF, LCKR, LSC, MAX, MBD, MBH, MECH, MEZZ, MFR, MFRG, MN, MIR, NA, NIC, NOM, NTS, OD, OCG, OH, ORD, OFCI, OFOI, OPNS, OSD, P, PC, PCT, PERP, PL, PLAM, PLYWD, PORC, PTD, PTRD, QT, RAD, RB, RCP, RD, RECS, RECPY, REF, REOD, RES, RF, RO, SCD, SD, SFC, SFCMU, SHWR, SIM, SNO, SNV, SPEC, SS, STD, STL, STRCT, TG, TB, TERR, TH, THK, T, TTD, TW, TYP, UNEX, UNO, UTS, UTIL, VAR, VB, VCT, WD, WDW, WR.

GENERAL NOTES

NOTES APPLY TO ALL TRADES AND ALL DRAWINGS. SEE GENERAL CONDITIONS OF THE CONTRACT FOR FULL SCOPE OF CONTRACTOR REQUIREMENTS. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND REQUIRED CLEARANCES BETWEEN EXISTING OR NEW CONDITIONS PRIOR TO FABRICATION AND INSTALLATION. THE DRAWINGS SHOW EXISTING CONDITIONS AS ACCURATELY AS POSSIBLE BASED ON AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, LOCATIONS, UTILITIES, EQUIPMENT, ETC. PRIOR TO THE START OF DEMOLITION AND/OR CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. THE EXISTENCE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AND CONSTRUCTION INDICATED AS EXISTING ARE NOT GUARANTEED. BEFORE BEGINNING SITEWORK, INVESTIGATE AND VERIFY THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES, AND OTHER CONSTRUCTION AFFECTING THE WORK. IN ADDITION TO COMPLIANCE WITH REGULATORY REQUIREMENTS, CONDUCT CONSTRUCTION OPERATIONS IN COMPLIANCE WITH NEPA 241, INCLUDING APPLICABLE RECOMMENDATIONS IN APPENDIX A. CONDUCT OPERATIONS SO AS TO PERMIT PUBLIC ACCESS TO THE ADJACENT SITE. WALKS, DRIVEWAYS, ENTRANCES, ADJACENT PROPERTIES TO BE USED BY THE PUBLIC SHALL BE MAINTAINED IN A SAFE CONDITION AND SHALL BE KEPT FREE AND CLEAR OF THE CONTRACTOR'S EQUIPMENT, MATERIALS, AND DEBRIS. CONTRACTOR SHALL COOPERATE WITH THE OWNER IN THE SCHEDULING AND EXECUTION OF THE WORK AND USE OF THE SITE. CONTRACTOR SHALL NOTIFY THE OWNER AND MUNICIPALITIES BEFORE COMMENCEMENT OF ANY WORK OR OPERATION WHICH WOULD INTERFERE WITH THE USE OF AN EXISTING BUILDING OR SURROUNDING SITE/BUILDINGS. CONTRACTOR'S OPERATIONS AND STORAGE OF MATERIALS SHALL BE CONFINED TO THE MINIMUM AREA OF THE SITE NECESSARY TO ACCOMPLISH THE WORK. ANY ADDITIONAL STAGING OR STORAGE AREAS SHALL BE APPROVED BY THE LOCAL BUILDING AUTHORITY AND THE OWNER. DELIVER, STORE, AND HANDLE PRODUCTS, USING MEANS AND METHODS THAT WILL PREVENT DAMAGE, DETERIORATION, AND LOSS, INCLUDING THEFT AND VANDALISM. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. PROVIDE A SECURE LOCATION AND ENCLOSURE AT PROJECT SITE FOR STORAGE OF MATERIALS AND EQUIPMENT. CONTRACTOR SHALL EXERCISE ALL REASONABLE PRECAUTIONS FOR THE PROTECTION OF PERSONS AND PROPERTY ON THE SITE. ALL SAFETY PROVISIONS AND APPLICABLE LAWS FOR BUILDING AND CONSTRUCTION CODES SHALL BE OBSERVED. CONTRACTOR SHALL PROTECT THEIR WORK, THE WORK OF OTHERS, AND EXISTING WORK AND PROPERTIES SHOWN TO REMAIN. ANY WORK DAMAGED SHALL BE RETURNED TO BETTER OR EQUAL CONDITION. SECURITY SHALL BE MAINTAINED IN ALL SITUATIONS. BEFORE PROCEEDING TO LAY OUT THE WORK, VERIFY LAYOUT INFORMATION SHOWN ON DRAWINGS, IN RELATION TO THE PROPERTY SURVEY AND EXISTING BENCHMARKS AND EXISTING CONDITIONS. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY. CONTRACTOR SHALL PROVIDE TEMPORARY DUSTPROOF ENCLOSURES, DUST BARRIERS, WEATHER BARRIERS, COVERED WALKWAYS AND/OR BARRICADES AS REQUIRED TO PROTECT THE PUBLIC, OCCUPANTS AND EXISTING FACILITIES DURING DEMOLITION AND CONSTRUCTION. INSTALL PRODUCTS AS SPECIFIED IN INDIVIDUAL SECTIONS OR ON DRAWINGS, IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, AND SO AS TO AVOID WASTE DUE TO NECESSITY FOR REPLACEMENT. WHERE THE EXISTING SURFACE IS NOT INDICATED TO BE REFINISHED, PATCH TO MATCH THE SURFACE FINISH THAT EXISTED PRIOR TO CUTTING. WHERE THE SURFACE IS INDICATED TO BE REFINISHED, PATCH SO THAT THE SUBSTRATE IS READY FOR THE NEW FINISH. MAINTAIN WORK AREAS FREE OF WASTE MATERIALS, DEBRIS, AND RUBBISH. MAINTAIN SITE IN A CLEAN AND ORDERLY CONDITION. REPAIR OR REMOVE AND REPLACE DAMAGED, DEFECTIVE, OR NONCONFORMING WORK. RESTORE DAMAGED SUBSTRATES AND FINISHES. REPAIRING INCLUDES REPLACING DEFECTIVE PARTS, REFINISHING DAMAGED SURFACES, TOUCHING UP WITH MATCHING MATERIALS, AND PROPERLY ADJUSTING OPERATING EQUIPMENT. REPAIR WORK PREVIOUSLY COMPLETED AND SUBSEQUENTLY DAMAGED DURING CONSTRUCTION PERIOD. REPAIR TO LIKE-NEW CONDITION. COORDINATE SCHEDULE FOR START-UP OF VARIOUS EQUIPMENT AND SYSTEMS. COORDINATE WITH MECHANICAL AND ELECTRICAL CONTRACT DOCUMENTS. DEMONSTRATE OPERATION AND MAINTENANCE OF PRODUCTS TO OWNER'S PERSONNEL TWO WEEKS PRIOR TO DATE OF SUBSTANTIAL COMPLETION. EXECUTE FINAL CLEANING PRIOR TO SUBSTANTIAL COMPLETION. MAINTAIN ON SITE ONE SET OF RECORD DOCUMENTS; RECORD ACTUAL REVISIONS TO THE WORK.

MATERIALS LEGEND

Materials legend table listing items like CIP CONCRETE, PC CONCRETE, CMU, MASONRY VENEER, STEEL, ALUMINUM, METAL STUD, GLAZING, CONTINUOUS WOOD BLOCKING, WOOD SHIM/SPACER, WOOD FINISH/TRIM, BOARD INSULATION, ROOF INSULATION, BATT INSULATION, PLYWOOD, GYPSUM BOARD, EARTH/GENERIC FILL, GRAVEL, SAND.

SYMBOLS LEGEND

Symbols legend table listing symbols for building section reference, wall section reference, detail reference, call out reference, building elevation reference, interior elevation reference, gridline reference, elevation reference, room name, door tag, window/frame tag, wall tag, revision tag, note reference, material/flooring reference, slope reference.

COORDINATING PROFESSIONAL



I, TRISTAN VETTER CERTIFY THAT I AM THE COORDINATING PROFESSIONAL FOR THE: WOODHOUSE FORD PRO PROJECT.

WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS

6603 L FRONTAGE RD S OMAHA, NE 68117 BVH PROJECT NO. 23043 CD SUBMITTAL



INDEX OF DRAWINGS

GENERAL

General index of drawings table listing items like G1.0 COVER SHEET, G1.1 LIFE SAFETY AND CODE ANALYSIS, C0.0 LEGEND SHEET, C0.1 ORIGINAL TOPOGRAPHIC SURVEY, C1.0 ZONING COMPLIANCE PLAN, C2.0 REMOVAL PLAN, C3.0 GRADING PLAN, C4.0 UTILITY & PAVING PLAN.

ARCHITECTURAL

Architectural index of drawings table listing items like AD1.1 DEMO PLAN, AD2.1 DEMO RCP, AD3.1 DEMO BUILDING ELEVATIONS, AD3.2 DEMO BUILDING ELEVATIONS, AD0.5 ARCHITECTURAL SITE PLAN AND DETAILS, A1.0 FIRST FLOOR PLAN - OVERALL, A1.1A FIRST FLOOR PLAN - AREA A & B, A1.2B FIRST FLOOR PLAN - AREA C, A1.3 ROOF PLAN, A1.4 ENLARGED PLANS & INTERIOR ELEVATIONS, A2.1 FIRST FLOOR RCP - AREA A & B, A2.2 FIRST FLOOR RCP - AREA A, A3.1 BUILDING ELEVATIONS, A3.2 BUILDING ELEVATIONS, A4.1 BUILDING SECTIONS, A5.1 WALL SECTIONS, A6.1 DETAILS, A6.2 DETAILS, A7.1 DOOR AND WINDOW FRAME TYPES/DETAILS, A8.1 FIRST FLOOR FINISH PLAN - AREA A & B, A8.2 FINISH SCHEDULE & FIRST FLOOR FINISH PLAN - AREA C, A8.3 FIRST FLOOR FURNITURE PLAN - AREA A (FOR REFERENCE ONLY).

STRUCTURAL

Structural index of drawings table listing items like S1.1 STRUCTURAL NOTES & DESIGN DATA, S1.2 STRUCTURAL SCHEDULES, S2.1 STRUCTURAL PLANS AREA A, S2.2 STRUCTURAL PLANS AREA B, S2.3 STRUCTURAL FOUNDATION PLAN AREA C, S2.4 STRUCTURAL ROOF FRAMING PLAN AREA C, S3.1 STRUCTURAL DETAILS.

LSC 2012

IFC 2018

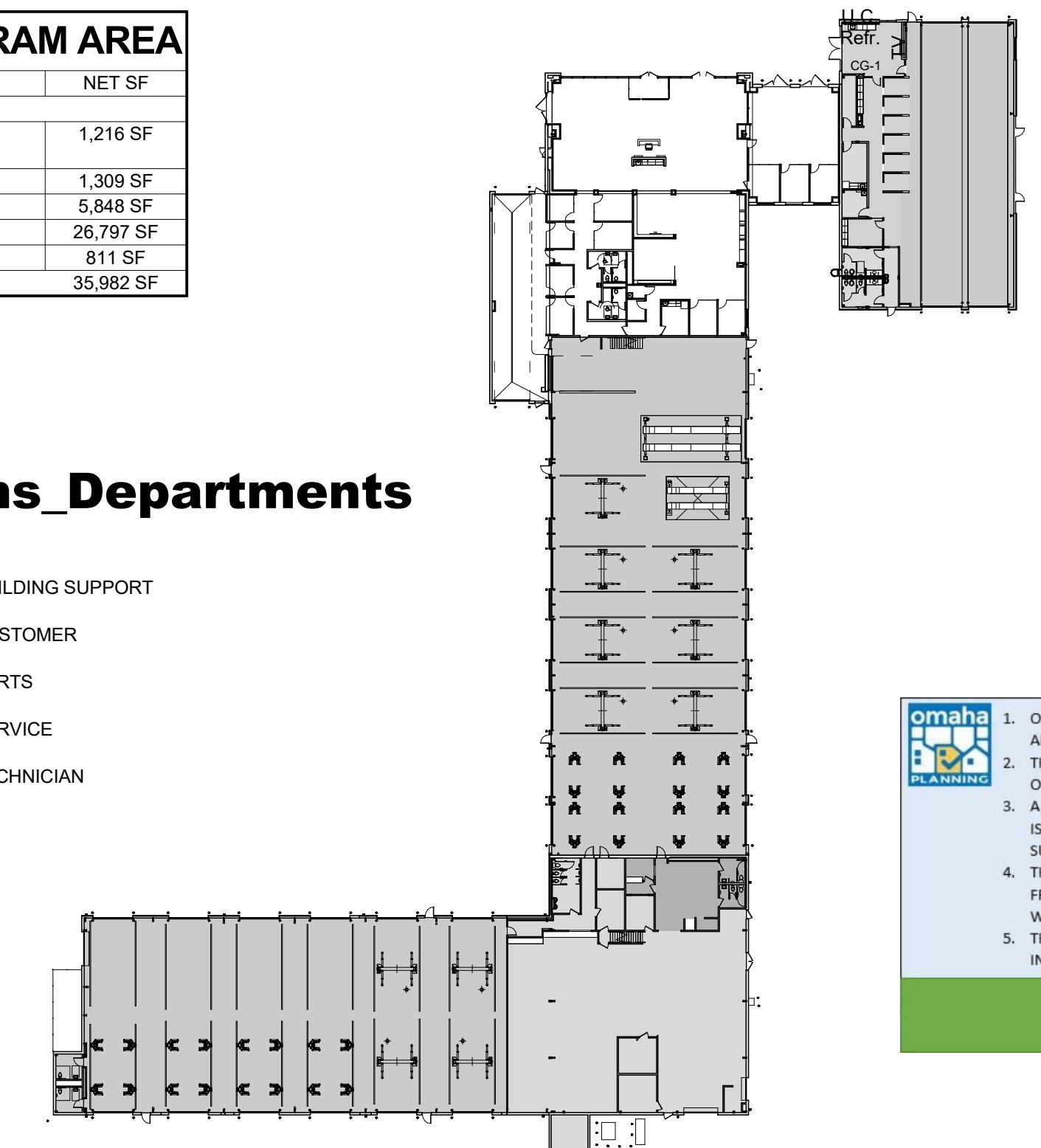
Submit Fire Alarm Plans To F.P.B. For Approval Prior To Installation.

II-B B S-1

PROGRAM AREA table with columns AREA and NET SF, listing Building Support (1,216 SF), Customer (1,309 SF), Parts (5,848 SF), Service (26,797 SF), Technician (811 SF), Total (35,982 SF).

Rooms\_Departments

Rooms/Departments legend table with color-coded boxes for Building Support (grey), Customer (light grey), Parts (white), Service (light blue), Technician (dark grey).

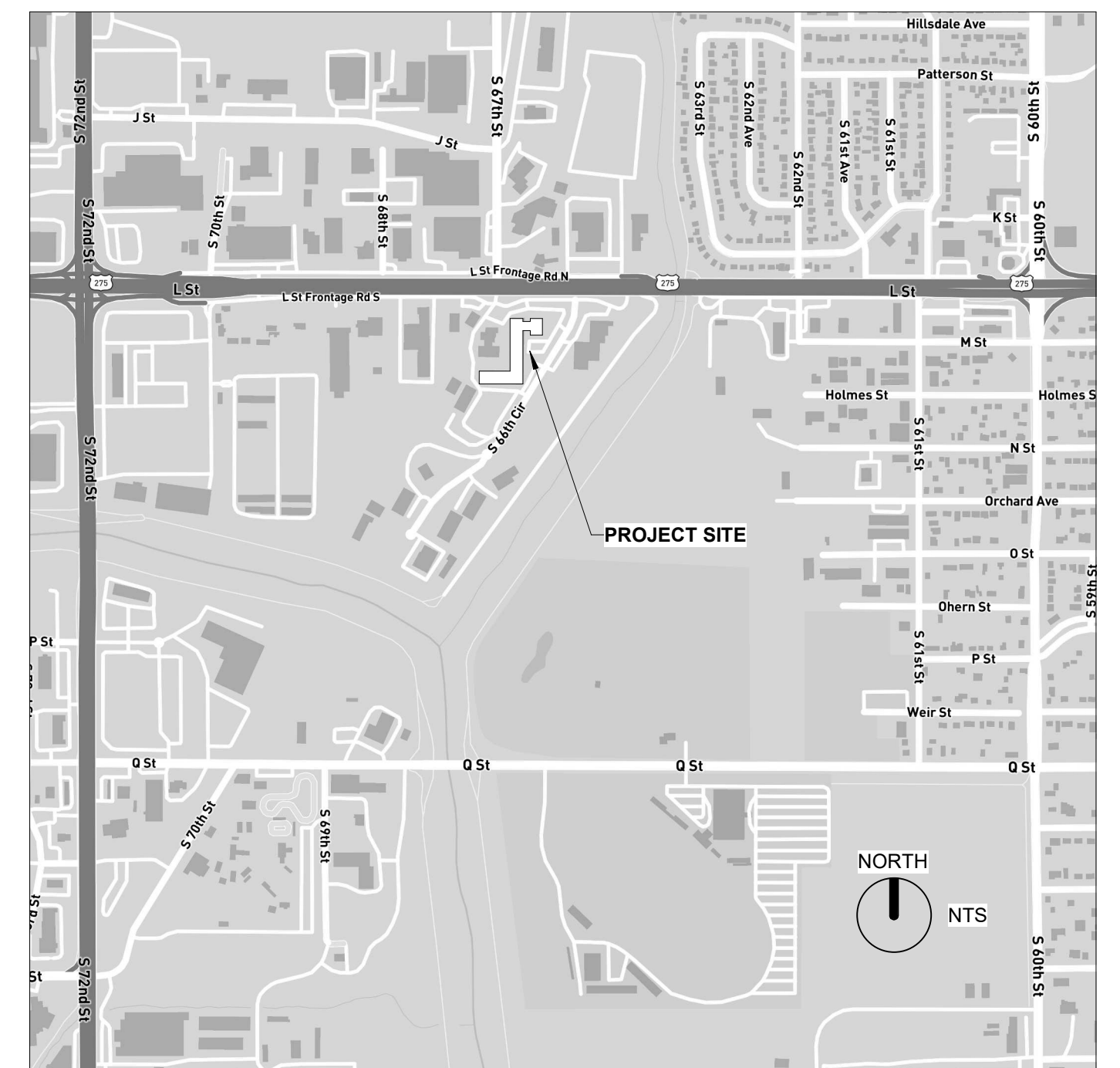


3 DEPARTMENT PLAN \* FOR FORD REVIEW ONLY. 1" = 50'-0"

PROJECT ALTERNATES:

BID ALTERNATE 1: PROVIDE RESINOUS FLOORING IN RECEPTION AND OTHER AREAS AS INDICATED OF AREA 'A'. BASE BID: SEAL NEW AND EXISTING CONCRETE SLAB. BID ALTERNATE 2: PROVIDE NEW METAL BUILDING ROOF INSULATION LINER IN AREA 'B' & 'C' SERVICE AREAS. BASE BID: PATCH, REPAIR AND PAINT EXISTING ROOF LINER.

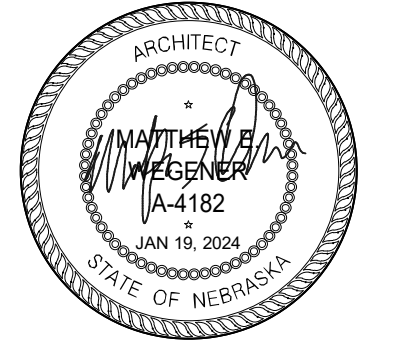
VICINITY PLAN



APPROVED stamp with date 4/10/2024, 12:44:07 PM and project ID BLD-24-00512.

REVISIONS SCHEDULE

Revisions schedule table with columns MARK, DATE, DESCRIPTION.



COVER SHEET

G1.0



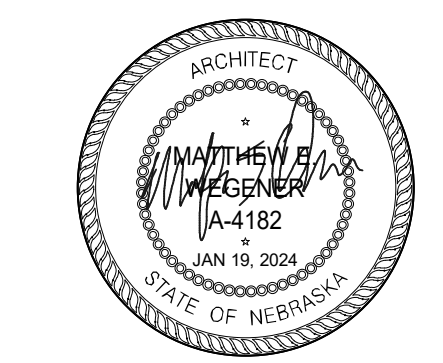
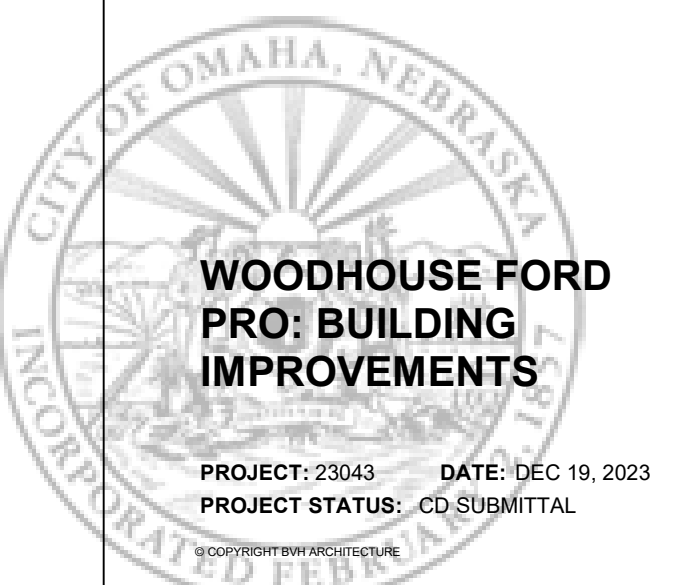
ARCHITECT BVH ARCHITECTURE 301 JONES STREET OMAHA, NE 68102 F 402 345 3000 F 402 345 7871 bvh.com

CIVIL ENGINEER LAMP RYNEARSON 14710 W DODGE RD #100 OMAHA, NE 68154 V 402 496 2498 lra-inc.com

STRUCTURAL ENGINEER LANGE STRUCTURAL GROUP 1919 S 40TH STREET, SUITE 302 LINCOLN, NE 68506 V 402 421 6540 langesstructuralgroup.com

MEP ENGINEER MORRISSEY ENGINEERING 4640 N 118TH ST OMAHA, NE 68184 V 402 491 2444 morrisseyengineering.com

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION
4	3/28/2024	CORRECTIONS



LIFE SAFETY AND  
 CODE ANALYSIS



G1.1

## LIFE SAFETY ANALYSIS

<b>IEBC PROJECT TYPE:</b> ALTERATION (IEBC CHAPT 7, 8, 9) METHOD OF COMPLIANCE: WORK AREA COMPLIANCE METHOD. NFPA 13 AUTOMATIC FIRE SPRINKLER WILL BE ADDED TO ALL WORK AREAS AND NON-WORK AREAS NOTED ON PLAN.		<b>APPLICABLE CODES:</b> 2018 IBC 2018 IEBC (INTERNATIONAL EXISTING BUILDING CODE) 2018 IECC 2018 OPC 2012 IMC 2012 NFPA LSC 2012 NFPA IFC 2010 ADA	
<b>IEBC CHAPTER 6</b> CONSTRUCTION TYPE II-B IBC CHAPTER 10, OCCUPANT LOAD FACTORS (1004) BUSINESS AREAS 100 GROSS STORAGE, MECH, EQUIP 300 GROSS WAREHOUSES 500 GROSS INDUSTRIAL USE (NFPA) 300 GROSS ASSEMBLY, UNCONC. 15 NET SEE TABLE BELOW FOR BUILDING AREAS		<b>IEBC CHAPTER 3, OCC CLASS</b> B, S-1 <b>EGRESS COMPONENTS</b> IBC CHAPTER 10 / NFPA COMMON PATH OF TRAVEL EXIT ACCESS TRAVEL DEAD END MAX B 100' (MAX LOAD 48) S-1 100' (MAX LOAD 28) 250' 50' 50'	
<b>IEBC CHAPTER 5</b> OCC SEPARATIONS S-1/B 0 HR		<b>IECC SECTION 907 ENERGY CONSERVATION</b> 907.1 Minimum requirements. Level 3 alterations to existing buildings or structures are permitted without requiring the entire building or structure to comply with the energy requirements of the International Energy Conservation Code or International Residential Code. The alterations shall conform to the energy requirements of the International Energy Conservation Code or International Residential Code as they relate to new construction only. <b>IECC C503.1 ALTERATIONS</b> Alterations to any building or structure shall comply with the requirements of Section C503 and the code for new construction. Alterations shall be such that the existing building or structure is not less conforming to the provisions of this code than the existing building or structure was prior to the alteration. Alterations to an existing building, building system or portion thereof shall conform to the provisions of this code as those provisions relate to new construction without requiring the unaltered portions of the existing building or building system to comply with this code. Alterations shall not create an unsafe or hazardous condition or overload existing building systems.	

IEBC (as amended by City of Omaha):  
 Section 809.1 Minimum fixtures.

Where the occupant load of the story is increased by more than 20 percent, plumbing fixtures for the story shall be provided in quantities specified in the Plumbing Code based on the increased occupant load, or as approved by the building official.

OCCUPANT LOAD IS NOT INCREASING BY 20%.

Exception 3: Existing ceiling, wall or floor cavities exposed during construction, provided that these cavities are filled with insulation.  
 Exception 4: Construction where the existing roof, wall or floor cavity is not exposed.

Note: Work Areas 2&3 will meet prescriptive U-Values per C402.1.3 for metal buildings with new wall insulation.

IBC/IEBC	WORK AREA	AREA	CH. 3 OCCUPANCY TYPE	IEBC CLASSIFICATION OF WORK	NFPA 101	CH 43 LEVEL OF REHAB	FIRE SPRINKLER PROVIDED UNDER RENOVATION
					NO CHANGE OF OCCUPANCY PROPOSED		
	WORK AREA 1	6,400	B (BUSINESS)	ALTERATION LEVEL 3	CH 39 EXT BUSINESS OCC	RECONSTRUCTION	NO*
	WORK AREA 2	12,937	S-1	ALTERATION LEVEL 3	CH 40 INDUSTRIAL OCC (SPECIAL-PURPOSE)	RECONSTRUCTION	YES
	WORK AREA 3	10,562	S-1	ALTERATION LEVEL 3	CH 40 INDUSTRIAL OCC (SPECIAL-PURPOSE)	RECONSTRUCTION	YES
	TOTAL:	29,899					
	TOT BLDG AREA:	48,510 SF					
	*FIR IEBC 904.1.4, FIRE AREA IN WORK AREA LESS THAN TABULAR AREA. NO CORRIDOR OR EXIST SERVES A LOAD LARGER THAN 30 OCCUPANTS.						
	WORK AREAS EXCEED 50% OF TOTAL AREA. NFPA 13 SPRINKLER SYSTEM WILL BE PROVIDED THROUGHOUT WHERE NOTED ON PLAN, THIS SHEET.						

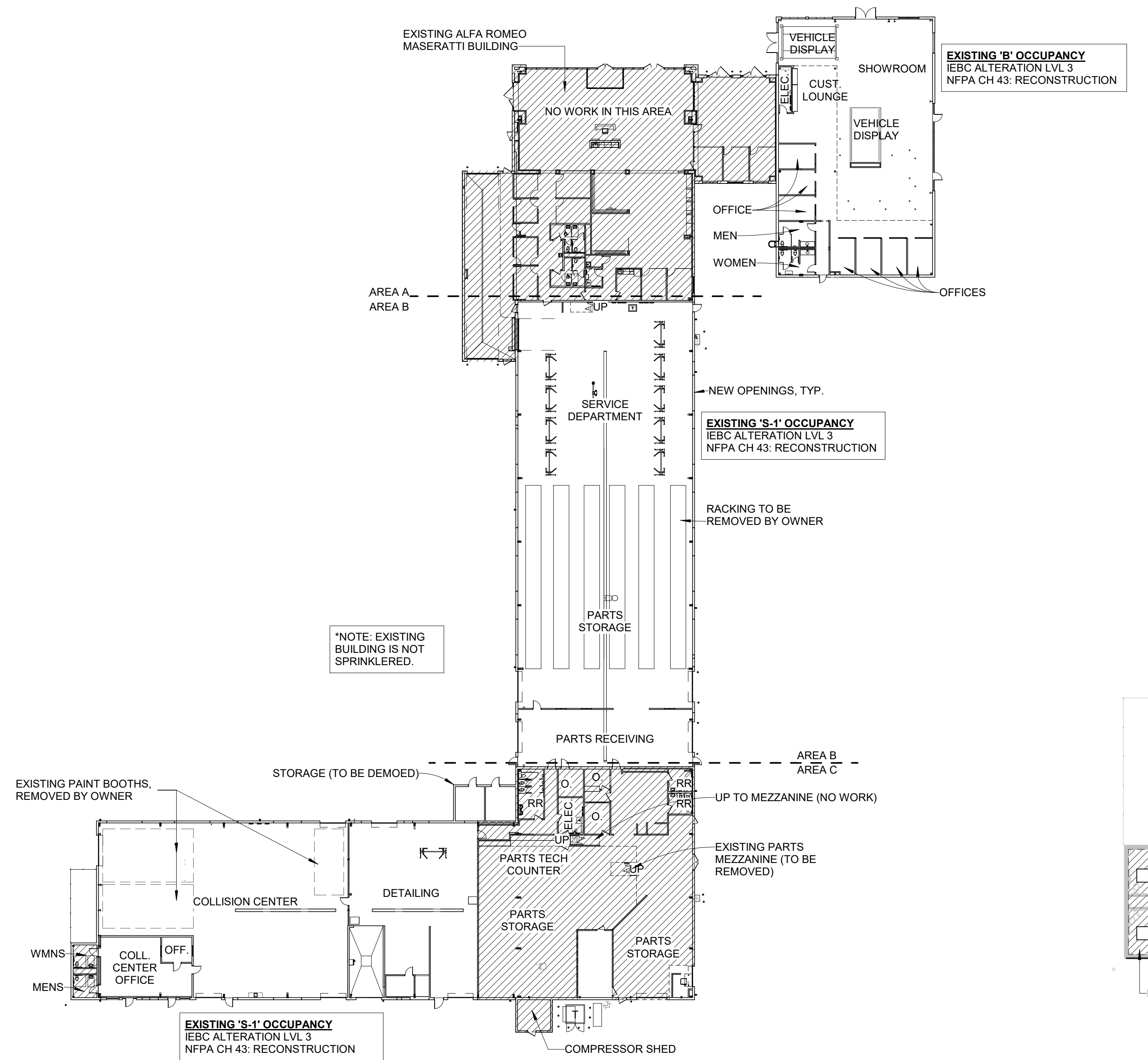
### SCOPE OF WORK SUMMARY:

#### No additions or change of occupancies

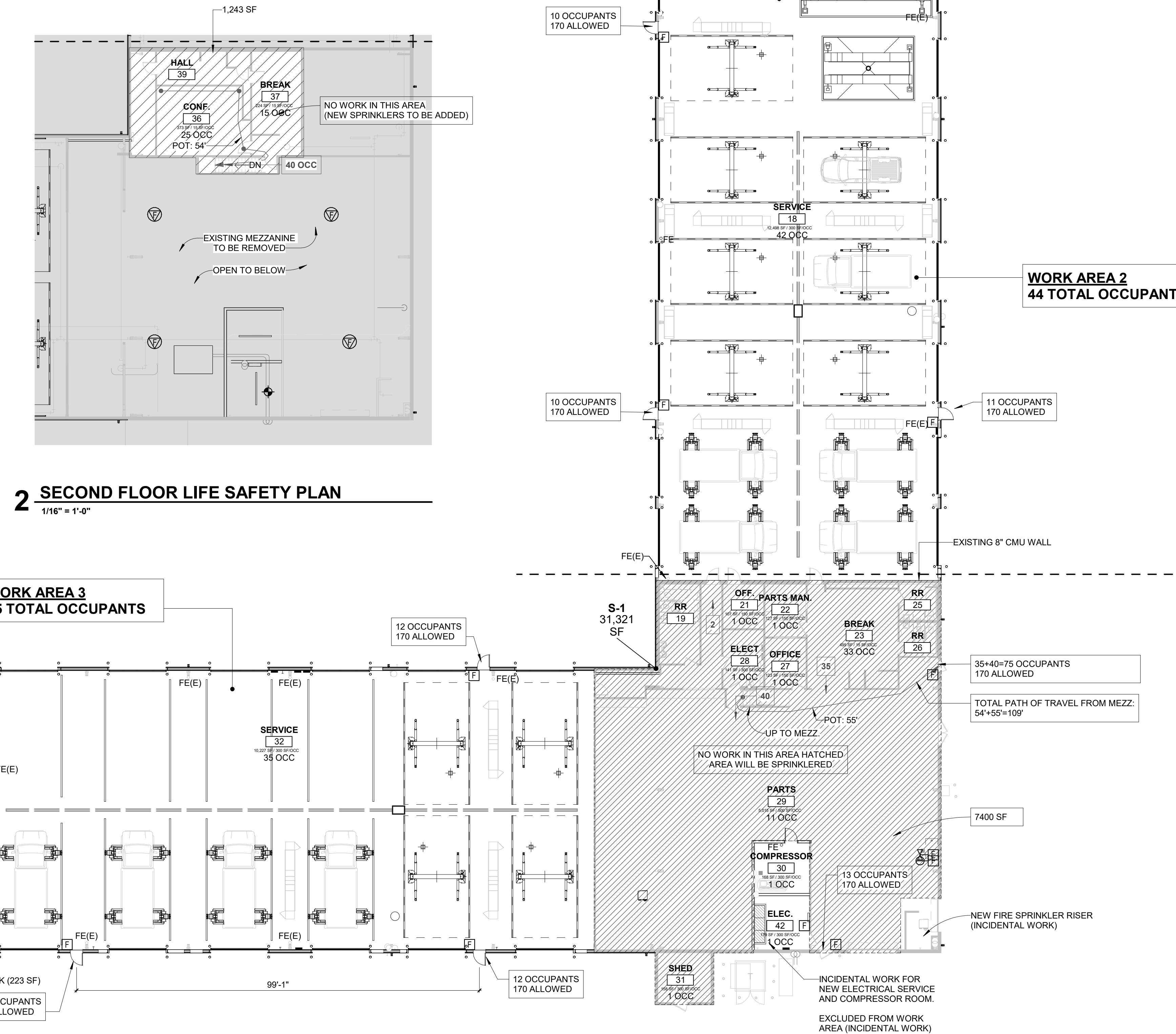
WORK AREA 1: Removal of floor finishes, some interior partitions and select ceiling finishes. New concrete slab in service drive. Removal of existing branding elements. New overhead doors for service drive, reconfiguration of offices, new finishes. New exterior metal panels to match brand standards. Reconfiguration of existing HVAC system, electrical re-work, new lighting, new trench drains in service drive with oil separator. 11 Replacement of existing plumbing fixtures for new.

WORK AREA 2&3: New NFPA 13 sprinkler system. Removal of existing interior partitions, new openings along existing metal building exterior, structural bracing for new openings and lateral system. New exterior metal panels. New roof and wall insulation. New concrete slabs. New vehicle lifts and equipment by owner, new lighting, upgraded electrical service.

AREA 'C' PARTS AREA: Incidental work and new NFPA 13 sprinkler system.

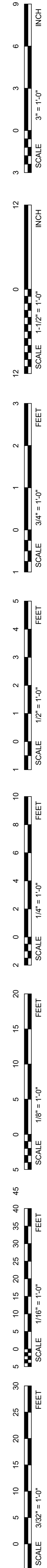


3 EXISTING FLOOR PLAN  
 1/32" = 1'-0"

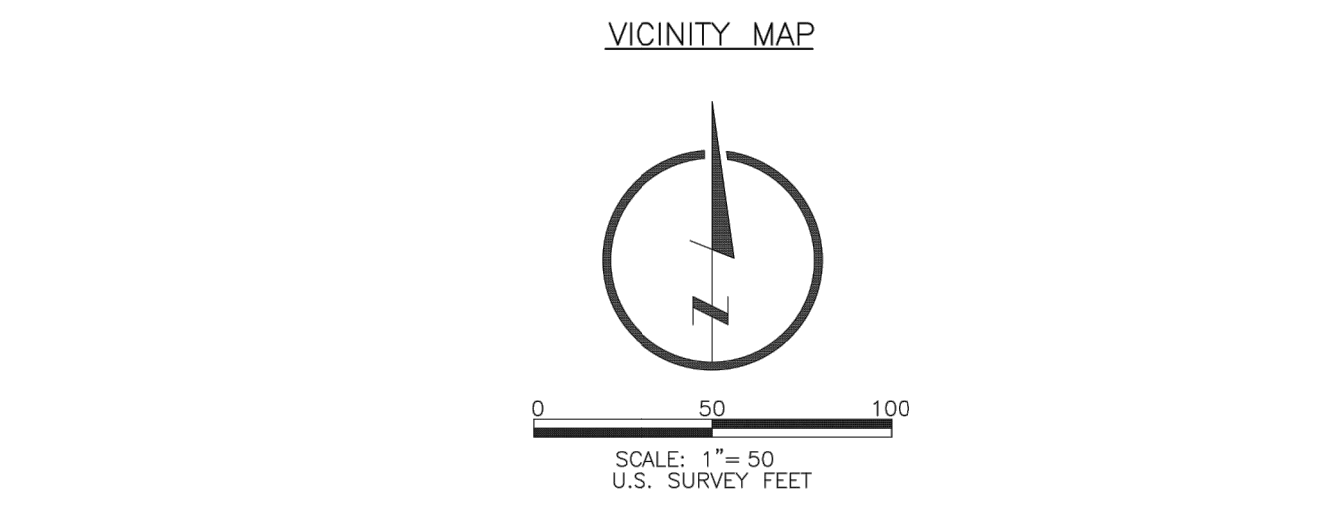
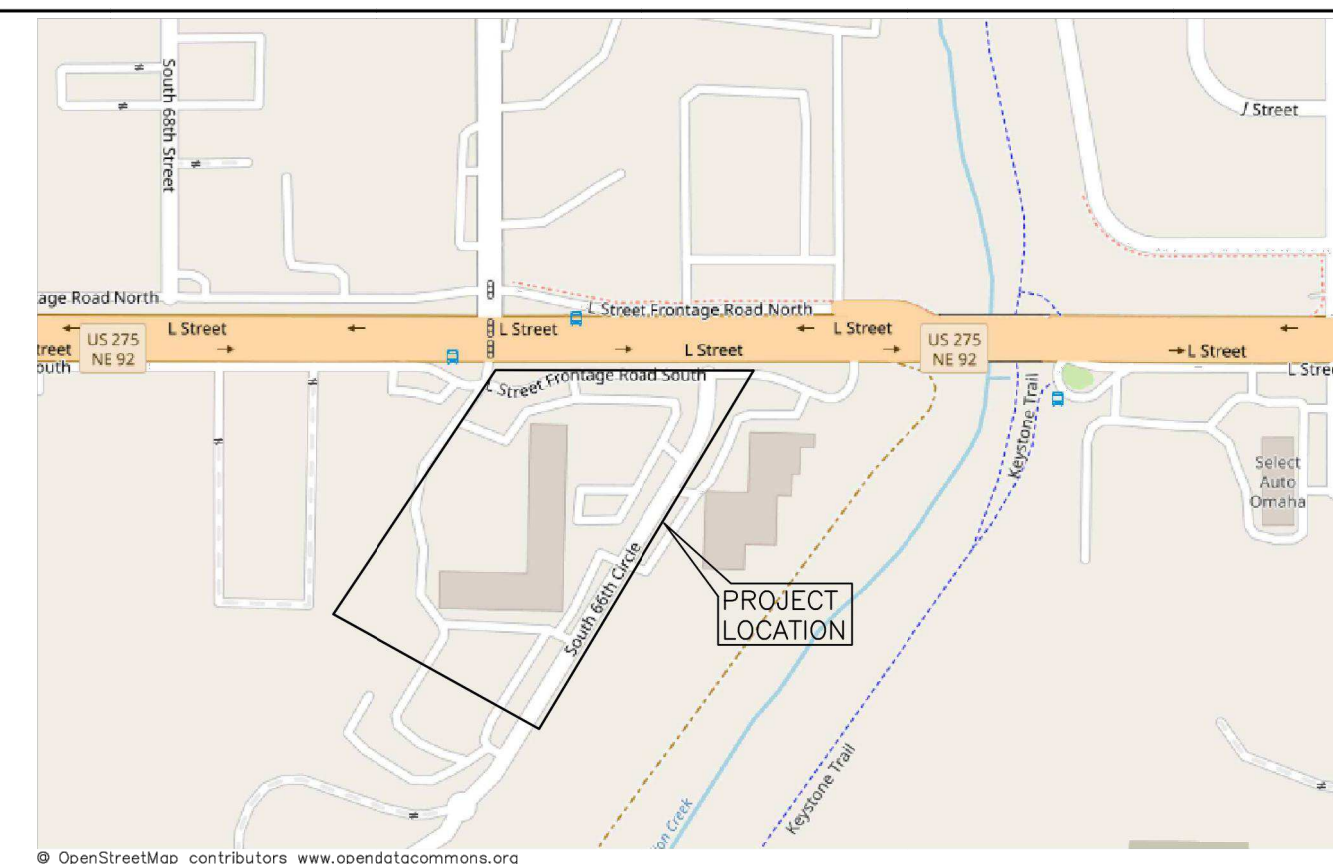
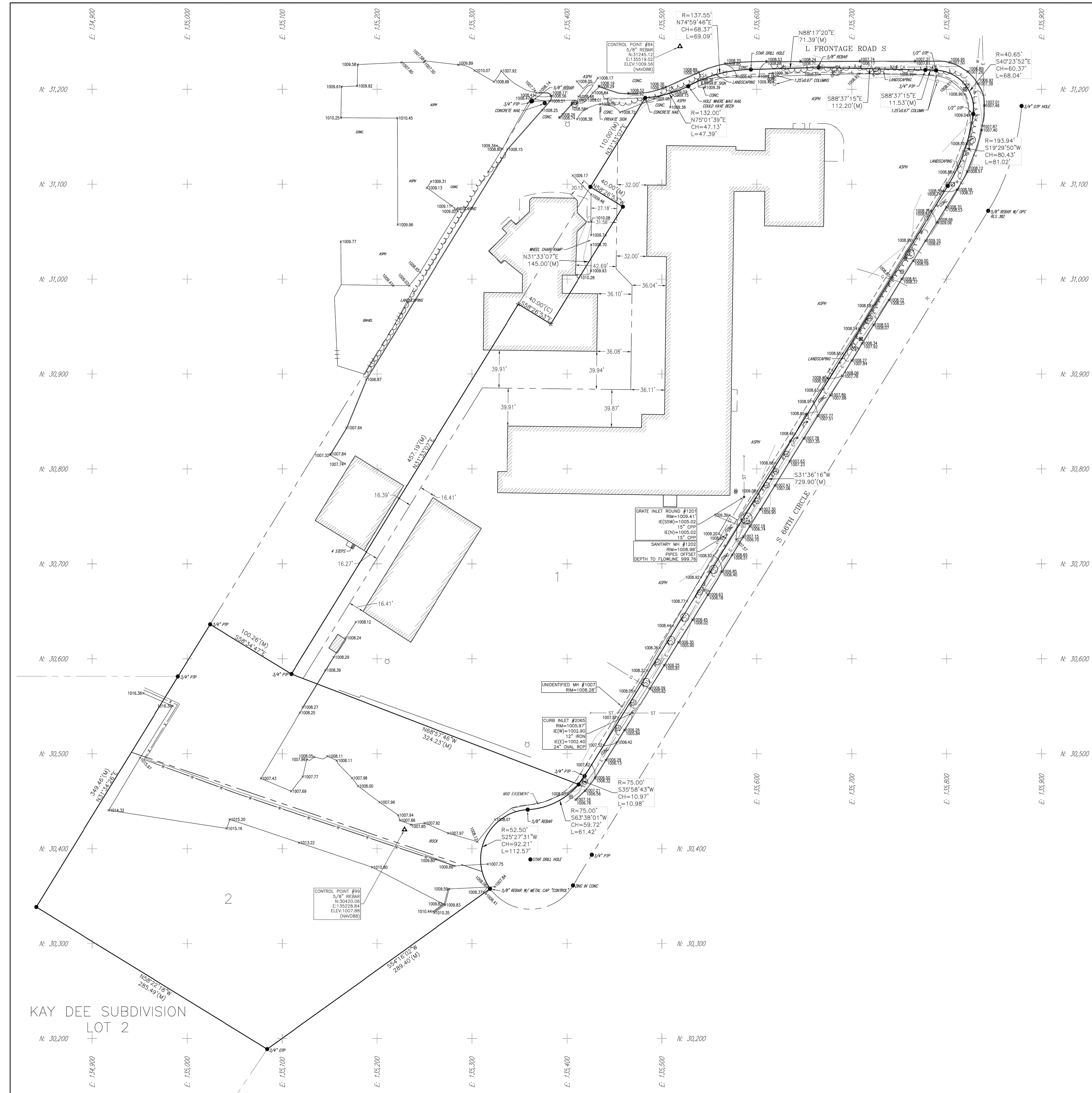


2 SECOND FLOOR LIFE SAFETY PLAN  
 1/16" = 1'-0"

1 LIFE SAFETY PLAN  
 1/16" = 1'-0"







**LEGEND**

—	PROPERTY LINE	⊠	CABLE PEDESTAL
---	LOT LINE	⊠	CABLE PULLBOX
SS	SANITARY SEWER	○	COLUMN ROUND
ST	STORM SEWER	△	CONTINUE SYMBOL
CA	CABLE	⊠	CURB INLET LEFT BOX
W	WATER	⊠	DECIDUOUS TREE
G	GAS	⊠	ELECTRIC PULLBOX
E	ELECTRIC	⊠	ELECTRIC TRANSFORMER
X	FENCE	⊠	FIRE HYDRANT
—	VEGETATION LINE	⊠	GAS VALVE
▭	BUILDING	⊠	GRATE INLET ROUND
▭	BUILDING OVERHANG	⊠	LIGHT POLE
▭	GRAVEL AND DIRT EDGE	⊠	SANITARY MANHOLE
•	COMPUTED CORNER	⊠	SIGN
•	MONUMENT FOUND	⊠	STOP SIGN
(C)	COMPUTED DIMENSION	⊠	STOP MANHOLE
(M)	MEASURED DIMENSION	⊠	TELEPHONE PEDESTAL
DTP	OPEN TOP PIPE	⊠	UNIDENTIFIED MANHOLE
PTP	PINCHED TOP PIPE	⊠	WATER CURB STOP
YPC	YELLOW PLASTIC CAP	⊠	WATER VALVE
ELEV	ELEVATION		
IE	INVERT ELEVATION		
MH	MANHOLE		
CPP	CORRUGATED PLASTIC PIPE		
RCPC	REINFORCED CONCRETE PIPE		
CONC	CONCRETE		
ASPH	ASPHALT		

**LEGAL DESCRIPTION**  
 LOT 1 AND 2 DW & R INVESTMENT REPLAT 1, SECTION 1, T14N, R12E

**CONTROL NOTE**  
 - HORIZONTAL DATUM IS BASED ON THE DOUGLAS COUNTY LOW DISTORTION COORDINATE SYSTEM.  
 - VERTICAL DATUM IS BASED ON NAVD83 (GEOID-12A).

**UTILITY NOTES**  
 1. THIS DRAWING INCLUDES OBSERVED EVIDENCE OF SERVICES AND UTILITIES EVIDENT AT THE TIME OF SURVEY, RECORD LOCATIONS PROVIDED BY THOSE COMPANIES RESPONDING TO OUR REQUEST AND THOSE MARKED BY "ONE CALL" LOCATORS. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY THE SURVEYOR FOR THE FAILURE TO SHOW ANY BURIED SERVICE AND/OR UTILITY LINES EVEN THOUGH THEY MAY EXIST. CONTACT "ONE CALL" (811) PRIOR TO ANY EXCAVATION ON THIS SITE.  
 \*\*TICKET NO. 22131916, DATED 05/31/2022

**LAND SURVEYOR'S CERTIFICATION**  
 I HEREBY CERTIFY THAT THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEBRASKA.

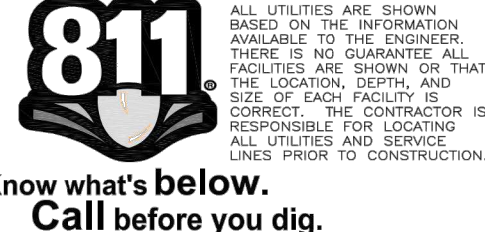
DATE OF SIGNATURE: \_\_\_\_\_

**LAMP RYNEARSON**

LAMP RYNEARSON.COM  
 OMAHA, NEBRASKA  
 14710 W DODGE RD, STE. 100 (402)496-2498  
 FORT COLLINS, COLORADO  
 4715 INNOVATION DR, STE. 100 (970)228-0342  
 KANSAS CITY, MISSOURI  
 9001 STATE LINE RD, STE. 200 (816)851-0440

TOPOGRAPHIC SURVEY

WOODHOUSE FORD  
 66TH AND L STREET



**REVISIONS**

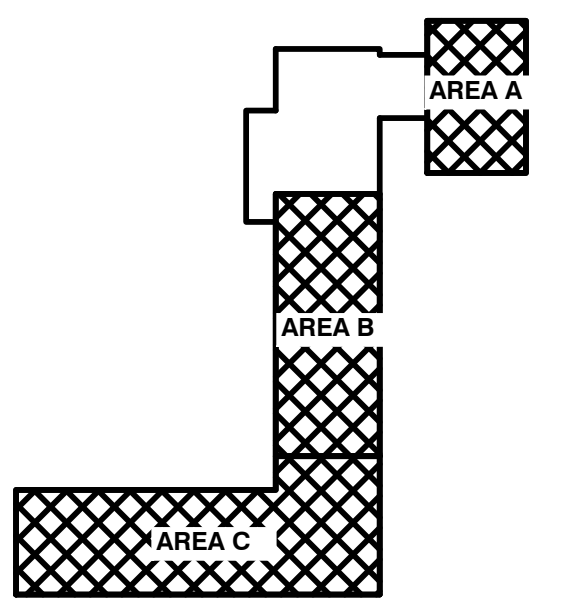
NO.	DATE	DESCRIPTION

**DESIGNER / DRAFTER**  
 WARREN R. HEADLEE / BRYSON T. KELLER  
**DATE**  
 05/05/2022  
**PROJECT NUMBER**  
 0122114-01  
**BOOK AND PAGE**  
 21-4, 64-64 & 67-68

**SHEET**  
 1 OF 1

**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION



**WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS**

PROJECT: 23043 DATE: JAN 19, 2023  
 PROJECT STATUS: 100% DRAWING SUBMITTAL



**ORIGINAL TOPOGRAPHIC SURVEY (FOR INFORMATIONAL PURPOSES ONLY)**

FOR INFORMATIONAL PURPOSES ONLY

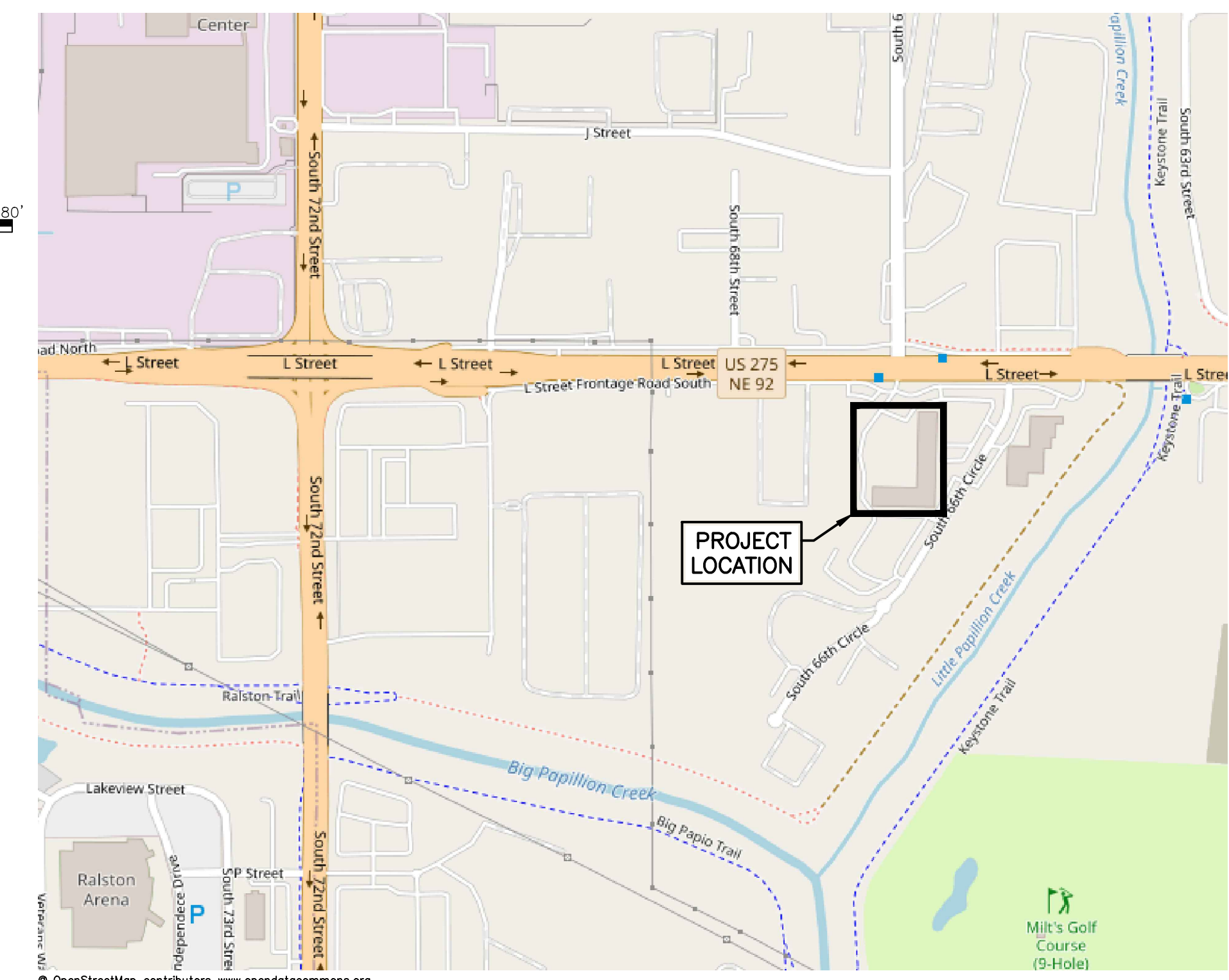
**ARCHITECT**  
 BVH ARCHITECTURE  
 901 JONES STREET  
 OMAHA NE 68102  
 V 402 345 3000  
 F 402 345 7871  
 bvh.com

**CIVIL ENGINEER**  
 LAMP RYNEARSON  
 14710 W DODGE RD #100  
 OMAHA, NE 68154  
 V 402 496 2498  
 lamprynearson.com

**STRUCTURAL ENGINEER**  
 LANGE STRUCTURAL GROUP  
 1919 S 40TH STREET, SUITE 302  
 LINCOLN NE 68506  
 V 402 421 9540  
 langestructuralgroup.com

**MEP ENGINEER**  
 MORRISSEY ENGINEERING  
 4940 N 116TH ST  
 OMAHA, NE 68164  
 V 402 491 4144  
 morrisseyengineering.com

**CONSTRUCTION MANAGER**  
 MCL CONSTRUCTION  
 14124 INDUSTRIAL RD  
 OMAHA, NE 68144  
 V 402 339 2221  
 mclconstruction.com



LOCATION MAP

**GENERAL NOTES**

- ALL SITE WORK SHALL BE IN ACCORDANCE WITH THE CITY OF OMAHA "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", 2020 EDITION AND ANY REVISIONS OR AMENDMENTS THERETO SHALL APPLY TO THIS PROJECT, EXCEPT AS MODIFIED BY THESE SPECIFICATIONS, SPECIAL CONDITIONS, AND/OR THE CONSTRUCTION DRAWINGS.
- EXISTING UTILITIES ARE SHOWN AS A CONVENIENCE FOR THE CONTRACTOR. THE LOCATIONS OF ALL AERIAL AND UNDERGROUND UTILITIES MAY NOT BE INDICATED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS BEFORE WORK IS STARTED TO VERIFY UTILITY LOCATIONS (ONE CALL 811).
- BARRICADES SHALL CONFORM TO OMAHA PUBLIC WORKS "BARRICADE STANDARDS, SPECIFICATIONS, METHODS & MATERIALS", AND/OR THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- THE CONTRACTOR SHALL PROVIDE THE ENGINEER/ARCHITECT WITH A CONSTRUCTION RECORD DRAWING INDICATING ALL CHANGES IN GEOMETRY, GRADES, ELEVATIONS OR MATERIAL ON THE PROJECT PRIOR TO FINAL ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED TO COMPLETE THIS PROJECT AND IS RESPONSIBLE FOR THE PAYMENT OF ALL FEES ASSOCIATED WITH THESE PERMITS.
- THE CONTRACTOR SHALL CONTACT THE SOILS ENGINEER TO OBSERVE THE SUBGRADE PRIOR TO PLACING PAVEMENT TO DELINEATE ANY AREAS WHERE SUBGRADE OVEREXCAVATION MAY BE REQUIRED.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATIONS OF ALL PROPOSED UTILITY CONNECTIONS WITH THE ARCHITECTURAL CONSTRUCTION DOCUMENTS.
- THE INSTALLATION OF UTILITIES MAY REQUIRE THE DISTURBANCE OF EXISTING DRAINAGE AND EROSION CONTROL MEASURES. THESE ITEMS MAY INCLUDE SILT BASINS, LEVEL TERRACES, INTERCEPT SWALES, SILT FENCE AND ROCK CONSTRUCTION ENTRANCES. THE CONTRACTOR SHALL MAKE THEMSELVES AWARE OF THE EXISTING SITE CONDITIONS PRIOR TO BRIDGING THIS WORK. THE FUNCTION OF THESE ITEMS MUST BE MAINTAINED THROUGHOUT CONSTRUCTION WITH EMPHASIS PLACED ON RESTORING THEIR INTEGRITY PRIOR TO ANY RAINFALL EVENT. AS PART OF THIS CONTRACT, ALL DISTURBED DRAINAGE AND EROSION CONTROL STRUCTURES SHALL BE RESTORED TO GOOD CONDITION AFTER COMPLETION OF THE WORK OR AS DIRECTED BY THE ENGINEER/ARCHITECT.
- SEE PLAN SHEETS FOR ADDITIONAL NOTES.

**LEGAL DESCRIPTION:**

LOT 1 AND 2 BM & R INVESTMENT REPLAT 1, SECTION 1, T14N, R12E  
 ZONING COMPLIANCE AND SITE PLAN REVIEW  
 6811 L STREET, OMAHA, NE 68117  
 APPLICANT: WOODHOUSE AUTO FAMILY - PAUL CECH  
 PHONE NUMBER: (402) 315-3002  
 USE TYPE: AUTO SALES / AUTO REPAIR SERVICES IMPROVEMENT SITE PLAN  
 ZONING: GI (SEE SECTION 55-501)

**SITE REGULATORS (SEE SECTION 55-501):**

	ALLOWED	PROPOSED	COMMENTS
A. SITE AREA	10,000 SF MIN.	230,868 SF	
B. MINIMUM WIDTH	100 FEET	280.76 FEET	
C. GROSS FLOOR AREA (TOTAL FINISHED)	-	47,020 SF	
D. FAR (C/A)	2.0 MAX	0.20	
E. SETBACK			
FRONT YARD	50' FROM THE CENTER LINE OF THE FRONTING STREET	81.79'	
STREET SIDE YARD	LESSER OF 10' OR SOFT FROM THE CENTER LINE OF THE FRONTING STREET.	52.21'	
INTERIOR SIDE YARD	N/A	N/A	
REAR YARD	15' MINIMUM ON LOTS WITHOUT ALLEY FRONTAGE	265.00'	
F. HEIGHT	120' MAX, 45' MAX WHERE BUILDING IS WITHIN 100' OF AN R6 OR LOWER INTENSITY DISTRICT.	120' MAX	
G. BUILDING COVER (%)	90% MAX	20%	
H. IMPERVIOUS COVER (%)	90% MAX	90%	NO ADDITIONAL IMPERVIOUS AREA IS PROPOSED IN THE SCOPE OF THIS PROJECT.
I. PARKING REQUIREMENTS	(AUTO SALES REQUIREMENTS) 1 SPACE PER 2,000 SQUARE FEET = 47,020 SF / 2,000 SF = 24 STALLS (AUTO REPAIR SERVICES REQUIREMENTS) 4 SPACES PER REPAIR STALL = 4 x 20 = 80 STALLS. TOTAL = 104 STALLS	210 SPACES	EXISTING PARKING STALLS.
(SEE SECTION 55-734)			
J. ACCESSIBLE PARKING	7 SPACE	7 SPACES	EXISTING PARKING STALLS.

**BUFFERYARD (SEE SECTION 55-716):**

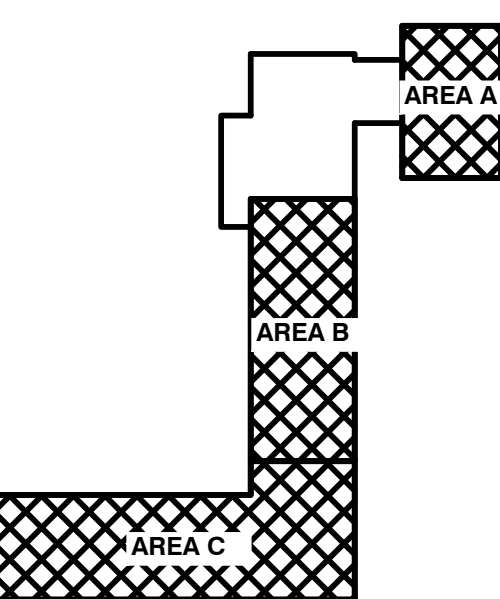
ADJACENT ZONING: GI NORTH, GI SOUTH, GI EAST AND GI WEST  
 K. LANDSCAPED BUFFER YARD N/A

**PARKING LANDSCAPE REQUIREMENTS (SEE SECTION 55-740):**

L. STREET SIDE YARD	10'	N/A	NO MODIFICATIONS ARE PROPOSED FOR THE PARKING LOT. SCOPE OF WORK ENTAILS BUILDING RENOVATIONS.
M. INTERIOR SIDE YARD	5'	N/A	NO MODIFICATIONS ARE PROPOSED FOR THE PARKING LOT. SCOPE OF WORK ENTAILS BUILDING RENOVATIONS.
N. INTERIOR LANDSCAPING (%)	N/A	N/A	NO MODIFICATIONS ARE PROPOSED FOR THE PARKING LOT. SCOPE OF WORK ENTAILS BUILDING RENOVATIONS.
(% OF PAVED AREA)			

**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION



**WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS**

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 PROJECT STATUS: 100% DRAWING SUBMITTAL



**ZONING COMPLIANCE PLAN**

NORTH  
  
**C1.0**



NOTE: THE PROJECT WILL NEED A FLOODPLAIN DEVELOPMENT PERMIT. NOTE THAT IMPROVEMENTS OVER 50% OF THE VALUE OF THE STRUCTURE WOULD RESULT IN THE STRUCTURE NEEDING TO BE BROUGHT UP TO FLOODPLAIN STANDARDS.

**LAMP RYNEARSON**  
 CIVIL ENGINEER  
 14710 W DODGE RD #100  
 OMAHA, NE 68154  
 V 402 496 2498  
 lamprynearson.com

**CONTRACTOR / CHAPTER**  
 CIVIL ENGINEER  
 CALLED DANIEL VAN WEELDEN  
 PROJECT NUMBER: 23043-000  
 DATE: 01-19-2024

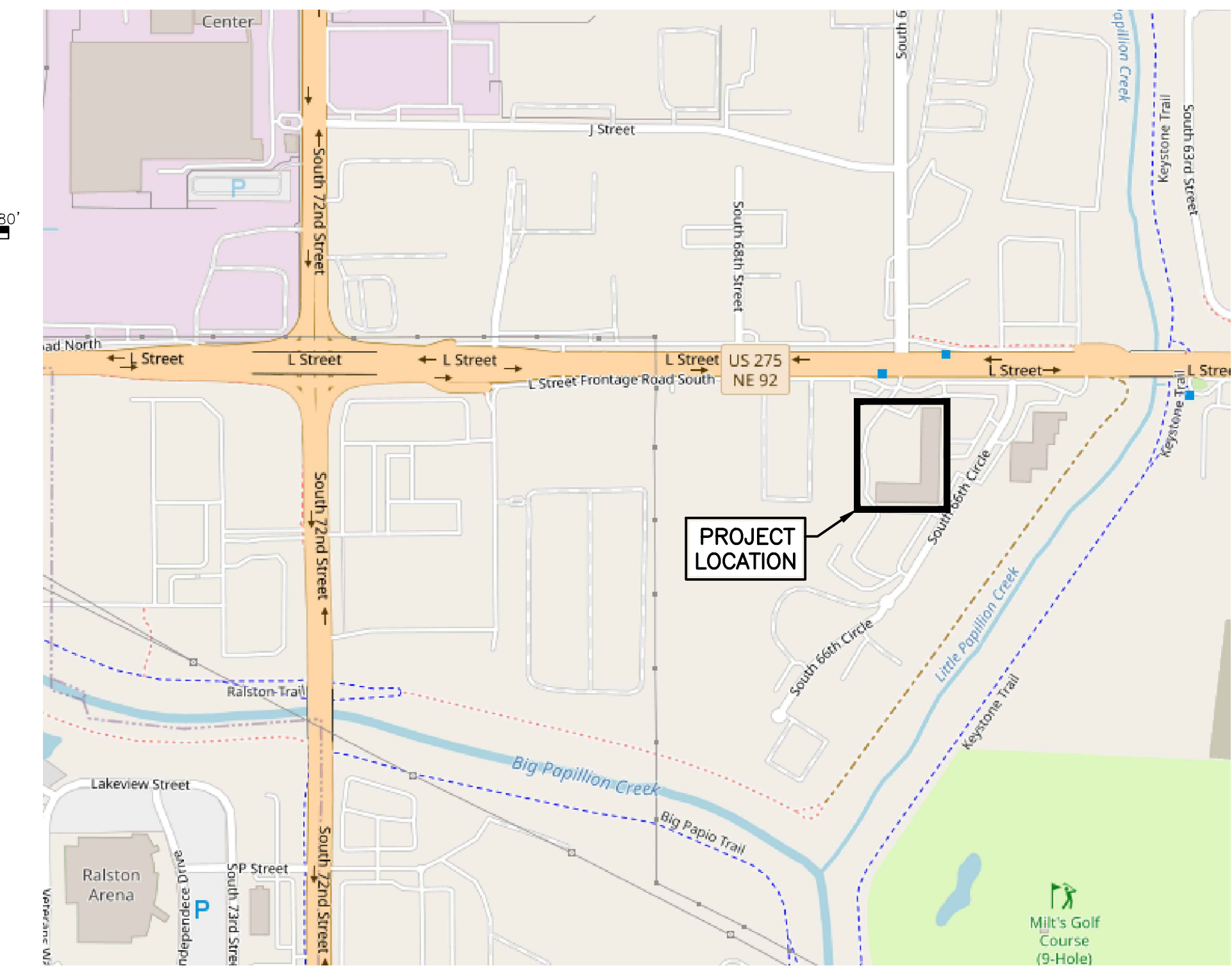
**ARCHITECT**  
 BVH ARCHITECTURE  
 901 JONES STREET  
 OMAHA NE 68102  
 V 402 345 3000  
 F 402 345 7871  
 bvh.com

**CIVIL ENGINEER**  
 LAMP RYNEARSON  
 14710 W DODGE RD #100  
 OMAHA, NE 68154  
 V 402 496 2498  
 lamprynearson.com

**STRUCTURAL ENGINEER**  
 LANGE STRUCTURAL GROUP  
 1919 S 40TH STREET, SUITE 302  
 LINCOLN NE 68506  
 V 402 421 9540  
 langestructuralgroup.com

**MEP ENGINEER**  
 MORRISSEY ENGINEERING  
 4940 N 116TH ST  
 OMAHA, NE 68164  
 V 402 491 4144  
 morrisseyengineering.com

**CONSTRUCTION MANAGER**  
 MCL CONSTRUCTION  
 14124 INDUSTRIAL RD  
 OMAHA, NE 68144  
 V 402 339 2221  
 mclconstruction.com



LOCATION MAP

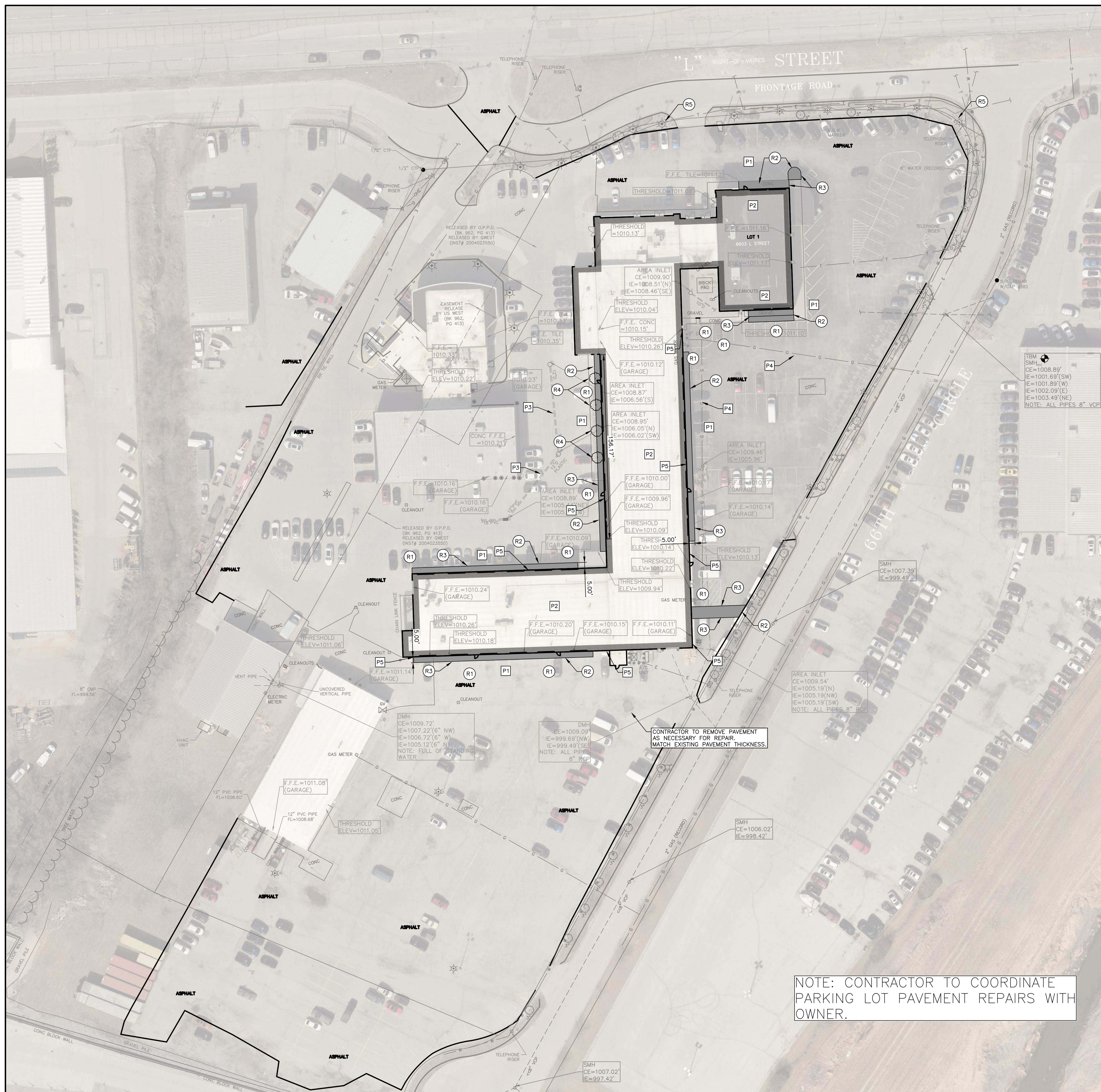
**REMOVAL NOTES**

1. THE CONTRACTOR SHALL NOTIFY THE OWNER 72 HOURS IN ADVANCE IF EXISTING UTILITIES CONFLICT WITH NEW CONSTRUCTION OR IF TEMPORARY OUTAGES ARE ANTICIPATED, INCLUDING BUT NOT LIMITED TO WATER, GAS, POWER, CABLE TELEVISION AND TELEPHONE.
2. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES TO UTILITIES THAT ARE PERMITTED TO REMAIN IN PLACE. DAMAGES DUE DIRECTLY OR INDIRECTLY TO THE CONTRACTOR'S OPERATIONS SHALL BE PROMPTLY REPAIRED TO THE SATISFACTION OF THE ENGINEER/ARCHITECT AND THE OWNER OF THE PROPERTY, OR SHALL MAKE PAYMENT TO SUCH OWNERS FOR REPAIRS AS MAY BECOME NECESSARY ON ACCOUNT OF DAMAGES THAT ARE DUE TO HIS OPERATIONS.
3. THE CONTRACTOR SHALL MAKE THEMSELVES AWARE OF ALL OF THE PERMANENT AND TEMPORARY UTILITY APPURTENANCES IN THEIR PRESENT AND/OR RELOCATED POSITIONS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ANY DELAYS, INCONVENIENCE, OR DAMAGE SUSTAINED DUE TO INTERFERENCE FROM THE SAID UTILITY APPURTENANCES OR THE OPERATION OF DISCONNECTING THEM, INCLUDING THE POSSIBILITY OF UNCOVERING UTILITIES THAT HAVE BEEN ABANDONED AND/OR ARE NOT INDICATED.
4. ALL DEMOLITION RUBBISH WILL BE REMOVED FROM THE SITE BY A LICENSED TRUCKING FIRM, IN COVERED TRUCKS, AND TAKEN TO A LICENSED LANDFILL. ALL THIS WILL BE PAID FOR BY THE CONTRACTOR AND WILL BE PART OF THE CONTRACTOR'S BASE BID.
5. COORDINATION WITH FIRE DEPARTMENTS AND UTILITY COMPANIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. NO BURNING OF MATERIALS WILL BE PERMITTED.
7. THE OWNER SHALL BE GIVEN 5 BUSINESS DAYS NOTICE BEFORE ANY ENTRANCE OR ACCESS DRIVE CLOSURES.
8. THE LIMITS OF DEMOLITION SHOWN ON THE DRAWINGS ARE APPROXIMATE. THE EXACT LIMITS WILL BE MARKED IN THE FIELD BY THE ENGINEER/ARCHITECT.
9. CONTRACTOR SHALL FIRST COORDINATE REMOVAL OF ANY EXISTING UTILITY WITH UTILITY OWNER (GAS, WATER, POWER, ETC.). ALL TELEPHONES, WATER, ELECTRIC AND GAS METERS, AND ASSOCIATED EQUIPMENT SHALL REMAIN THE PROPERTY OF THE VARIOUS UTILITY COMPANIES.
10. EXISTING PAVEMENT SHALL BE SAW-CUT AT LOCATIONS INDICATED AS REQUIRED FOR PAVEMENT REMOVAL. THE SAW-CUT SHALL BE MADE TO THE FULL DEPTH OF THE PAVEMENT.
11. WHERE INDICATED THE EXISTING PAVEMENT SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF THE PROJECT SITE. CONTRACTOR SHALL NOT USE A HEAVY BALL FOR BREAKING UP OF EXISTING PAVEMENT OVER PUBLIC WATER AND GAS MAINS.
12. TRENCH AND BASEMENT BACKFILL AND ANY SUBGRADE SOILS DISTURBED BY THE PAVEMENT REMOVAL PROCESS SHALL BE RECOMPACTED AS SPECIFIED IN THE COMPACTION REQUIREMENTS TABLE OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
13. ALL BUILDINGS TO BE DEMOLISHED SHALL HAVE ALL UTILITIES DISCONNECTED INCLUDING GAS, WATER, POWER, SANITARY SEWER, STORM SEWER, TELEPHONES, AND CABLE TELEVISION.
14. ASBESTOS ABATEMENT OF ALL ASBESTOS CONTAINING MATERIALS SHALL BE COMPLETED AS REQUIRED PER REGULATORY AGENCIES.
15. BUILDINGS SHALL BE DEMOLISHED INCLUDING THE BASEMENT OR SLAB FOUNDATION AND ALL DEBRIS HAULED OFF-SITE AND DISPOSED, COMPLETELY FILL BELOW-GRADE AREAS AND VOID RESULTING FROM DEMOLITION OF BUILDINGS WITH SOIL MATERIALS ACCORDING TO THE REQUIREMENTS IN THE COMPACTION TABLE OR TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

**UTILITY CONTACTS**

SANITARY SEWER:	CITY OF OMAHA SEWER MAINTENANCE	402-444-5220
POWER:	OPPD	
	NATE GASKILL	531-226-5835 (OFFICE) 402-990-1801 (CELL)
	JEREMY CASON	531-226-5846 (OFFICE) 712-301-4228 (CELL)
TELEPHONE:	CENTURY LINK BUSINESS MARKETS GROUP	800-777-9594
CABLE TV:	COX BUSINESS SERVICES	402-934-6000
	CONTRACTOR SERVICES MUD	402-504-7014
WATER:	CONTRACTOR SERVICES MUD	402-504-7014
	CONTRACTOR SERVICES MUD	402-504-7014

NOTE: CONTRACTOR TO COORDINATE PARKING LOT PAVEMENT REPAIRS WITH OWNER.



**REMOVAL KEYNOTES**

- R1. REMOVE STRIPING & CURB STOPS ADJACENT TO BUILDING.
- R2. REMOVE PAVEMENT/GRAVEL.
- R3. SAW-CUT PAVEMENT FULL-DEPTH.
- R4. REMOVE TREE.
- R5. CONTRACTOR TO COORDINATE REMOVAL OF MAZDA SIGNAGE WITH OWNER.

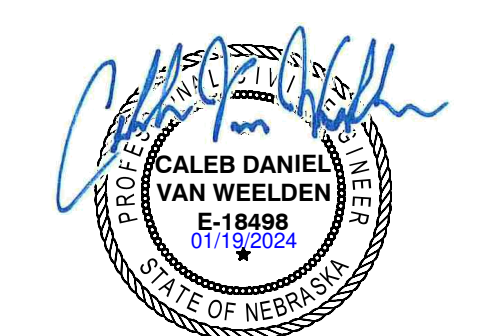
**PROTECT KEYNOTES**

- P1. PROTECT EXISTING PAVEMENT.
- P2. PROTECT BUILDING.
- P3. PROTECT STORM SEWER.
- P4. PROTECT GAS LINE.
- P5. PROTECT EXISTING DOWNSPOUTS (TYP)



**WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS**

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**REMOVAL PLAN**

**NOTE:**  
 SEE THIS SHEET FOR EROSION CONTROL MEASURES TO BE INSTALLED. THESE ARE PROPOSED LOCATIONS. IF THE CONTRACTOR WISHES TO USE ALTERNATE LOCATIONS IT MUST BE APPROVED BY THE ENGINEER.

**GRADING AND EROSION CONTROL NOTES**

- IN CONSTRUCTION OF CONTROLLED FILLS, ALL SOILS SHALL BE COMPACTED AS INDICATED ON THE COMPACTION REQUIREMENTS TABLE (SEE THIS SHEET). MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D 698 (STANDARD PROCTOR).
- NO TREES SHALL BE REMOVED WITHOUT APPROVAL OF THE ENGINEER.
- ALL OPERATORS/CONTRACTORS MUST COMPLY WITH ALL NOISE AND DUST CONTROL ORDINANCES OF APPLICABLE GOVERNMENT AGENCIES.
- ALL OPERATORS/CONTRACTORS MUST LOCATE ALL EXISTING UTILITY PRIOR TO THE START OF WORK (ONE CALL 344-3565).
- CONTRACTOR SHALL INSTALL AND MAINTAIN A STABILIZED CONSTRUCTION ENTRANCE. CONTRACTOR SHALL REMOVE ROCK ACCESS AND SEED AFFECTED AREAS AFTER COMPLETION OF PROJECT AND WITH APPROVAL FROM ENGINEER.
- CONTRACTOR SHALL INSTALL AND MAINTAIN A SANITARY WASTE RECEPTACLE AS NEEDED OR REQUIRED PER SECTION 9.6.2, OMAHA REGIONAL STORMWATER DRAINAGE MANUAL.
- AS REQUIRED, THE CONTRACTOR SHALL IMPLEMENT STREET CLEANING/SWEEPING PRACTICES PER SECTION 9.6.5, OMAHA REGIONAL STORMWATER DRAINAGE MANUAL. THE CONTRACTORS/OPERATORS MUST ENSURE SEDIMENT THAT HAS BEEN ACCIDENTALLY TRANSPORTED ONTO PUBLIC STREETS IS REMOVED AS NEEDED, AT THE END OF EACH WORKING DAY, AND PRIOR TO ALL RAIN EVENTS. SEDIMENT SHALL BE SHOVELLED AND/OR SWEEP FROM THE STREET AND DISPOSED OF IN A MANNER THAT PREVENTS STORMWATER CONTAMINATION.
- AS NECESSARY, CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES PER SECTION 9.5.16, OMAHA REGIONAL STORMWATER DESIGN MANUAL. FOR DUST CONTROL, THE CONTRACTORS/OPERATORS MUST USE ANY OF THE FOLLOWING MEASURES OR A COMBINATION IF NECESSARY: ESTABLISHING TEMPORARY SEEDING, PERMANENT SEEDING, AND/OR MULCH IN AREAS SUBJECT TO LITTLE OR NO CONSTRUCTION TRAFFIC; IRRIGATING STRIPPED AREAS AND/OR HAUL ROADS, REDUCING VEHICULAR SPEED ON HAUL ROADS.
- CONTRACTOR SHALL INSTALL AND MAINTAIN A CONCRETE WASHOUT PIT AS NEEDED OR REQUIRED PER SECTION 9.6.8, OMAHA REGIONAL STORMWATER DRAINAGE MANUAL.
- CONTRACTOR SHALL SEED AND MAT ALL DISTURBED AREAS.

**COMPACTION REQUIREMENTS TABLE**

**TABLE 200.01**  
 (FROM THE CITY OF OMAHA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 2020)

DESCRIPTION	LOCATION (TYPICAL)	DEPTH BELOW PAVEMENT OR FINISHED GRADE	MINIMUM COMPACTION REQUIREMENT	ACCEPTABLE MOISTURE RANGE
SUBGRADE PREPARATION	UNDER AND WITHIN 3' OF EDGE OF BIDD PAVEMENT; UNDER DRIVEWAYS, MULTI-USE TRAILS, SIDEWALKS*	BOTTOM OF PAVEMENT TO 1' BELOW PAVEMENT	90% OF MAXIMUM DRY DENSITY (ASTM D1557)	3% BELOW TO 4% ABOVE OPTIMUM MOISTURE CONTENT (TYPICAL)
SUBGRADE PREPARATION	UNDER AND WITHIN 3' OF EDGE OF FLEXIBLE PAVEMENT; UNDER MULTI-USE TRAILS	BOTTOM OF PAVEMENT TO 1' BELOW PAVEMENT	92% OF MAXIMUM DRY DENSITY (MOD) (ASTM D1557)	3% BELOW TO 4% ABOVE OPTIMUM MOISTURE CONTENT (TYPICAL)
SHOULDER PREPARATION	BACK OF CURBS; ADJACENT TO FINISHED DRIVEWAYS, MULTI-USE TRAILS, SIDEWALKS	TOP OF FINISHED GRADE TO TOP OF PREPARED SUBGRADE	92% OF MAXIMUM DRY DENSITY (STD) (ASTM D698)	3% BELOW TO 4% ABOVE OPTIMUM MOISTURE CONTENT (TYPICAL)
BACKFILL	TRENCHES, STRUCTURES, VOIDS FROM REMOVAL OF OBJECTS	1' TO 5' BELOW PAVEMENT (ALL LOCATIONS, ALL EXCAVATION WIDTHS)	95% OF MAXIMUM DRY DENSITY (STD) (ASTM D698)	3% BELOW TO 4% ABOVE OPTIMUM MOISTURE CONTENT (TYPICAL)
BACKFILL	TRENCHES, STRUCTURES, VOIDS FROM REMOVAL OF OBJECTS	GREATER THAN 5' BELOW PAVEMENT (ALL LOCATIONS)**	92% OF MAXIMUM DRY DENSITY (STD) (ASTM D698)	3% BELOW TO 6% ABOVE OPTIMUM MOISTURE CONTENT (TYPICAL)
EMBANKMENT	FILL AREAS, SLOPES, AREAS BEYOND PAVEMENT	GREATER THAN 1' (ALL LOCATIONS)	95% OF MAXIMUM DRY DENSITY (STD) (ASTM D698)	3% BELOW TO 4% ABOVE OPTIMUM MOISTURE CONTENT (TYPICAL)
EMBANKMENT, FINE GRADING	FILL AREAS, SLOPES, AREAS BEYOND PAVEMENT	LESS THAN 1' (ALL LOCATIONS)	92% OF MAXIMUM DRY DENSITY (STD) (ASTM D698)	3% BELOW TO 4% ABOVE OPTIMUM MOISTURE CONTENT (TYPICAL)

\*ALL SIDEWALK THICKNESS REQUIRE 6" SUBGRADE PREPARATION  
 \*\*EXCAVATIONS AND TRENCHES WIDER THAN 6' REQUIRE 95% OF MAXIMUM DRY DENSITY (STD) (ASTM D698) (-3% TO +4% MOISTURE CONTENT)

**ELEVATION NOTES**

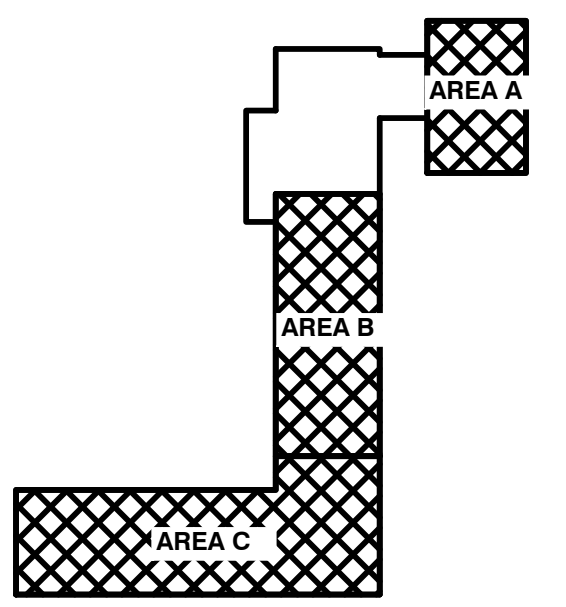
- PROPOSED CONTOURS ARE FINISHED GRADE/TOP OF PAVEMENT ELEVATIONS. NOT SUBGRADE ELEVATIONS.
- ALL SPOT ELEVATIONS IN PAVEMENT ARE TOP OF SLAB UNLESS NOTED OTHERWISE.

**EROSION CONTROL SUMMARY TABLE**

TOTAL AREA OF SITE	5.30 AC.
DISTURBED AREA	0.08 AC.
EROSION CONTROL MEASURES:	INLET PROTECTION

**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION

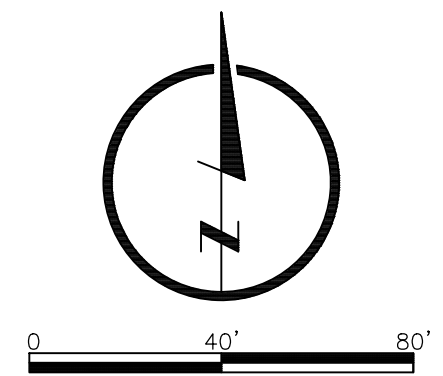


**WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS**

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 PROJECT STATUS: 100% DRAWING SUBMITTAL



**GRADING PLAN**



**GRADING AND EROSION CONTROL KEYNOTES**

- PREPARE GRADING FOR 7" PAVEMENT. CONTRACTOR SHALL ENSURE DOOR F.F.E. IS MAINTAINED AND PAVEMENT SLOPE DOES NOT EXCEED 5.00%.
- CONTRACTOR SHALL INSTALL AND MAINTAIN INLET PROTECTION PER STANDARD SPECIFICATION 9.5.5 OMAHA REGIONAL STORMWATER DRAINAGE MANUAL (DURING ALL PHASES OF CONSTRUCTION)
- AS REQUIRED, THE CONTRACTOR SHALL IMPLEMENT STREET CLEANING/SWEEPING PRACTICES PER STANDARD SPECIFICATIONS 9.6.5., OMAHA REGIONAL STORMWATER DRAINAGE MANUAL.
- CONTRACTOR SHALL INSTALL AND MAINTAIN A STABILIZED VEHICLE AND EQUIPMENT PARKING AREA.
- CONTRACTOR SHALL INSTALL AND MAINTAIN A SANITARY WASTE RECEPTACLE AS NEEDED OR REQUIRED PER STANDARD SPECIFICATION 9.6.2, ORSDM.
- CONTRACTOR SHALL INSTALL AND MAINTAIN A DESIGNATED VEHICLE AND EQUIPMENT FUELING AREA AS NEEDED OR REQUIRED PER STANDARD SPECIFICATION 9.6.6, ORSDM.
- CONTRACTOR SHALL INSTALL AND MAINTAIN A DESIGNATED MATERIAL DELIVERY AND STORAGE AREA AS NEEDED OR REQUIRED PER STANDARD SPECIFICATION 9.6.4, ORSDM. ALTERNATIVE LOCATION MUST BE APPROVED BY THE ENGINEER.
- AS NECESSARY, CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES PER STANDARD SPECIFICATION 9.5.16, ORSDM.
- CONTRACTOR SHALL INSTALL AND MAINTAIN A CONCRETE WASHOUT PIT AS NEEDED OR REQUIRED.
- CONTRACTOR SHALL INSTALL AND MAINTAIN A DESIGNATED SOLID WASTE RECEPTACLE PER STANDARD SPECIFICATION 9.6.3, ORSDM.

### PORTLAND CEMENT CONCRETE (PCC) PAVING NOTES -- PRIVATE

- ALL PAVING ELEVATIONS ARE AT TOP OF SLAB UNLESS NOTED OTHERWISE.
- CURBS SHALL BE TYPE "A" IN ACCORDANCE WITH CITY OF OMAHA STANDARD PLATE 502-01 UNLESS NOTED OTHERWISE. PAVEMENT SUBGRADE TO A DEPTH OF 12 INCHES AND TO A WIDTH OF 4 FEET OUTSIDE PAVEMENT EDGES SHALL BE COMPACTED AS SPECIFIED IN THE COMPACTION REQUIREMENTS TABLE (SEE THIS SHEET).
- BACKFILL BEHIND CURBS SHALL BE COMPACTED TO A MINIMUM IN-PLACE DENSITY OF 90% OF "MAXIMUM DENSITY" AS DETERMINED IN ACCORDANCE WITH ASTM D 1557 (90% MODIFIED PROCTOR).
- THE CONTRACTOR SHALL CONTACT THE SOILS ENGINEER TO OBSERVE THE SUBGRADE PRIOR TO PLACING PAVEMENT TO DELINEATE ANY AREAS WHERE SUBGRADE OVEREXCAVATION MAY BE REQUIRED.
- DROP CURB FOR FUTURE WHEELCHAIR RAMPS, SHALL BE CONSTRUCTED AT ALL PAVING RETURNS AND HANDICAP ACCESS POINTS. SEE CITY OF OMAHA STANDARD PLATE 504-01 FOR DETAILS.
- THE CONTRACTOR IS REFERRED TO THE FOLLOWING CITY OF OMAHA STANDARD PLATES:  
 501-01 CONCRETE PAVEMENT JOINTS  
 502-01 CONCRETE CURBS  
 503-04 CONCRETE MEDIANS
- CONCRETE SHALL BE IN ACCORDANCE WITH CITY OF OMAHA STANDARD SPECIFICATIONS FOR ROW CONSTRUCTION, SECTION 500. UNLESS OTHERWISE NOTED, ALL CONCRETE SHALL BE L65 AIR-ENTRAINED.
- CONCRETE PAVEMENT SHALL BE CURED USING A LIQUID-MEMBRANE FORMING COMPOUND AT THE CONCENTRATIONS AND APPLICATION RATES RECOMMENDED BY THE MANUFACTURER.
- WATER-REDUCING ADMIXTURE SHALL BE ADDED TO ALL HAND-PLACED AND FINISHED CONCRETE.
- JOINT PATTERNS  
 A. THE MAXIMUM PANEL DIMENSION IN FEET IS EQUAL TO THE LESSER OF TWICE THE PAVEMENT THICKNESS IN INCHES OR FIFTEEN FEET.  
 B. THE RATIO OF PANEL LENGTH TO WIDTH SHOULD NOT EXCEED 1.25:1.  
 C. THE OUTER PARKING LOT JOINT SHALL BE REINFORCED TO FORM A RING.  
 D. THE CONTRACTOR SHALL SUBMIT JOINT PATTERN SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO PAVING.

### SIDEWALK NOTES -- PRIVATE

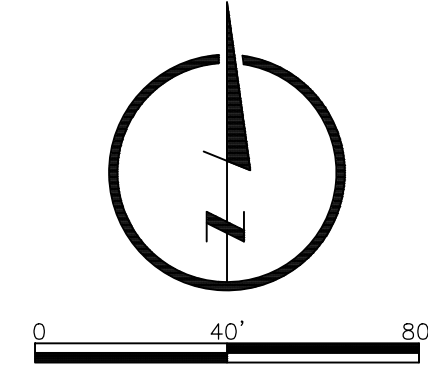
- SIDEWALK SUBGRADE TO A DEPTH OF 6 INCHES AND TO A WIDTH OF 6 INCHES OUTSIDE OF SIDEWALK EDGES SHALL BE COMPACTED AS SPECIFIED IN THE COMPACTION REQUIREMENTS TABLE. (SEE SHEET C3.0)
- BACKFILL SHALL BE COMPACTED AS SPECIFIED IN THE COMPACTION REQUIREMENTS TABLE. (SEE SHEET C3.0)
- THE CONTRACTOR IS REFERRED TO THE FOLLOWING CITY OF OMAHA STANDARD PLATES:  
 503-01 SIDEWALK CONSTRUCTION
- THE CITY OF OMAHA HAS APPROVED THE FOLLOWING DETECTABLE WARNING PANELS.  
 ALL DETECTABLE WARNING PANELS LOCATED WITHIN PUBLIC RIGHT-OF-WAY SHALL BE REQUIRED TO USE NATURAL UNFINISHED CAST IRON DETECTABLE WARNING PANELS FOR ADA CONCRETE CURB RAMPS. THE FOLLOWING PRODUCTS ARE APPROVED FOR USE WITHIN THE CITY OF OMAHA AND ITS THREE MILE EXTRATERRITORIAL JURISDICTION:  
 • IRON DOME BY ADA SOLUTIONS, INC.  
 • DETECTABLE WARNING PLATE 4894 BY DETER FOUNDRY, INC.  
 • DURALAST DETECTABLE WARNING PLATE BY EAST JORDAN IRON WORKS.  
 • TUFFLE CAST IRON TILES BY TUFFLE, INC.  
 • ADVANTAGE TACTILE CAST IRON DETECTABLE WARNINGS  
 • DETECTABLE WARNING PLATE 4894 BY NEEHAH FOUNDRY, INC.
- CONCRETE SHALL BE IN ACCORDANCE WITH CITY OF OMAHA STANDARD SPECIFICATIONS FOR ROW CONSTRUCTION, SECTION 500. UNLESS OTHERWISE NOTED, ALL CONCRETE SHALL BE L65 AIR-ENTRAINED.
- CONCRETE PAVEMENT SHALL BE CURED USING A LIQUID-MEMBRANE FORMING COMPOUND AT THE CONCENTRATIONS AND APPLICATION RATES RECOMMENDED BY THE MANUFACTURER.
- WATER-REDUCING ADMIXTURE SHALL BE ADDED TO ALL HAND-PLACED AND FINISHED CONCRETE.
- JOINT SEALANT SHALL MEET THE REQUIREMENTS OF SECTION 500.02 (H) OF THE PROJECT SPECIFICATIONS EXPECT AS MODIFIED HEREIN. BITUMASTIC JOINT SEALER IS NOT ALLOWED. POLYURETHANE OR SILICONE JOINT SEALER SHALL COLOR-MATCH THE NEW PCC PAVEMENT. SUBMIT COLOR SAMPLES TO THE OWNER FOR HIS APPROVAL PRIOR TO APPLICATION.

WHERE A PRIVATE WATER MAIN/SERVICE AND/OR FIRE LINE IS CONNECTED TO M.U.D. AT TWO OR MORE LOCATIONS, THE ENGINEER MUST SHOW ON THE PLANS A M.U.D. APPROVED CHECK VALVE AT EACH CONNECTION.

### WATER MAIN NOTES

- THE CONTRACTOR SHALL CONSTRUCT WATER SERVICE FROM EXISTING MAINS TO THE BUILDING. CONTRACTOR SHALL VERIFY BUILDING CONNECTION LOCATIONS IN ARCHITECTURAL PLANS.
- THE CONTRACTOR SHALL PROVIDE VALVE BOX AND WATER METER.
- CALL M.U.D. BUILDER AND CONTRACTOR SERVICES (402) 554-7987 FOR FURTHER DETAILS.
- ALL WATER LINES SHALL HAVE 5" MINIMUM COVER.
- CONSTRUCT WATER SERVICE PER M.U.D. SPECIFICATIONS.
- ALL WATER LINES SHALL MEET THE REQUIREMENTS OF THE OMAHA MUNICIPAL CODE SECTION 49-1518. WATER SERVICE.
- ALL WATER SERVICE MUST BE INSTALLED BY A LICENSED PLUMBER.
- CONTRACTOR WILL COORDINATE WITH OWNER PRIOR TO HIS BID TO DETERMINE WHO PAYS TAPPING FEES, COST OF WATER METER, COST OF ASSOCIATED PERMITS, AND CAPITAL FACILITIES CHARGE.
- ALL WATER SERVICE LINES AND CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE METROPOLITAN UTILITIES DISTRICT (M.U.D.) WATER RULES AND REGULATIONS.

NOTE: CONTRACTOR TO COORDINATE PARKING LOT PAVEMENT REPAIRS WITH OWNER.



### PAVING KEYNOTES

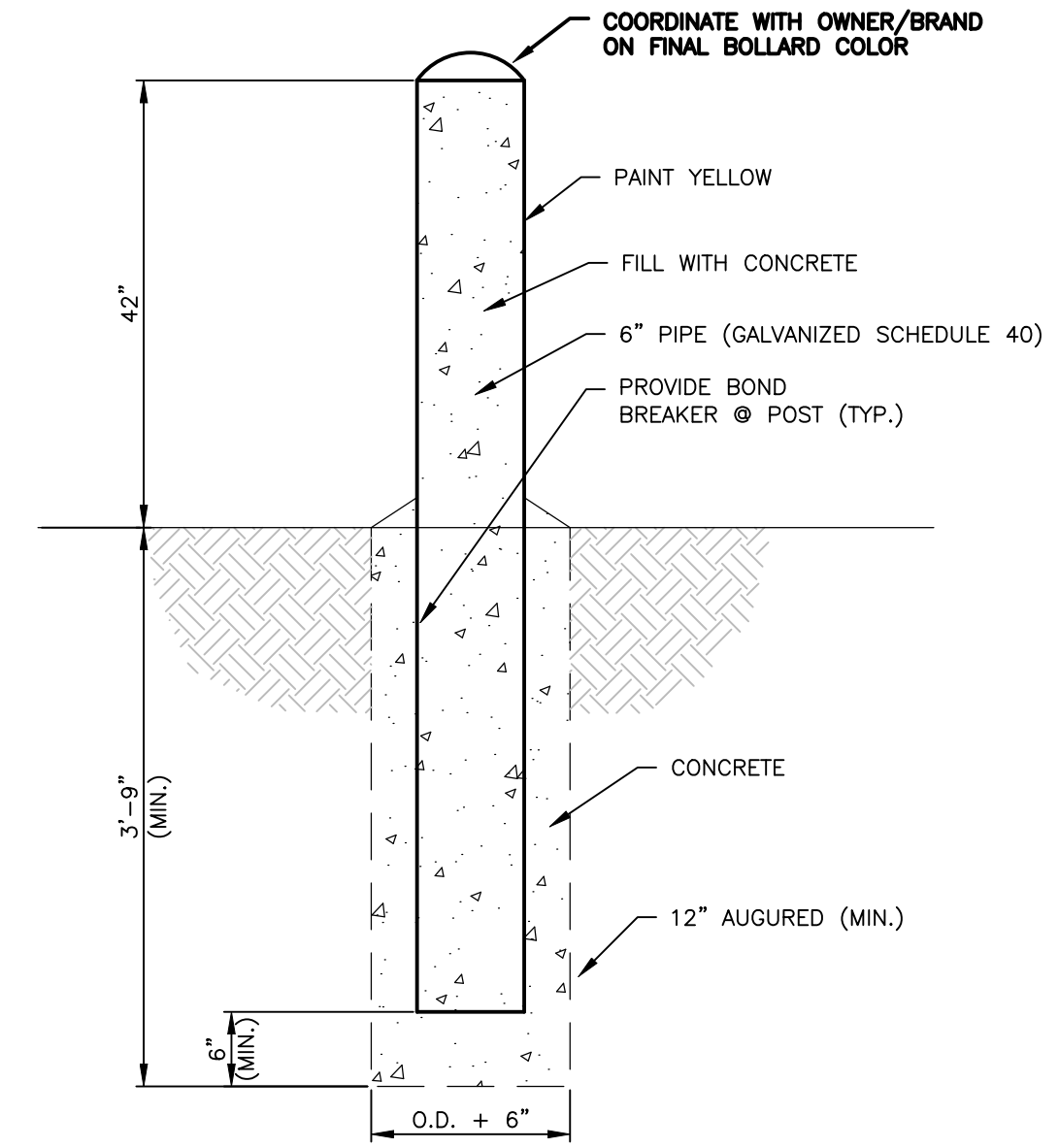
- P1. CONSTRUCT PCC PAVEMENT WITH 6" INTEGRAL CURB. MATCH EXISTING PAVEMENT THICKNESS.
- P2. CONSTRUCT 7" PCC PAVEMENT. MATCH EXISTING PAVEMENT THICKNESS.
- P3. CONSTRUCT 1/2" EXPANSION JOINT WHERE PROPOSED PAVEMENT ABUTS BUILDING, WITH MATCHING SEALANT.
- P4. DRILL AND EPOXY #5 X 30" EPOXY COATED TIE BARS AT 36" CENTERS WHEN ADJACENT TO CONCRETE.

### MISCELLANEOUS KEYNOTES

- M1. CONSTRUCT BOLLARD. SEE DETAIL, THIS SHEET.

### WATER KEYNOTES

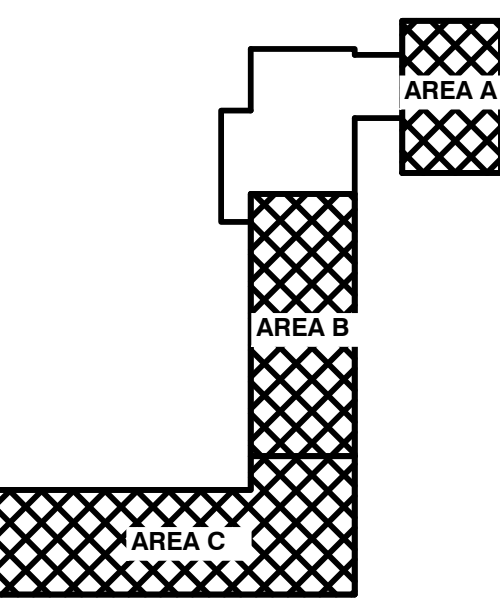
- W01. CONNECT 6" FIRE LINE. CONFIRM SIZE AND INVERT WITH MECHANICAL.
- W02. CONSTRUCT POST INDICATOR VALVE.
- W03. CONNECT TO EXISTING WATER SERVICE AND PROVIDE CONNECTION VALVE AS NECESSARY. POTHOLE AND FIELD VERIFY CONNECTION LOCATION.
- W04. CONSTRUCT 46 LF 6" FIRE WATER LINE COMPLETE WITH ALL BENDS, CONNECTIONS, REDUCERS, AND CONCRETE BACKING BLOCKS AS REQUIRED. PROVIDE 5" MIN. COVER.
- W05. CONSTRUCT 2 LF 6" FIRE WATER LINE COMPLETE WITH ALL BENDS, CONNECTIONS, REDUCERS, AND CONCRETE BACKING BLOCKS AS REQUIRED. PROVIDE 5" MIN. COVER.



1 BOLLARD DETAIL  
 C4.0 SCALE: NOT TO SCALE

### REVISIONS SCHEDULE

MARK	DATE	DESCRIPTION



### WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS

PROJECT: 23043 DATE: JAN 19, 2023  
 PROJECT STATUS: 100% DRAWING SUBMITTAL



### UTILITY & PAVING PLAN



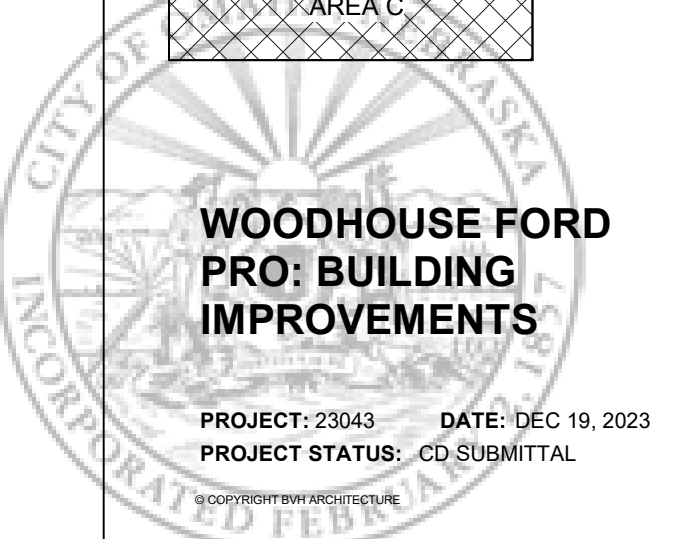
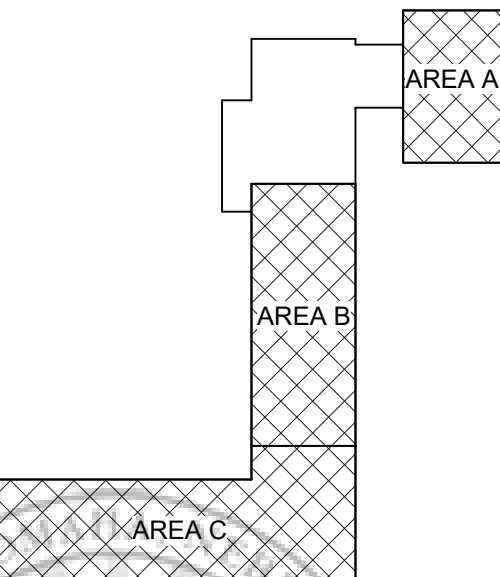
ARCHITECT  
BVH ARCHITECTURE  
901 JONES STREET  
OMAHA, NE 68102  
V 402 345 3090  
F 402 345 7871  
bvh.com

CIVIL ENGINEER  
LAMP RYNEARSON  
14710 W DODGE RD #100  
OMAHA, NE 68154  
V 402 496 2498  
lra-arc.com

STRUCTURAL ENGINEER  
LANGE STRUCTURAL GROUP  
1919 S 40TH STREET, SUITE 302  
LINCOLN, NE 68506  
V 402 421 9540  
langestructuralgroup.com

MEP ENGINEER  
MORRISSEY ENGINEERING  
4940 N 118TH ST  
OMAHA, NE 68184  
V 402 491 4144  
morriseyengineering.com

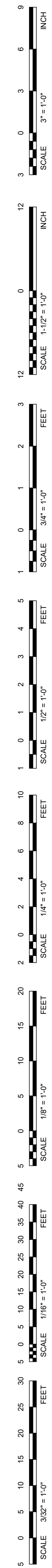
REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION



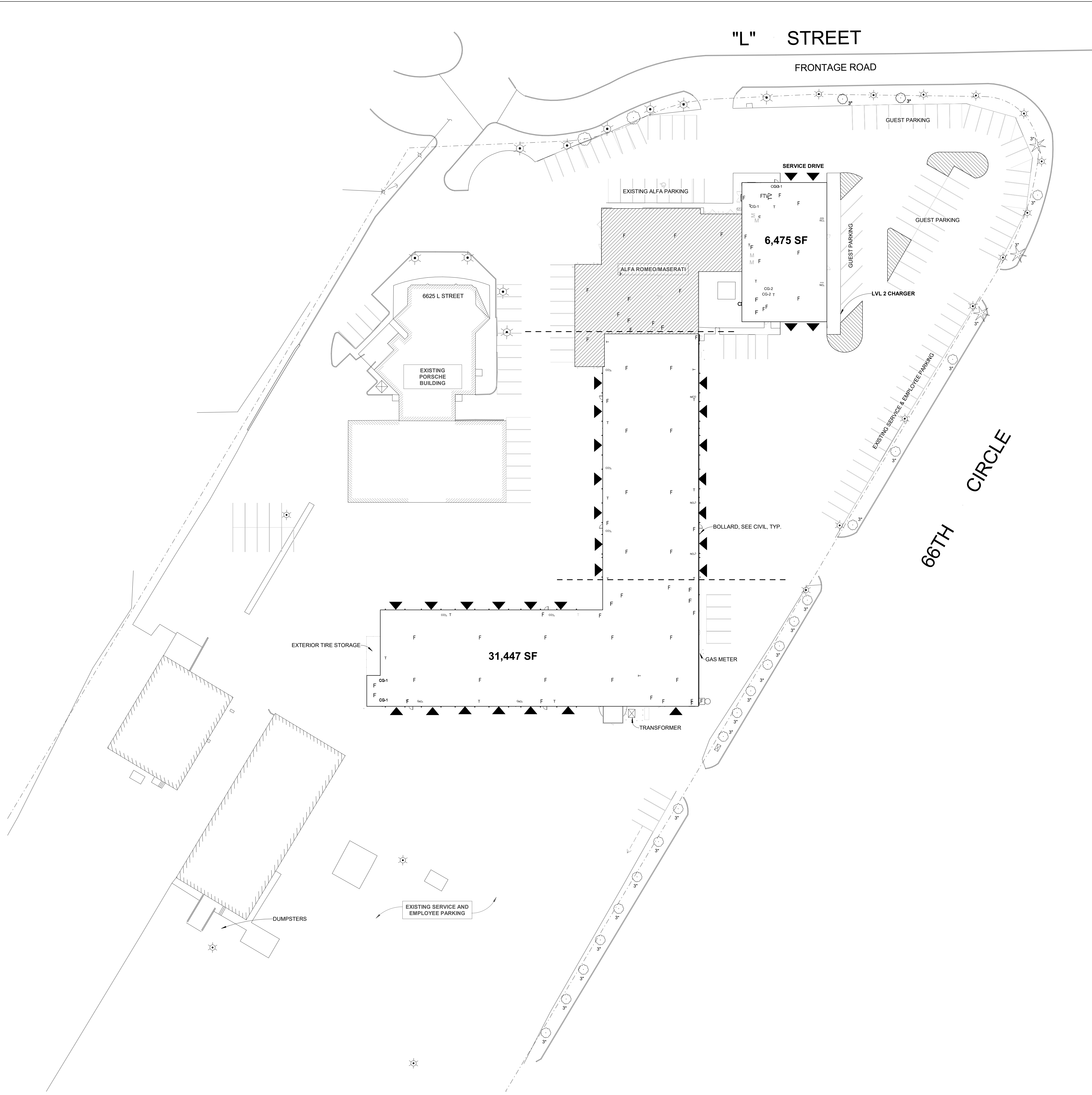
ARCHITECTURAL SITE  
PLAN AND DETAILS



A0.5



**1 ARCHITECTURAL SITE PLAN**  
1" = 30'-0"



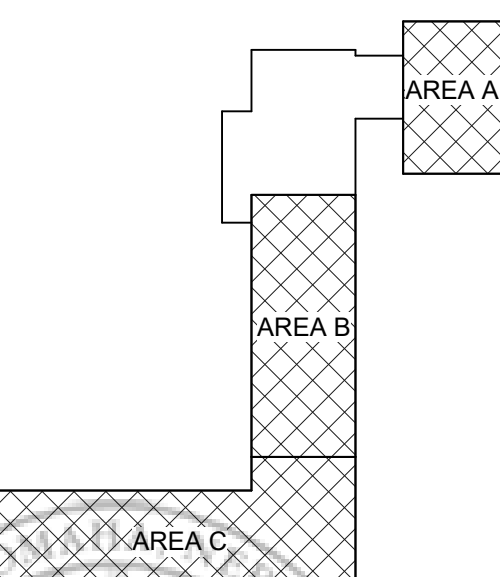
### GENERAL DEMOLITION NOTES

- REFERENCE STANDARDS:  
A. 29 CFR 1926 - U.S. OCCUPATIONAL SAFETY AND HEALTH STANDARDS, CURRENT EDITION.  
B. NFPA 241 - STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, 2019.
- COMPLY WITH APPLICABLE CODES AND REGULATIONS FOR DEMOLITION OPERATIONS AND SAFETY OF ADJACENT STRUCTURES AND THE PUBLIC.
- QUALITY ASSURANCE:  
A. DEMOLITION FIRM QUALIFICATIONS: COMPANY SPECIALIZING IN THE TYPE OF WORK REQUIRED.  
B. MINIMUM OF FIVE YEARS OF DOCUMENTED EXPERIENCE. DO NOT BEGIN REMOVAL WORK UNTIL RECEIPT OF NOTIFICATION TO PROCEED FROM OWNER.
- VERIFY EXISTING FIELD CONDITIONS, REPORT DISCREPANCIES TO ARCHITECT.
- DEMOLITION WORK AS SHOWN ON THE DRAWINGS IS TO INDICATE, IN A GENERAL MANNER, THE REMOVAL OF EXISTING CONSTRUCTION AND IS NOT INTENDED TO BE INCLUSIVE. PROVIDE ALL DEMOLITION REQUIRED TO ACCOMMODATE OR INSTALL ALL WORK FOR ALL TRADES. VERIFY CONDITIONS AT BUILDING SITE.
- FILL EXCAVATIONS, OPEN PITS, AND HOLES IN GROUND AREAS GENERATED AS RESULT OF REMOVALS, USING SPECIFIED FILL, COMPACT FILL IN CIVIL DOCUMENTS.
- SHORING AND BRACING: PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING AND BRACING.
- LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF UTILITIES IN BUILDINGS TO BE DEMOLISHED.
- REFER TO CIVIL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR REQUIRED DEMOLITION AND FOR ITEMS TO REMAIN IN AREAS OF DEMOLITION.
- REMOVE ALL FLOOR/CILING MOUNTED ITEMS, DEVICES, CONDUIT, ETC. TO ACCOMMODATE NEW WORK.
- SEPARATE AREAS IN WHICH DEMOLITION IS BEING CONDUCTED FROM OTHER AREAS THAT ARE STILL OCCUPIED.
- PROVIDE, ERECT, AND MAINTAIN TEMPORARY DUSTPROOF PARTITIONS OF CONSTRUCTION APPROPRIATE FOR THE TASK AND IN LOCATIONS AS DECIDED BY CONSTRUCTION MANAGER AND OWNER.
- CONDUCT OPERATIONS TO MINIMIZE OBSTRUCTION OF PUBLIC AND PRIVATE ENTRANCES AND EXITS; DO NOT OBSTRUCT REQUIRED EXITS AT ANY TIME; PROTECT PERSONS USING ENTRANCES AND EXITS FROM REMOVAL OPERATIONS.
- PROTECT EXISTING CONSTRUCTION TO REMAIN. ALL CONSTRUCTION TO REMAIN WHICH AFFECTED BY DEMOLITION SHALL BE PATCHED, REPAIRED, PROPERLY MEMBERED, AND ALIGNED AS TO LEAVE NO EVIDENCE OF REPAIR.
- CLEAN AND PREPARE ALL SURFACES SCHEDULED TO RECEIVE NEW FINISHES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL ITEMS NOT REMOVED BY OWNER. OWNER RESERVES THE RIGHT TO SALVAGE ITEMS REMOVED BY CONTRACTOR.

### FLOOR PLAN DEMO NOTES

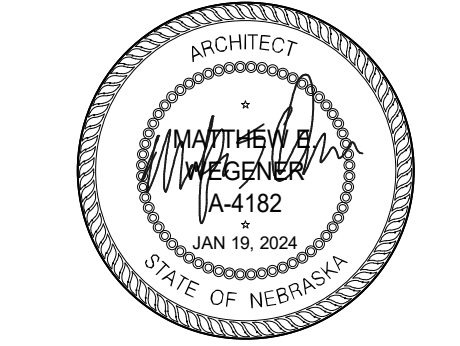
- REMOVE METAL WALL PANEL OF EXISTING EXTERIOR WALL AS REQUIRED TO INSTALL NEW METAL PANEL. SEE ELEVATIONS.
- REMOVE EXISTING EXTERIOR WALL ASSEMBLY FOR NEW OPENING. COORDINATE WITH NEW CONSTRUCTION.
- REMOVE EXISTING OVERHEAD DOOR COMPLETE.
- REMOVE EXISTING WALL CONSTRUCTION COMPLETE.
- REMOVE EXISTING HALF-HEIGHT CMU WALL COMPLETE.
- REMOVE EXISTING STOREFRONT COMPLETE. SEE ELEVATIONS FOR LOCATIONS.
- REMOVE EXISTING INTERIOR STOREFRONT COMPLETE.
- REMOVE EXISTING DOOR, FRAME AND HARDWARE COMPLETE.
- REMOVE EXISTING FLOOR TILE AND BASE. CLEAN/PREP FLOOR AND WALL FOR INSTALLATION OF NEW FINISH FLOOR. COORDINATE WITH EXISTING CONSTRUCTION.
- HOTSY EQUIPMENT, REMOVED BY OWNER. PATCH ROOF PENETRATIONS.
- REMOVE EXISTING CASEWORK COMPLETE.
- REMOVE EXISTING SERVICE LIFT COMPLETE. SALVAGE FOR OWNER.
- REMOVE EXISTING STRUCTURAL STEEL COLUMN. SEE STRUCTURAL DRAWINGS FOR COMPLETE EXTENTS.
- REMOVE EXISTING CAR DISPLAY FEATURE.
- REMOVE EXISTING THICKEND SLAB.
- REMOVE EXISTING BOLLARD.
- REMOVE EXISTING CARPET AND WALL BASE.
- REMOVE EXISTING VINYL FLOOR.
- REMOVE EXISTING FLOOR TILE AND BASE. REMOVE ALL EXISTING GRAB BARS AND TOILET ACCESSORIES (PROTECT OR SALVAGE RECESSED TOWEL DISPENSER COMBO FOR REUSE). REMOVE ALL EXISTING PLUMBING FIXTURES AND MIRRORS, REMOVE ALL COUNTERTOPS, AND ALL TOILET PARTITIONS COMPLETE. CLEAN/PREP FLOOR AND WALL FOR INSTALLATION OF NEW FINISH FLOOR.
- REMOVE EXISTING ROOF LADDER AS REQUIRED FOR NEW WORK. SALVAGE FOR REINSTALLATION.
- REMOVE PORTION OF EXISTING METAL BUILDING COMPLETE. COORDINATE WITH NEW CONSTRUCTION.
- REMOVE EXISTING METAL PANEL.
- REMOVE EXISTING RECEPTION DESK COMPLETE.
- DEMO WALL AS REQUIRED FOR NEW STRUCTURAL CONNECTION.
- REMOVE EXISTING LINER PANEL.
- REMOVE EXISTING EYE WASH STATION, SEE MECH.
- REMOVE EXISTING COLUMN, SEE STRUCT.
- REMOVE EXISTING FURRING WALL, COMPLETE.
- REMOVE CONC. FLOOR SLAB COMPLETE.
- REMOVE EXISTING GWB ABOVE LINER PANEL.
- COORDINATE REMOVAL OF EXTERIOR WALL PANEL WITH STRUCTURAL MODIFICATIONS AT NEW OPENINGS. SALVAGE PANELS FOR RE-USE.
- REMOVE EXISTING HALF-HEIGHT WOOD FRAMED WALL ASSEMBLIES COMPLETE.
- REMOVE EXISTING WOOD FRAMED MEZZANINE AND STAIR ASSEMBLY COMPLETE.
- NEW DOOR IN EXISTING FRAME TO REMAIN. SEE DOOR SCHEDULE.
- PLUMBING TRENCH, SEE PLUMBING DRAWINGS.
- REMOVE EXISTING 1/2" PLYWOOD SHEATHING AS SHOWN ON DRAWING IN PREP FOR NEW 3/4" SHEATHING.

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION
1	02/01/2024	ADDENDUM 1
4	3/28/2024	CORRECTIONS

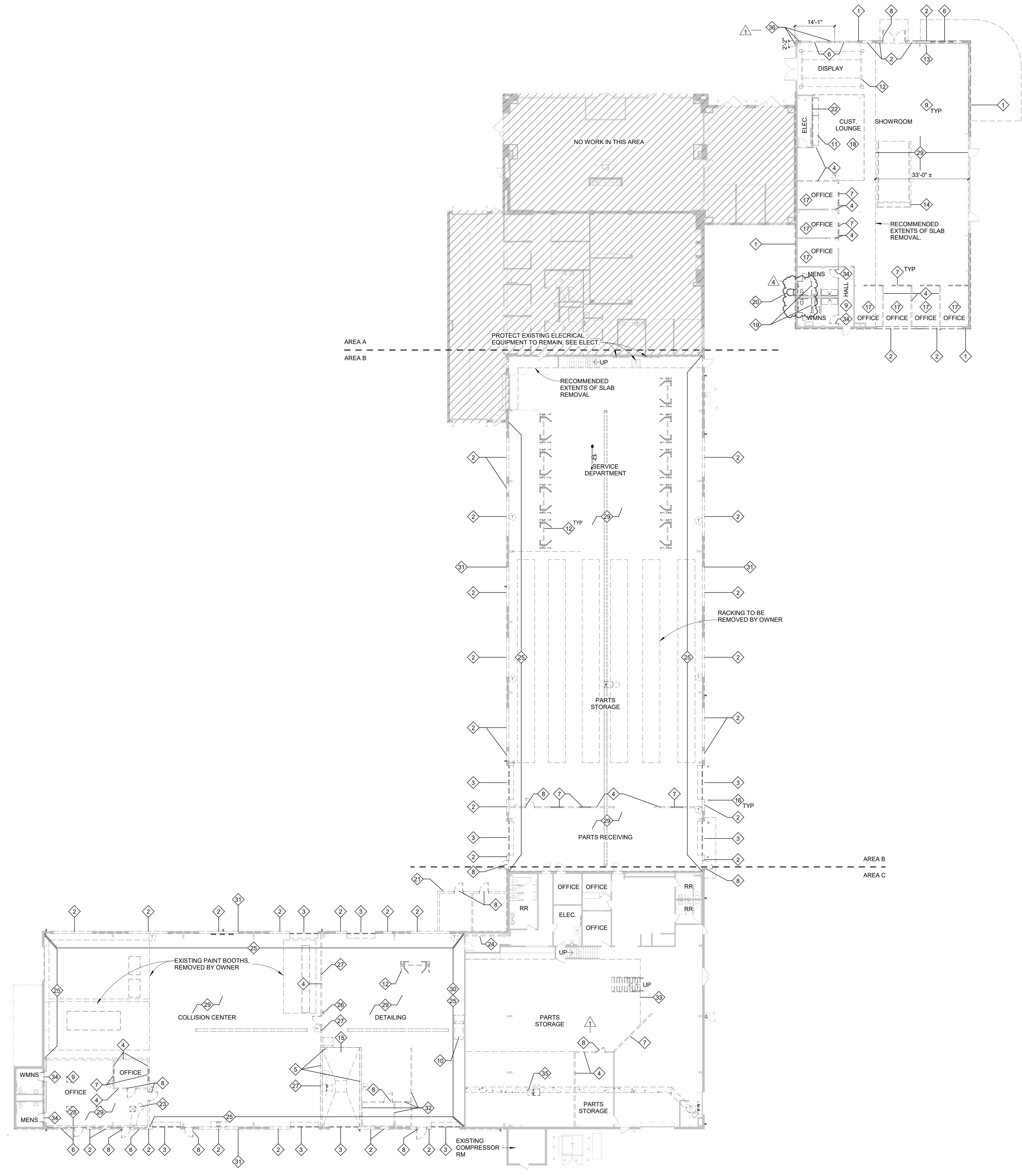


### WOODHOUSE FORD PROJ: BUILDING IMPROVEMENTS

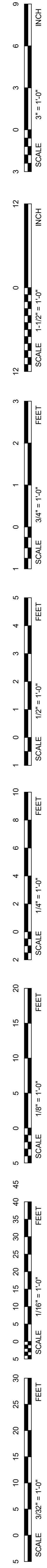
PROJECT: 23043 DATE: DEC 19, 2023  
PROJECT STATUS: CD SUBMITTAL



### DEMO PLAN



1 FIRST FLOOR - DEMO PLAN  
1/16" = 1'-0"



### GENERAL DEMOLITION NOTES

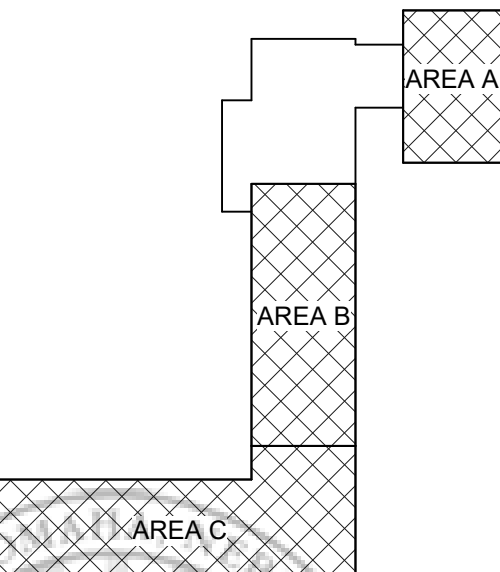
- REFERENCE STANDARDS:  
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### RCP DEMO NOTES

- REMOVE EXISTING BULKHEAD WALL CONSTRUCTION COMPLETE.
- REMOVE EXISTING CEILING, LIGHTING, AND SUPPLY AND RETURN GRILLES COMPLETE. SEE ELECTRICAL AND MECHANICAL DRAWINGS FOR COMPLETE EXTENTS.
- REMOVE EXISTING LIGHTING, AND SUPPLY AND RETURN GRILLES COMPLETE. SEE ELECTRICAL AND MECHANICAL DRAWINGS FOR COMPLETE EXTENTS.
- REMOVE EXISTING CANOPY COMPLETE.
- REMOVE EXISTING METAL PANEL. KEEP BULKHEAD. COORDINATE WITH NEW CONSTRUCTION.
- REPAID CEILING, EXISTING CEILING GRID TO REMAIN.
- REMOVE EXISTING, WOOD FRAMED MEZZANINE AND STAIR ASSEMBLY COMPLETE.

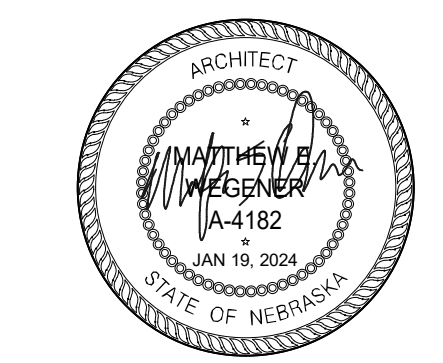
### REVISIONS SCHEDULE

MARK	DATE	DESCRIPTION
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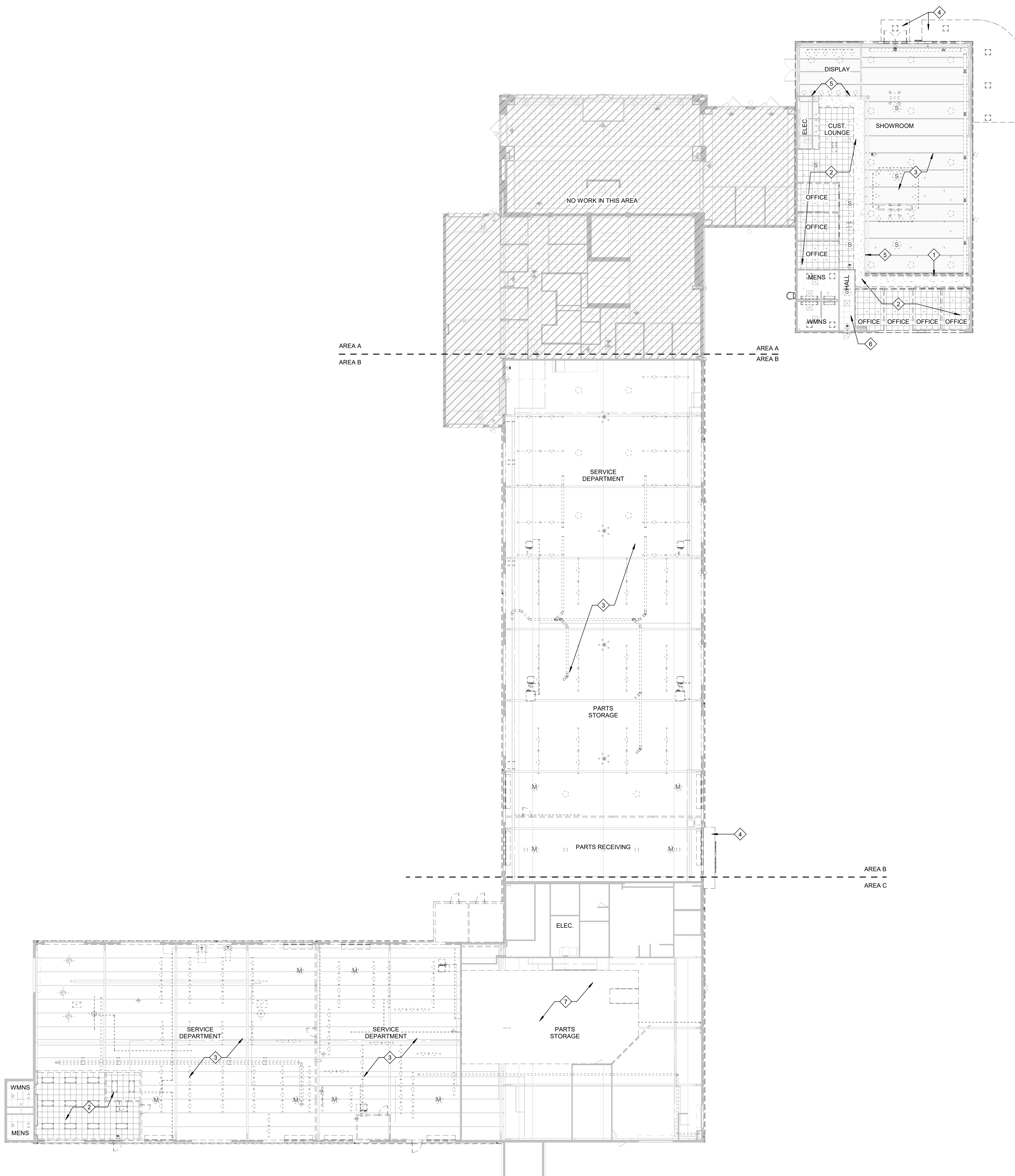


### WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS

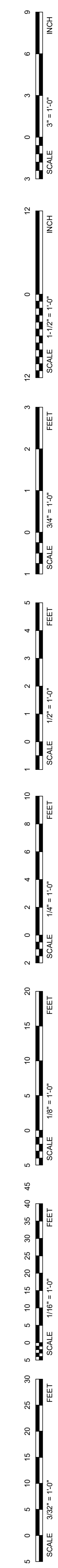
PROJECT: 23043 DATE: DEC 19, 2023  
PROJECT STATUS: CD SUBMITTAL



DEMO RCP



**1 DEMO RCP**  
1/16" = 1'-0"



SEE SHEET AD1.1 FOR GENERAL DEMOLITION NOTES.

## ELEVATION DEMO NOTES

- 1 REMOVE METAL WALL PANEL AS REQUIRED TO INSTALL NEW METAL PANEL.
- 2 REMOVE EXISTING EXTERIOR WALL CONSTRUCTION FOR NEW OPENING. COORDINATE W/NEW CONSTRUCTION.
- 3 REMOVE EXISTING OVERHEAD DOOR COMPLETE.
- 4 REMOVE EXISTING STOREFRONT COMPLETE.
- 5 REMOVE EXISTING DOOR, FRAME AND HARDWARE COMPLETE.
- 6 REMOVE EXISTING CANOPY COMPLETE.
- 7 REMOVE AND STORE EXISTING ROOF LADDER DURING CONSTRUCTION. REINSTALL AT EXISTING LOCATION.
- 8 REMOVE METAL CAP FLASHING.
- 9 REMOVE SIGNAGE.
- 10 CLEAN/REP SURFACE FOR NEW PAINT.
- 11 REMOVE EXISTING EXTERIOR WALL CONSTRUCTION AND ROOF COMPLETE. COORDINATE W/NEW CONSTRUCTION.
- 12 REMOVE EXISTING GUTTER/DOWNSPOUT.
- 13 PATCH EXISTING WALL ASSEMBLY (FROM REMOVAL OF CANOPY) AS REQD FOR A WATER-TIGHT SEAL.

**ARCHITECT**  
 BVH ARCHITECTURE  
 301 JONES STREET  
 OMAHA, NE 68102  
 V 402 345 3090  
 F 402 345 7871  
 bvh.com

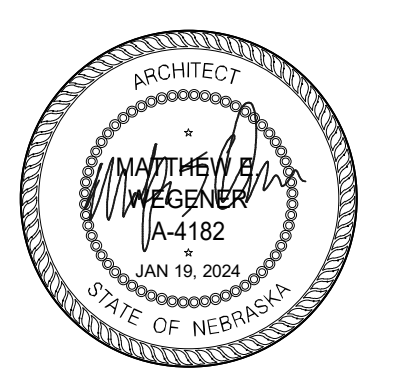
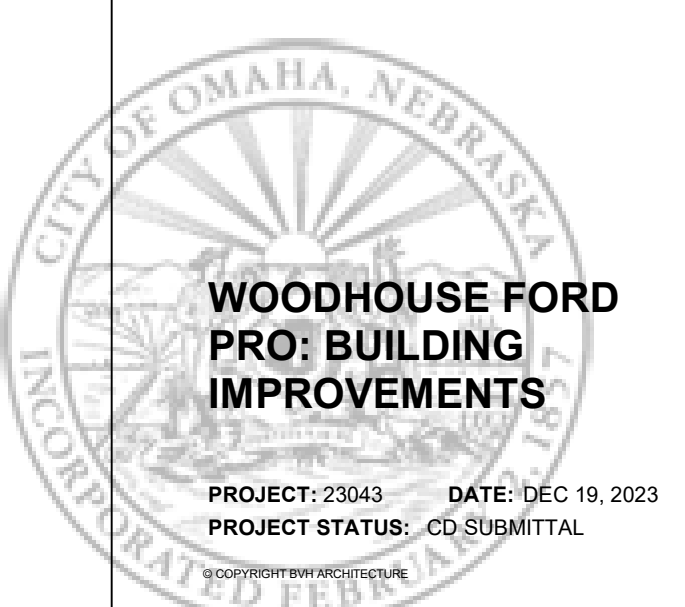
**CIVIL ENGINEER**  
 LAMP RYNEARSON  
 14710 W DODGE RD #100  
 OMAHA, NE 68154  
 V 402 496 2498  
 lra-inc.com

**STRUCTURAL ENGINEER**  
 LANGE STRUCTURAL GROUP  
 1919 S 40TH STREET, SUITE 302  
 LINCOLN, NE 68506  
 V 402 421 9540  
 langestructuralgroup.com

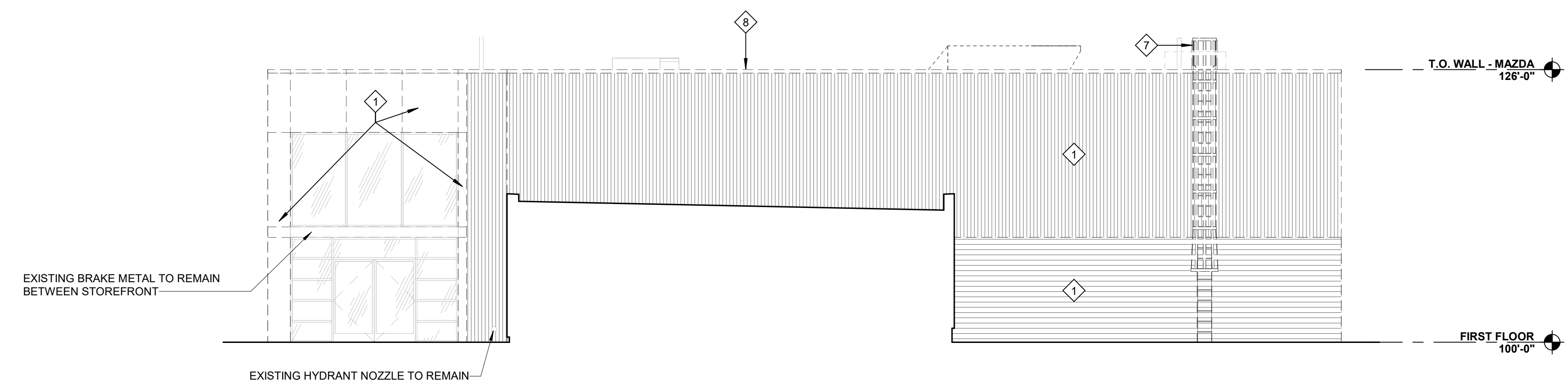
**MEP ENGINEER**  
 MORRISSEY ENGINEERING  
 4940 N 118TH ST  
 OMAHA, NE 68184  
 V 402 491 4144  
 morrisseyengineering.com

### REVISIONS SCHEDULE

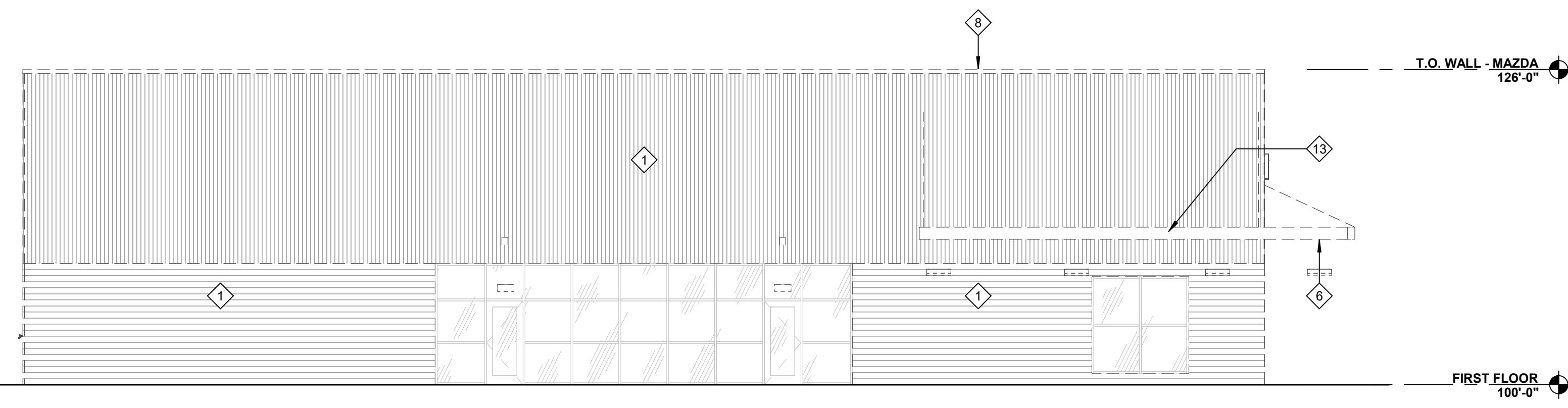
MARK	DATE	DESCRIPTION



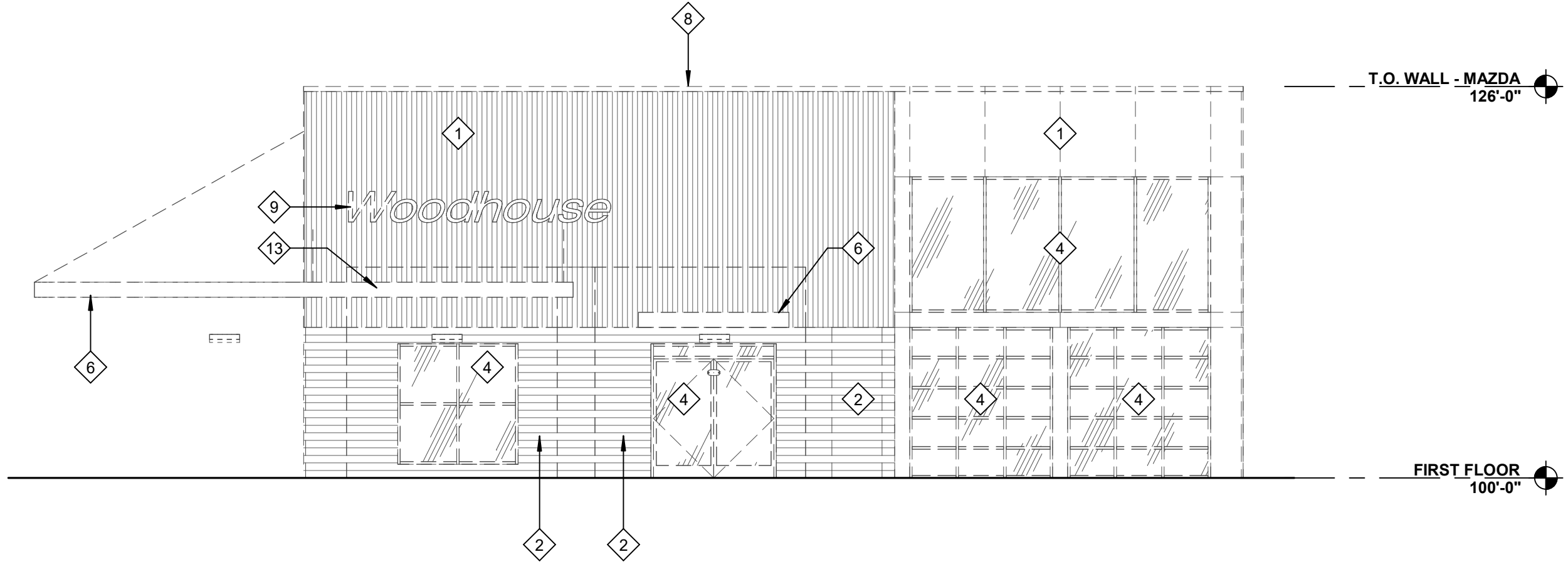
**DEMO BUILDING ELEVATIONS**



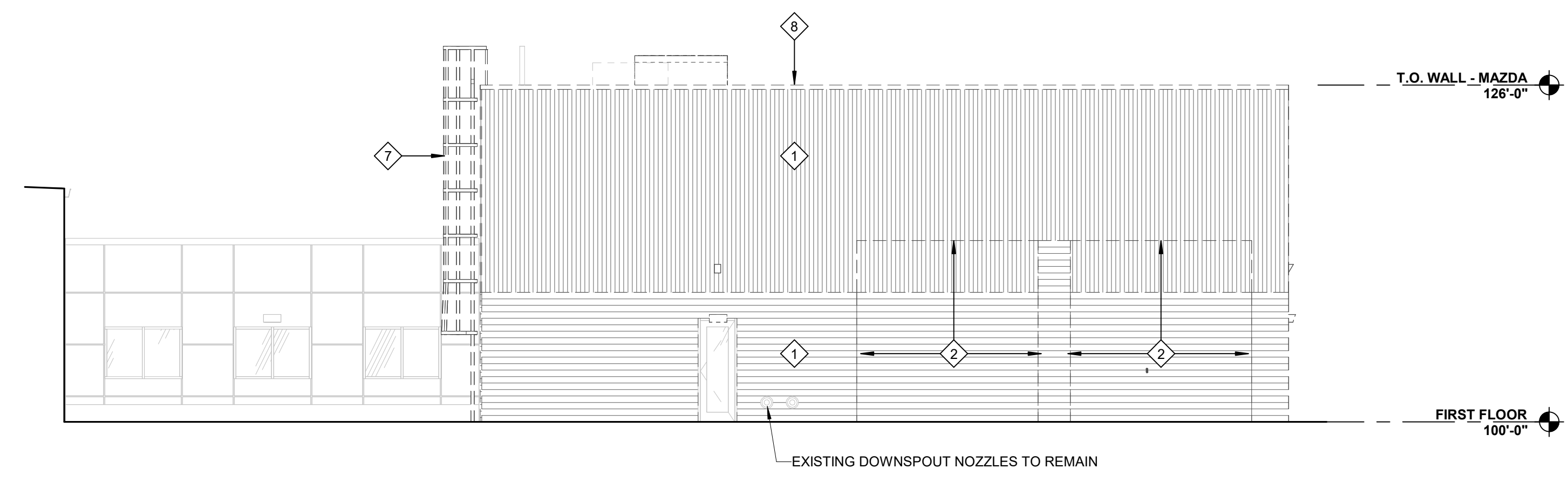
**5 DEMO - WEST ELEVATION - AREA A**  
 1/8" = 1'-0"



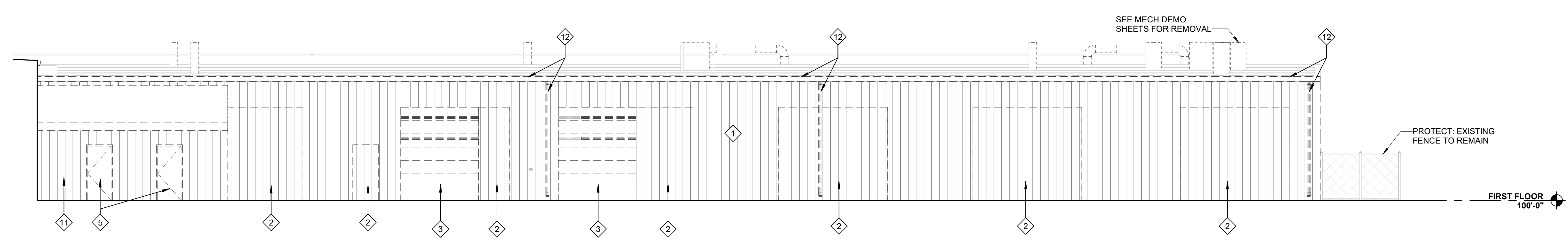
**4 DEMO - EAST ELEVATION - AREA A**  
 1/8" = 1'-0"



**3 DEMO - NORTH ELEVATION - AREA A**  
 1/8" = 1'-0"



**2 DEMO - SOUTH ELEVATION - AREA A**  
 1/8" = 1'-0"



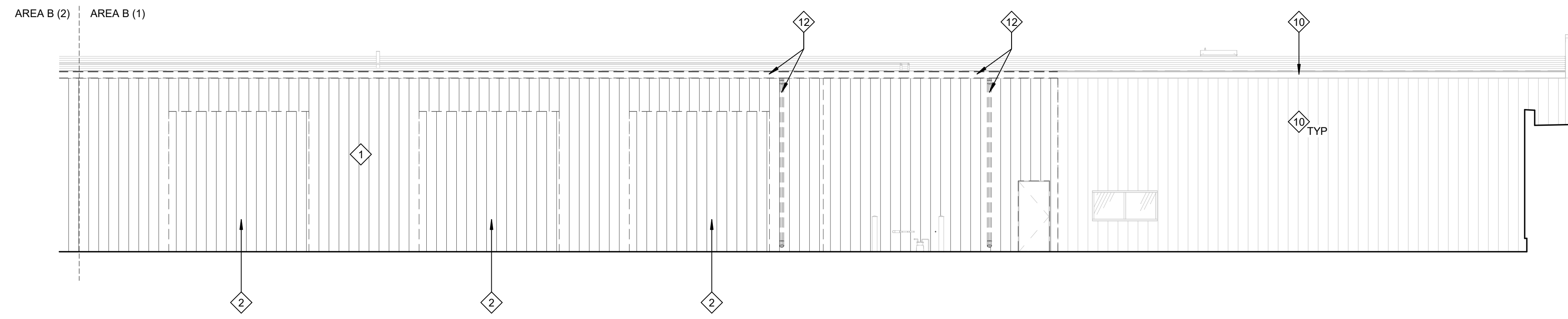
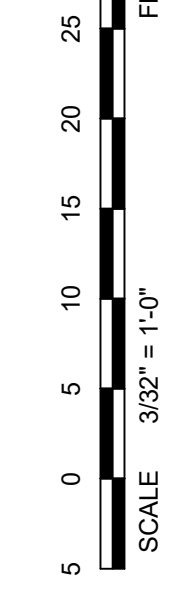
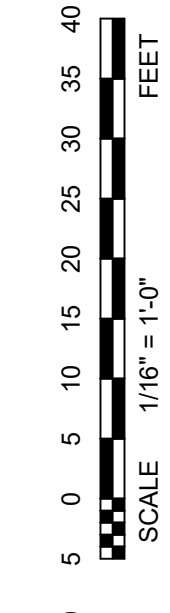
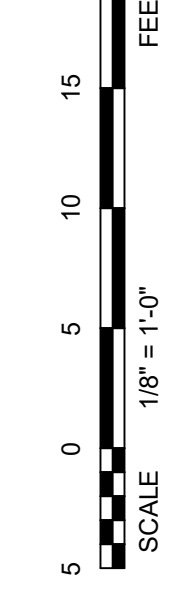
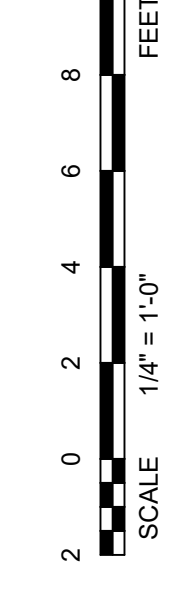
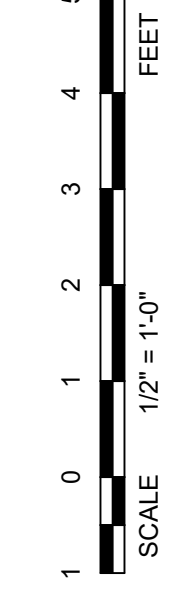
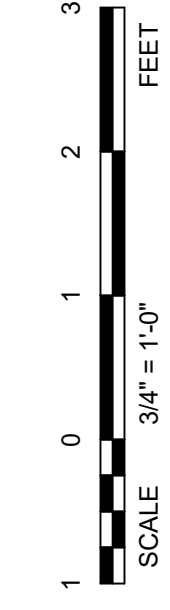
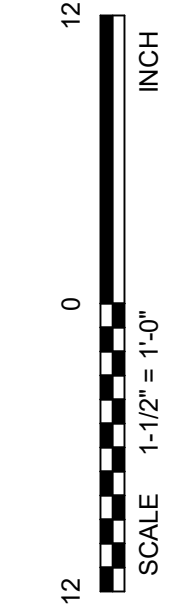
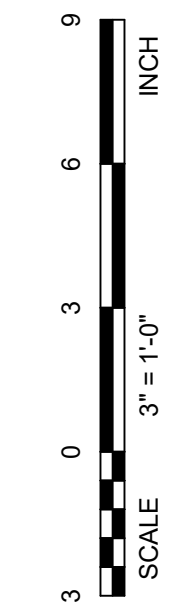
**1 DEMO - NORTH ELEVATION - AREA C**  
 1/8" = 1'-0"

Vertical scale bars on the left side of the sheet, including scales for 3" = 1'-0", 1-1/2" = 1'-0", 3/4" = 1'-0", 1/2" = 1'-0", 1/4" = 1'-0", 1/8" = 1'-0", and 3/32" = 1'-0".

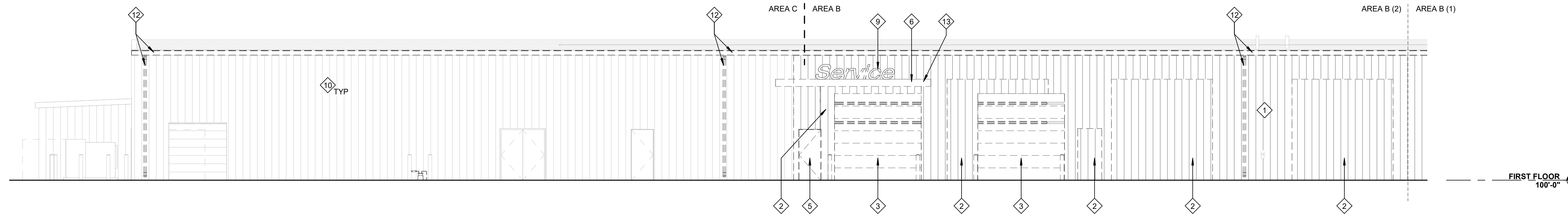
SEE SHEET AD1.1 FOR GENERAL DEMOLITION NOTES.

**ELEVATION DEMO NOTES**

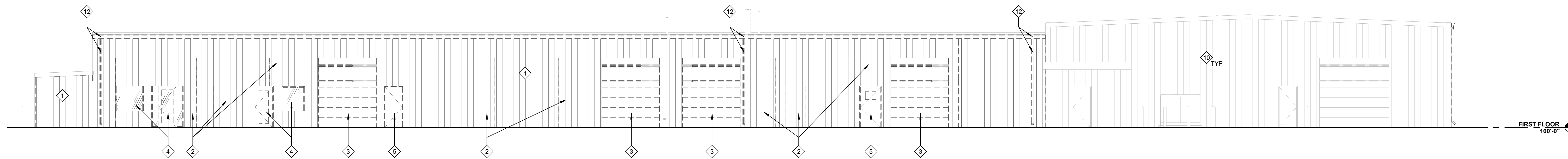
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- 4 REMOVE EXISTING STOREFRONT COMPLETE.
- 5 REMOVE EXISTING DOOR, FRAME AND HARDWARE COMPLETE.
- 6 REMOVE EXISTING CANOPY COMPLETE.
- 7 REMOVE AND STORE EXISTING ROOF LADDER DURING CONSTRUCTION. REINSTALL AT EXISTING LOCATION.
- 8 REMOVE METAL CAP FLASHING.
- 9 REMOVE SIGNAGE.
- 10 CLEAN/REP SURFACE FOR NEW PAINT.
- 11 REMOVE EXISTING EXTERIOR WALL CONSTRUCTION AND ROOF COMPLETE. COORDINATE W/ NEW CONSTRUCTION.
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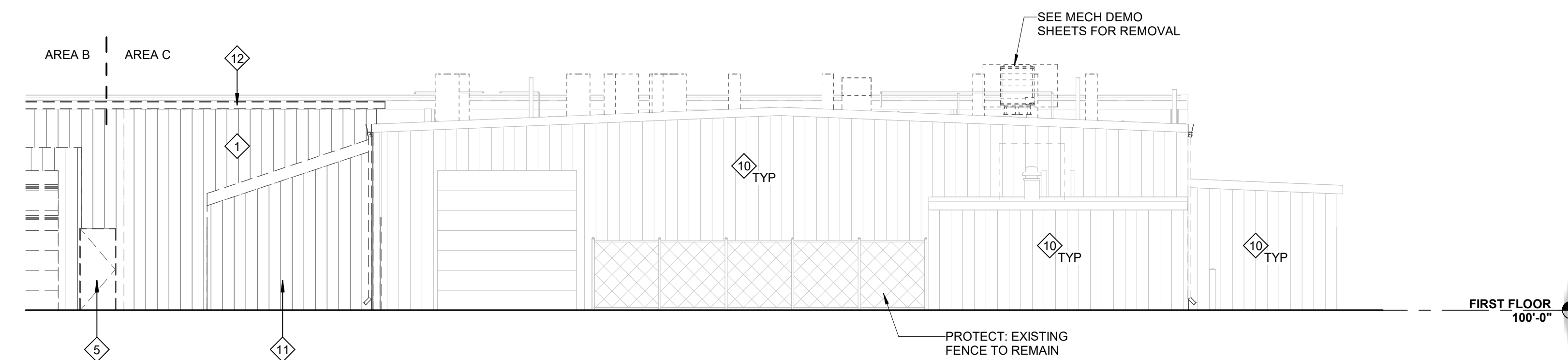
**5 DEMO - EAST ELEVATION - AREA B (1)**  
 1/8" = 1'-0"



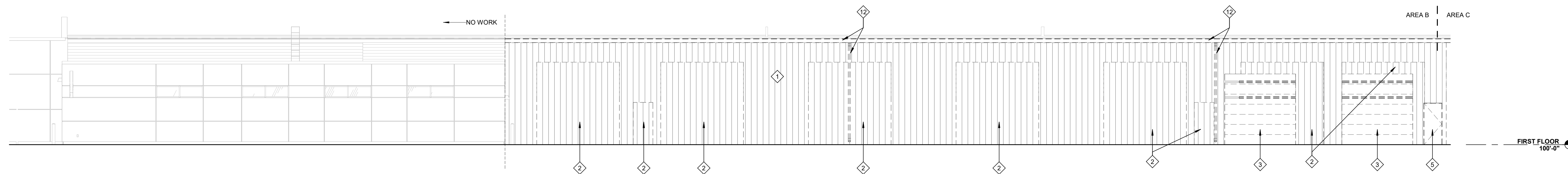
**4 DEMO - EAST ELEVATION - AREA B (2) & C**  
 1/8" = 1'-0"



**3 DEMO - SOUTH ELEVATION - AREA B**  
 1/8" = 1'-0"



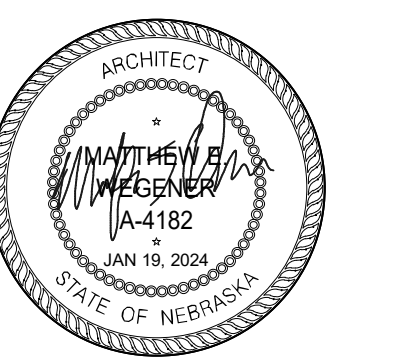
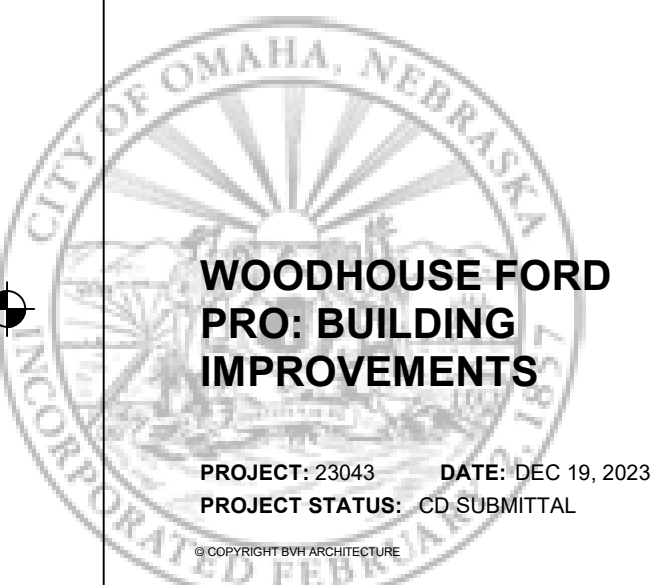
**1 DEMO - WEST ELEVATION - AREA C**  
 1/8" = 1'-0"



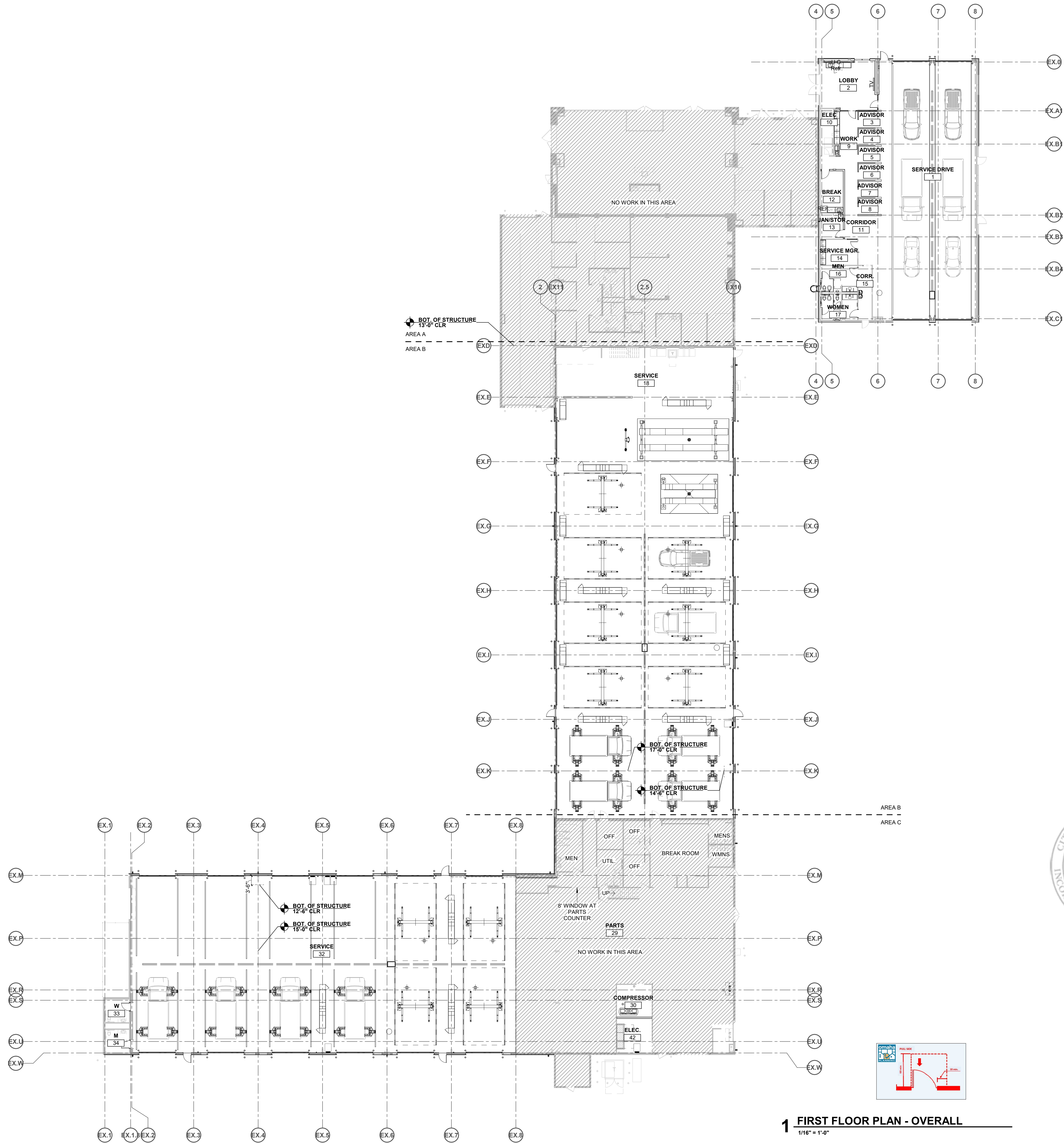
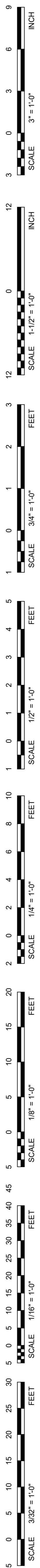
**2 DEMO - WEST ELEVATION - AREA B**  
 1/8" = 1'-0"

**REVISIONS SCHEDULE**

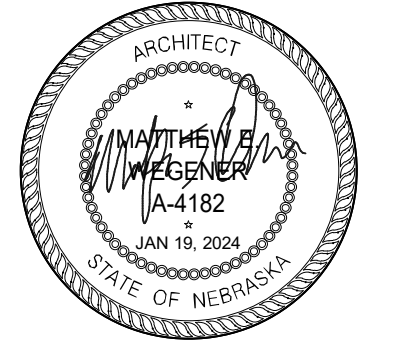
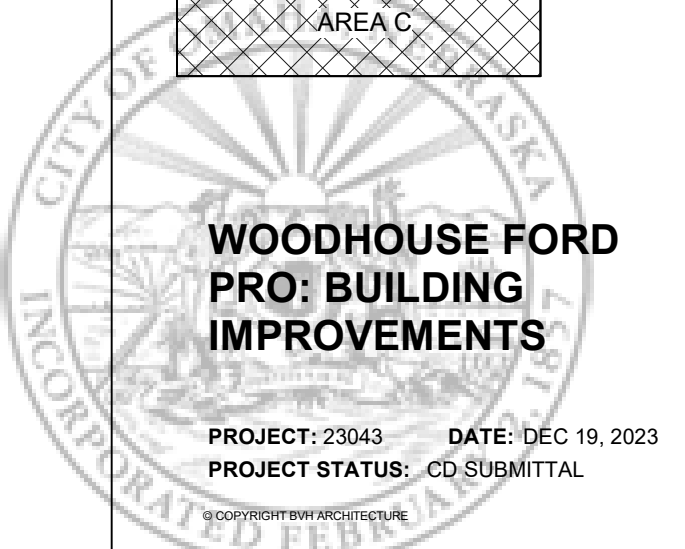
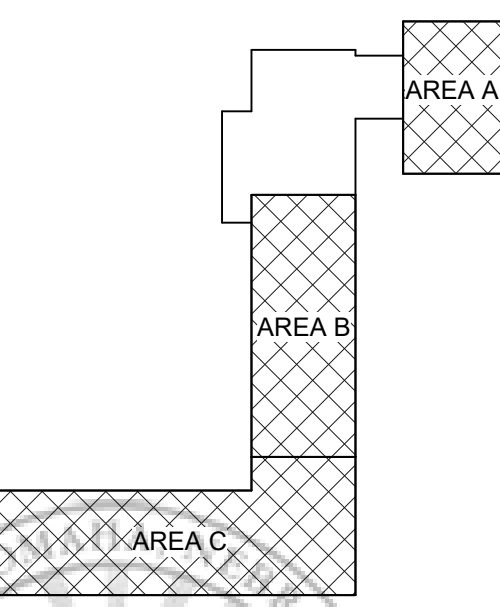
MARK	DATE	DESCRIPTION



**DEMO BUILDING ELEVATIONS**



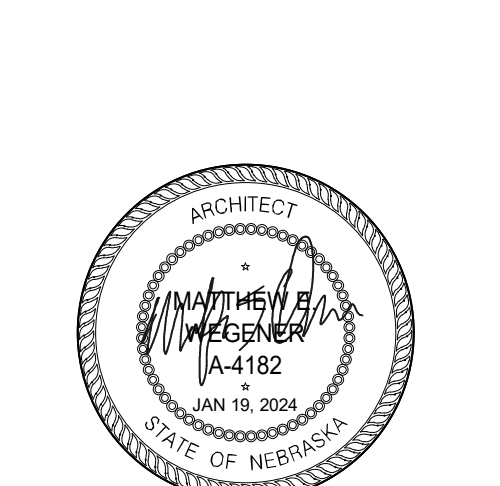
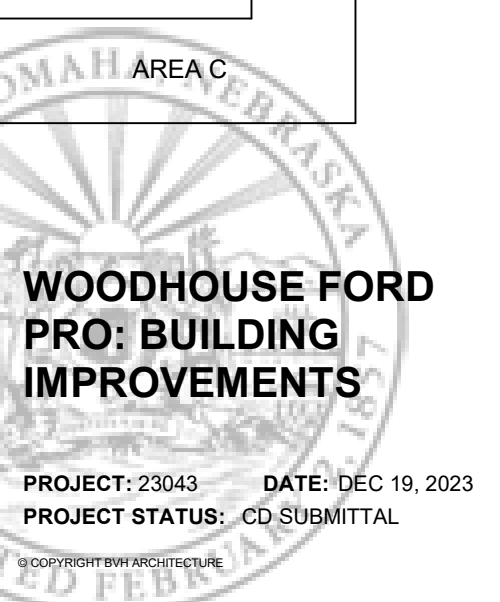
REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION



**FIRST FLOOR PLAN - OVERALL**

**1 FIRST FLOOR PLAN - OVERALL**  
 1/16" = 1'-0"

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION
1	02/01/2024	ADDENDUM 1
2	02/07/2024	ADDENDUM 2
4	3/28/2024	CORRECTIONS



FIRST FLOOR PLAN - AREA A & B

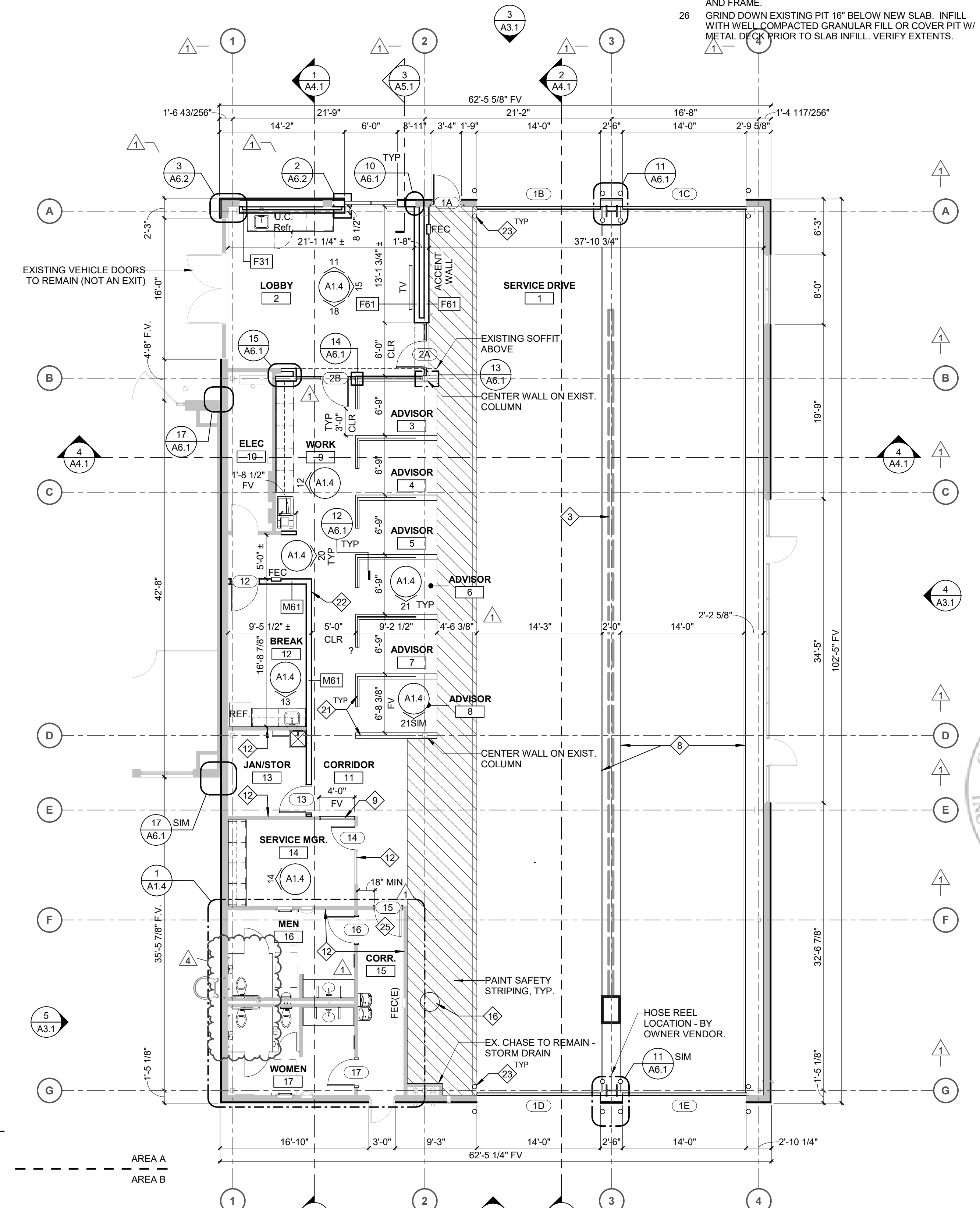
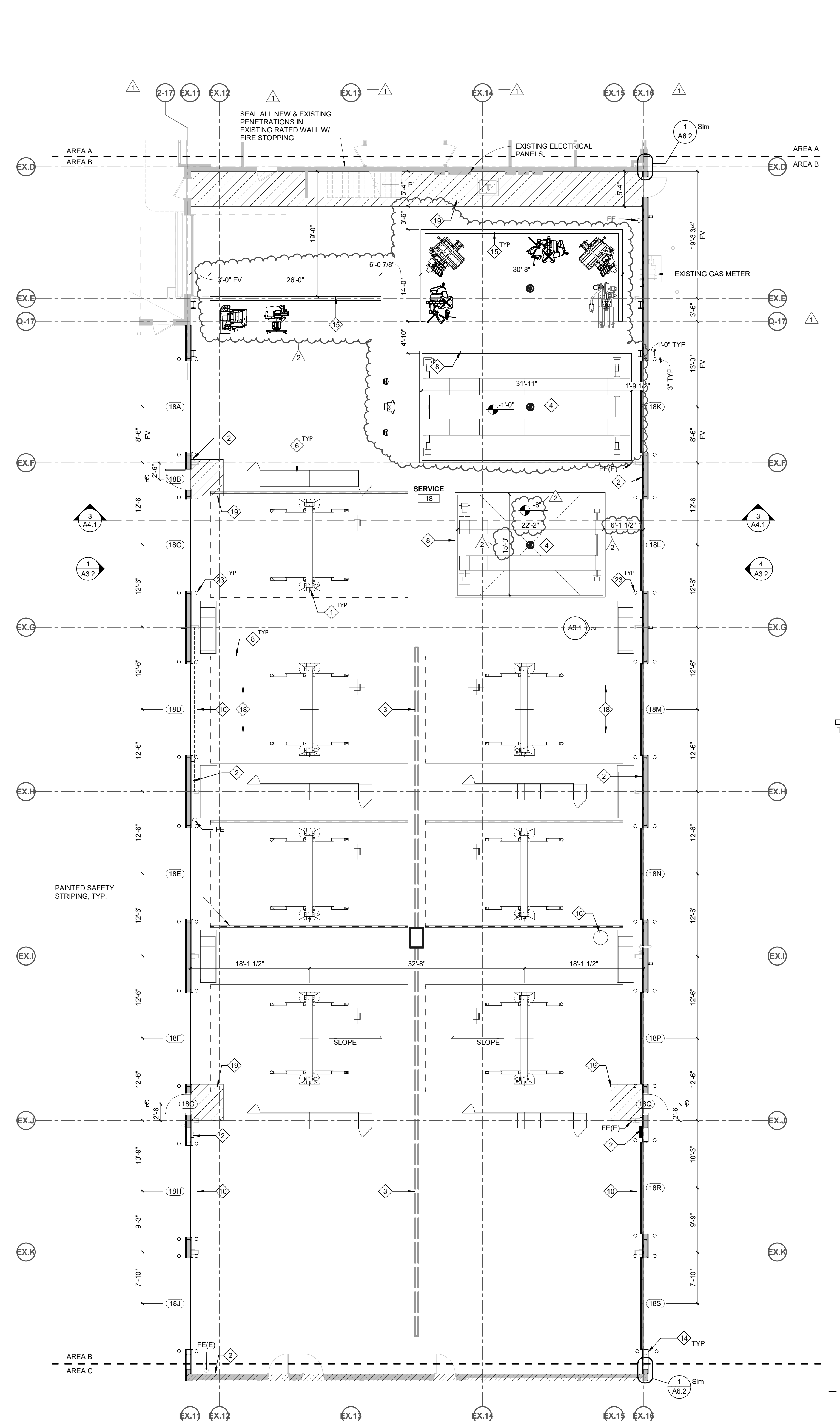
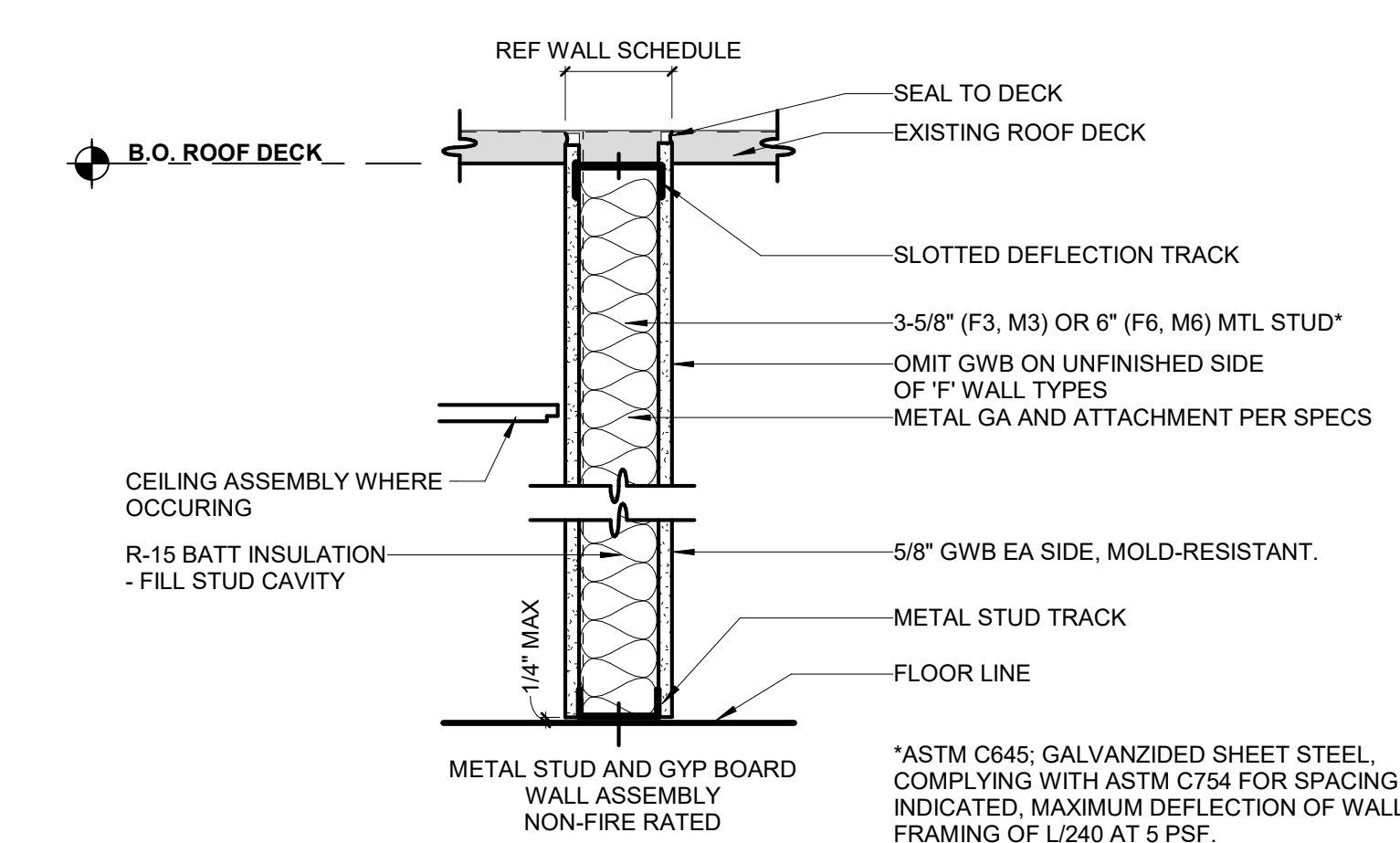
NORTH  
 1 A1.1A

### FLOOR PLAN GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF WALL UNLESS NOTED OTHERWISE.
- FIELD VERIFY ALL DIMENSIONS.
- SHOP EQUIPMENT, VEHICLE EXHAUST, AND COMPRESSED AIR DISTRIBUTION BY OWNER, COORDINATE WITH OWNER'S EQUIPMENT VENDOR.
- PROVIDE 15 MIL VAPOR BARRIER UNDER NEW SLABS, STEGO WRAP OR SIMILAR MEETING ASTM E 1745 CLASS A. SEE STRUCTURAL FOR SLAB THICKNESS. PATCH EXISTING VB WHERE EXISTING SLABS ARE CUT, OR TIE INTO NEW.
- SLOPE SLAB TO DRAINS @ 1/8" / FT.
- DO NOT LOCATE SAW CUT FLOOR JOINTS UNDER VEHICLE LIFT BASE PLATES PER MFR.
- PROVIDE VAPOR RETARDANT PAINT PRIMER AS INDICATED ON FINISH PLAN (14A6.1).
- SEE CIVIL FOR EXTERIOR BOLLARDS.
- FIRE EXTINGUISHERS: DRY CHEMICAL TYPE, 10 POUNDS.
- REFER TO STRUCTURAL FOR ALL STOOP LOCATIONS.
- FE=BRACKET MOUNTED FIRE EXTINGUISHER. FEC=SEMI-RECESSED FIRE EXTINGUISHER CABINET. (E) DENOTES EXISTING.

### FLOOR PLAN NOTES

- HD TWIN-POST LIFT BY OWNER.
- NEMA 1450 OUTLET FOR CONNECTION OF LEVEL 2 ELECTRIC VEHICLE CHARGER. SEE ELECT.
- TRENCH DRAIN, SEE MECH. SLOPE SLAB TO DRAIN, 1/8" / FT.
- ALIGNMENT RACK PIT. SLOPE TO DRAIN 1/8" / FT.
- PAINT GWB CEILING 1-1. TYP.
- WORK BENCH BY OWNER.
- 4" YELLOW PAINTED STRIPE. SEE FINISH PLAN.
- NEW ALUMINUM STOREFRONT.
- SEE STRUCTURE FOR BRACING MODIFICATIONS.
- SEE STRUCTURE FOR NEW BRACING RECONSTRUCT WALL W/ 3-5/8" MTL STUD AND 5/8" GWB. PAINT TO MATCH EXISTING. PROVIDE NEW RUBBER BASE TO MATCH EXISTING, OR SALVAGE EXISTING.
- EXTEND EXISTING WALL TO STRUCTURE. 5/8" GWB EA SIDE.
- REPLACE LINER PANEL AND GWB ABOVE.
- REPLACE WALL ASSEMBLY AS REQ'D FOR NEW OPENING. SEE DETAIL 14A6.1.
- 8" CMU WALL, 5'-0" TALL. BULLNOSE CORNERS.
- OIL INTERCEPTOR BASIN, SEE MECH.
- NEMA 1450 OUTLET FOR CONNECTION OF LEVEL 2 ELECTRIC VEHICLE CHARGER. SEE ELECT.
- NEW METAL WALL LINER PANEL AND THERMAL INSULATION. SEE DETAIL 14A6.1.
- PAINTED CLEARANCE STRIPING, YELLOW.
- ADD (1) LAYER 5/8" GWB TO EXISTING STUDS, APPROX 8'-0" TO STRUCTURE.
- FRAMELESS GLASS ON HALF-HEIGHT WALL @ EA ADVISOR, SEE INT. ELEVATIONS.
- DOOR OPERATOR CONTROL STATION.
- 6" GALVANIZED STL BOLLARD W/ BASE PLATE. PAINT SAFETY YELLOW.
- EXTEND NEW WALL TO ROOF STRUCTURE.
- ENLARGE EXISTING OPENING AS REQUIRED FOR NEW DOOR AND FRAME.
- GRIND DOWN EXISTING PIT 16" BELOW NEW SLAB. INFILL WITH WELL-COMPACTED GRANULAR FILL OR COVER PIT W/ METAL DECK PRIOR TO SLAB INFILL. VERIFY EXTENTS.



Vertical scale bars on the left side of the page, ranging from 0 to 30 feet. Scales include 1/8" = 1'-0", 1/4" = 1'-0", 1/2" = 1'-0", 3/4" = 1'-0", 1" = 1'-0", 1 1/2" = 1'-0", 2" = 1'-0", 3" = 1'-0", 4" = 1'-0", 6" = 1'-0", 8" = 1'-0", 10" = 1'-0", 12" = 1'-0", 15" = 1'-0", 20" = 1'-0", 25" = 1'-0", 30" = 1'-0".

**FLOOR PLAN GENERAL NOTES**

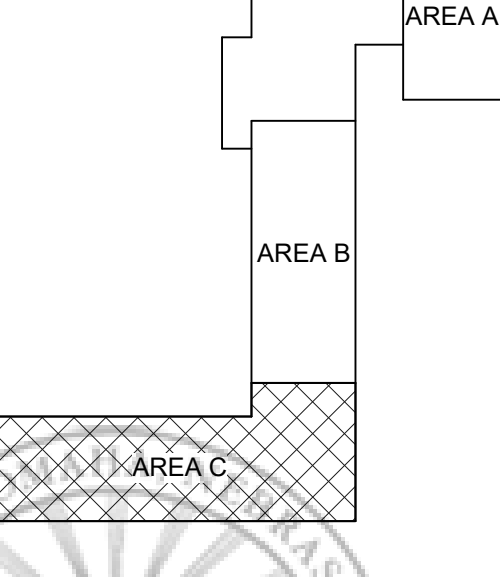
- ALL DIMENSIONS ARE TO FACE OF WALL UNLESS NOTED OTHERWISE.
- FIELD VERIFY ALL DIMENSIONS.
- SHOP EQUIPMENT, VEHICLE EXHAUST, AND COMPRESSED AIR DISTRIBUTION BY OWNER. COORDINATE WITH OWNER'S EQUIPMENT VENDOR.
- PROVIDE 15 MIL VAPOR BARRIER UNDER NEW SLABS, STEGO WRAP OR SIMILAR MEETING ASTM E1745 CLASS A. SEE STRUCTURAL FOR SLAB THICKNESS. PATCH EXISTING VB WHERE EXISTING SLABS ARE CUT, OR TIE INTO NEW.
- SLOPE SLAB TO DRAINS @ 1/8" FT.
- DO NOT LOCATE SAW CUT FLOOR JOINTS UNDER VEHICLE LIFT BASE PLATES PER MFR.
- PROVIDE VAPOR RETARDANT PAINT PRIMER AS INDICATED ON FINISH PLAN (14A6.1).
- SEE CIVIL FOR EXTERIOR BOLLARDS.
- FIRE EXTINGUISHERS: DRY CHEMICAL TYPE, 10 POUNDS.
- REFER TO STRUCTURAL FOR ALL STOOP LOCATIONS.
- FE=BRACKET MOUNTED FIRE EXTINGUISHER. FEC=SEMI-RECESSED FIRE EXTINGUISHER CABINET. (E) DENOTES EXISTING.

**FLOOR PLAN NOTES**

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- NEMA 1450 OUTLET FOR CONNECTION OF LEVEL 2 ELECTRIC VEHICLE CHARGER. SEE ELECT.
- TRENCH DRAIN, SEE MECH. SLOPE SLAB TO DRAIN, 1/8" / FT.
- ALIGNMENT RACK PIT. SLOPE TO DRAIN 1/8" / FT.
- PAINT GWB CEILING P-1, TYP.
- WORK BENCH BY OWNER.
- 4" YELLOW PAINTED STRIPE. SEE FINISH PLAN.
- NEW ALUMINUM STOREFRONT.
- SEE STRUCTURE FOR BRACING MODIFICATIONS.
- SEE STRUCT FOR NEW BRACING RECONSTRUCT WALL W/ 3-5/8" MTL STUD AND 5/8" GWB. PAINT TO MATCH EXISTING. PROVIDE NEW RUBBER BASE TO MATCH EXISTING, OR SALVAGE EXISTING.
- EXTEND EXISTING WALL TO STRUCTURE. 5/8" GWB EA SIDE.
- REPLACE LINER PANEL AND GWB ABOVE.
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- 8" CMU WALL, 5'-0" TALL. BULLNOSE CORNERS.
- OIL INTERCEPTOR BASIN, SEE MECH.
- NEMA 1450 OUTLET FOR CONNECTION OF LEVEL 2 ELECTRIC VEHICLE CHARGER. SEE ELECT.
- NEW METAL WALL LINER PANEL AND THERMAL INSULATION. SEE DETAIL 14A6.1.
- PAINTED CLEARANCE STRIPING, YELLOW.
- ADD (1) LAYER 5/8" GWB TO EXISTING STUDS, APPROX 8'-0" TO STRUCTURE.
- FRAMELESS GLASS ON HALF-HEIGHT WALL @ EA ADVISOR. SEE INT. ELEVATIONS.
- DOOR OPERATOR CONTROL STATION.
- 6" GALVANIZED STL BOLLARD W/ BASE PLATE. PAINT SAFETY YELLOW.

**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION

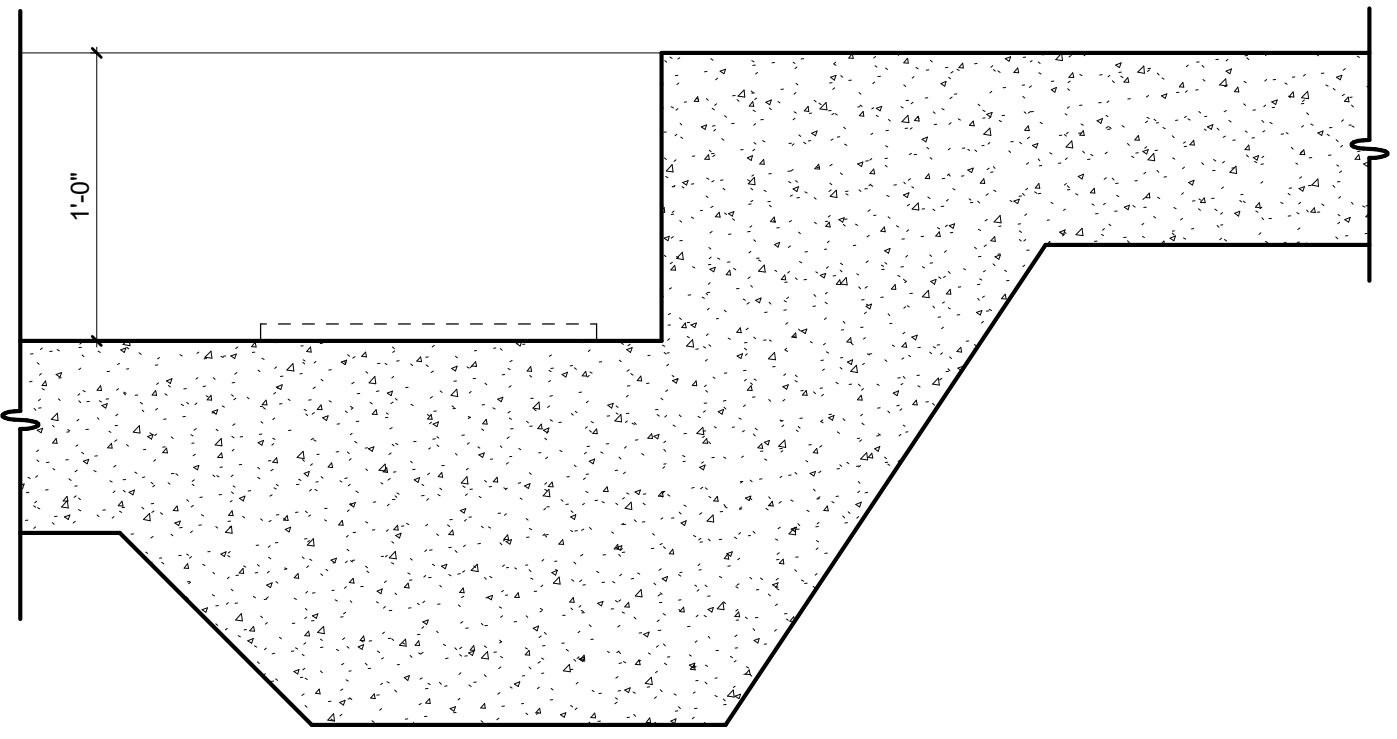


**WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS**  
 PROJECT: 23043 DATE: DEC 19, 2023  
 PROJECT STATUS: CD SUBMITTAL

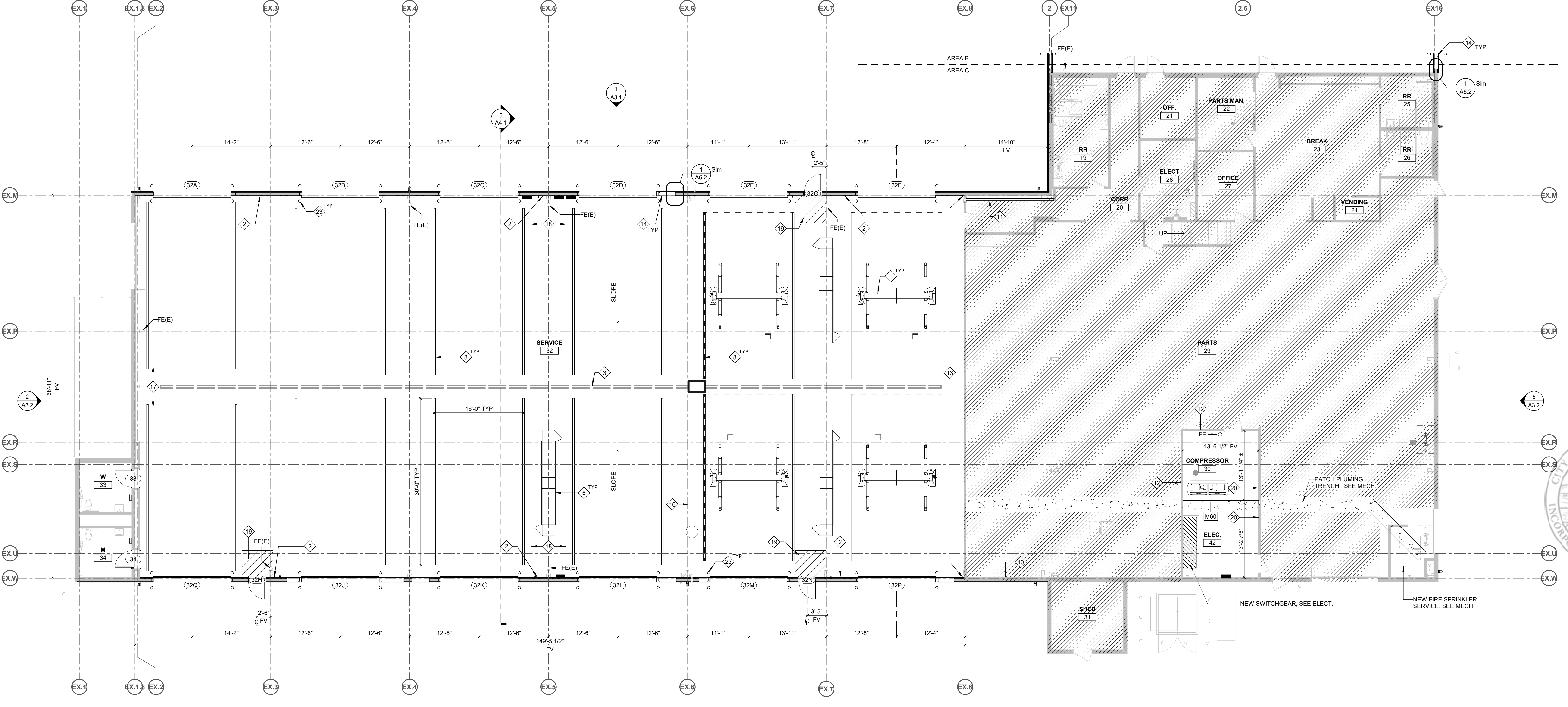


**FIRST FLOOR PLAN - AREA C**

**2 DETAIL - PIT**  
 1 1/2" = 1'-0"



**1 FIRST FLOOR PLAN - AREA C**  
 1/8" = 1'-0"



Vertical scale bars for different drawing sections:

- 0 to 9 INCH SCALE 3" = 1'-0"
- 0 to 12 INCH SCALE 1-1/2" = 1'-0"
- 0 to 3 FEET SCALE 3/4" = 1'-0"
- 0 to 1 FEET SCALE 1/2" = 1'-0"
- 0 to 10 FEET SCALE 1/4" = 1'-0"
- 0 to 20 FEET SCALE 1/8" = 1'-0"
- 0 to 30 FEET SCALE 1/16" = 1'-0"
- 0 to 25 FEET SCALE 3/32" = 1'-0"



### ROOF PLAN NOTES

1. PROVIDE 8" MIN CLEARANCE AT ALL CURBS, PARAPETS, AND FLASHINGS ABOVE THE ROOF TO WALL TRANSITION LINO.
2. SEE STRICT FOR FRAMING REQUIREMENTS AROUND ROOF PENETRATIONS AND EQUIPMENT.
3. COORDINATE SIZE AND LOCATIONS OF ALL ROOF PENETRATIONS AND EQUIPMENT. SEE MECH AND ELEC DRAWINGS FOR ANY EQUIPMENT NOT SHOWN. FLASH AND SEAL ALL EQUIPMENT AND TRANSITIONS PER ROOFING MFR'S RECOMMENDATIONS.
4. PROVIDE CRICKETS AT ALL ROOF PENETRATIONS.
5. NEW GUTTERS AND DOWNSPOUT TO MATCH EXISTING PROFILE/GAUGE.



PHOTO 1



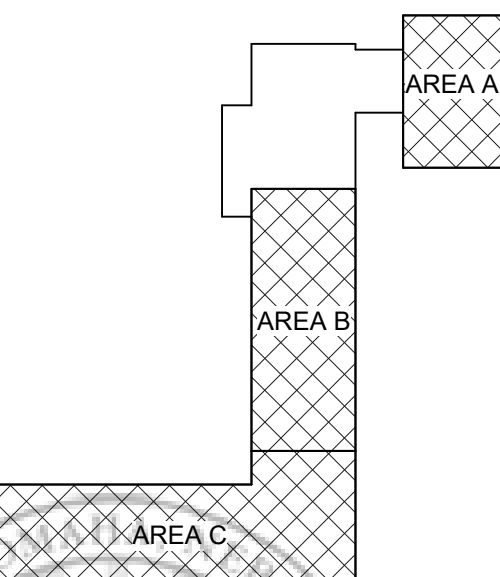
PHOTO 2



PHOTO 3

### REVISIONS SCHEDULE

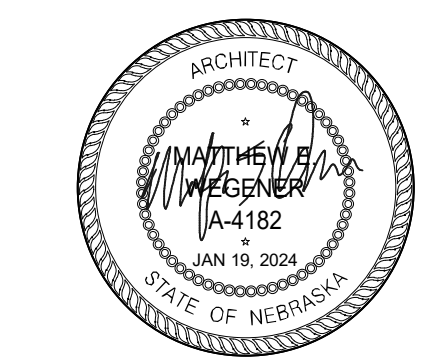
MARK	DATE	DESCRIPTION



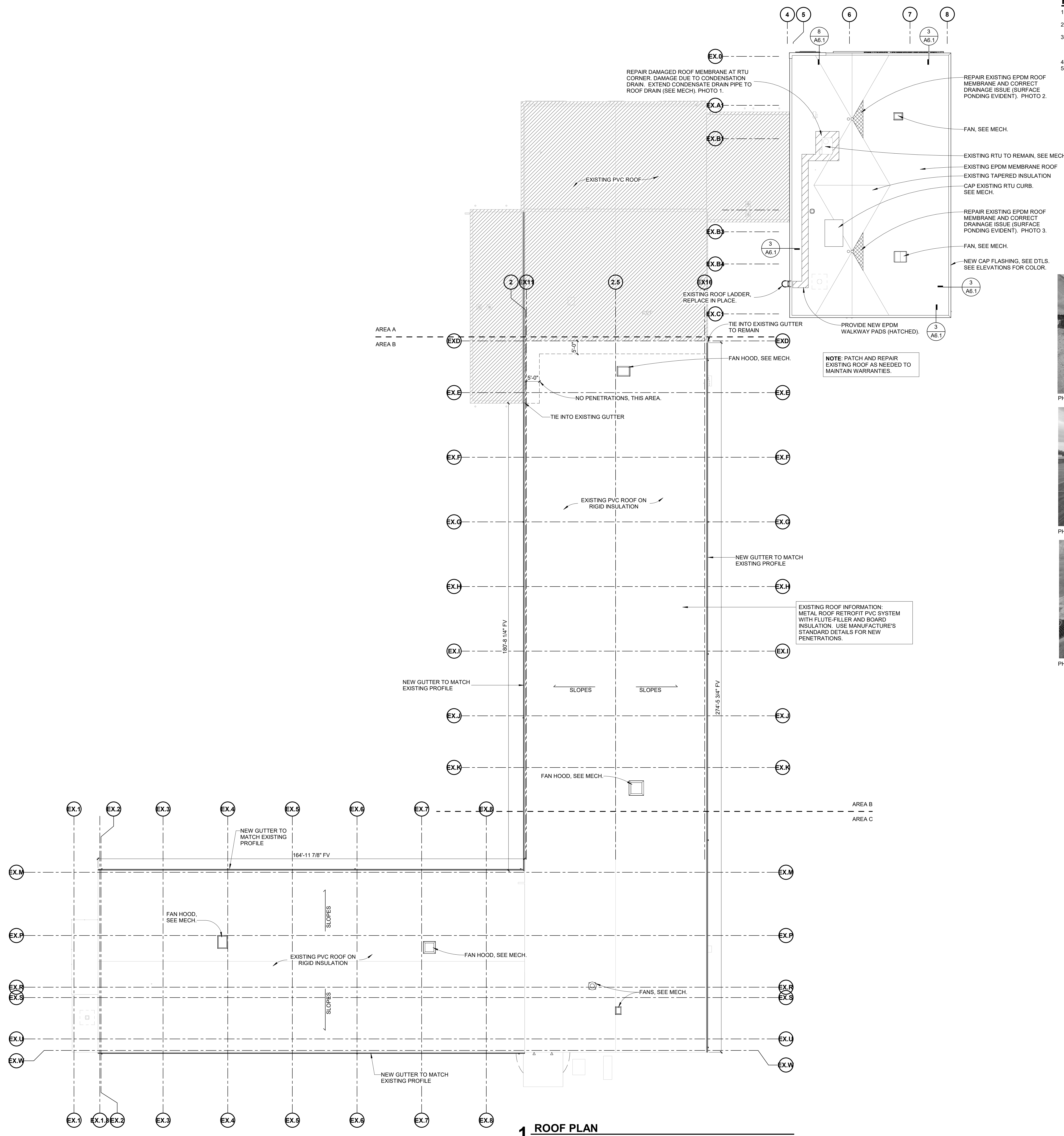
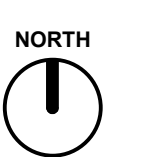
### WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS

PROJECT: 23043 DATE: DEC 19, 2023  
 PROJECT STATUS: CD SUBMITTAL

2023.12.19.23



### ROOF PLAN



**1 ROOF PLAN**  
 1/16" = 1'-0"

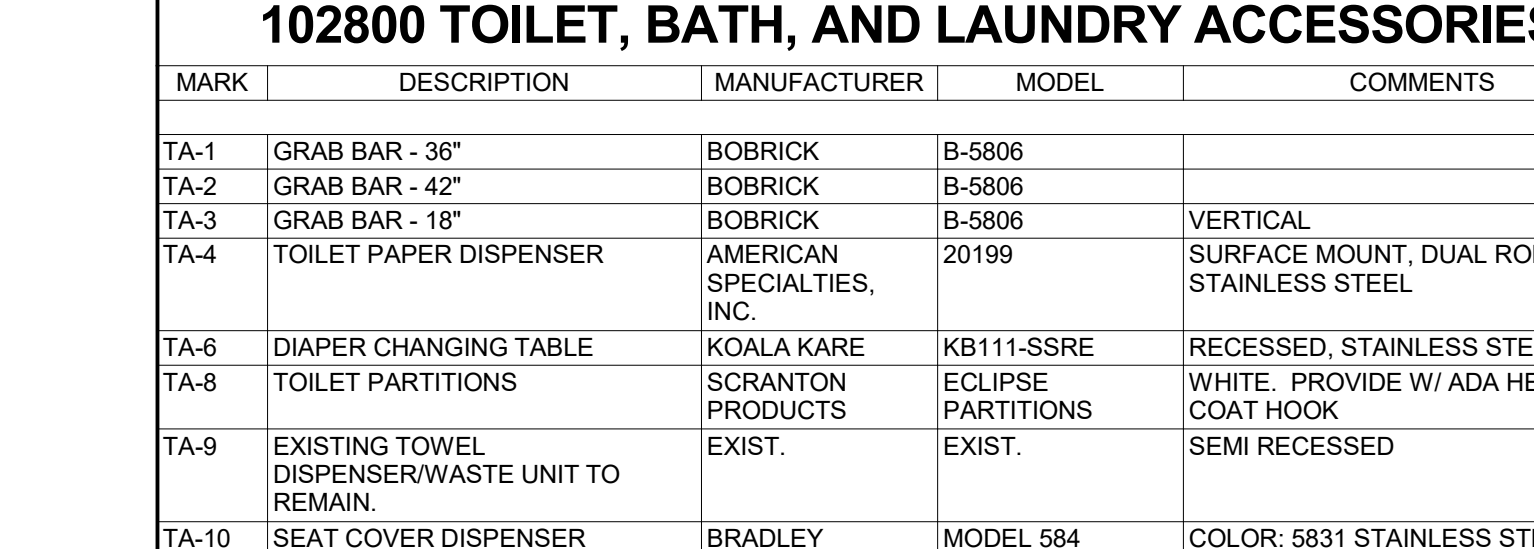
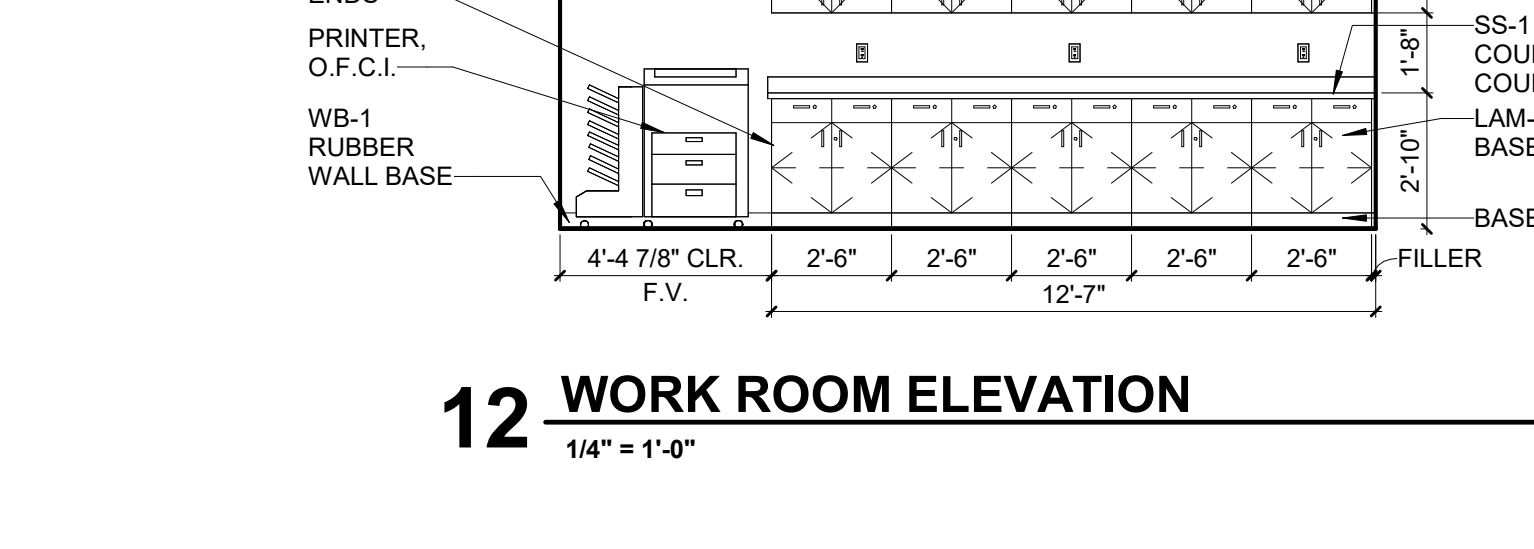
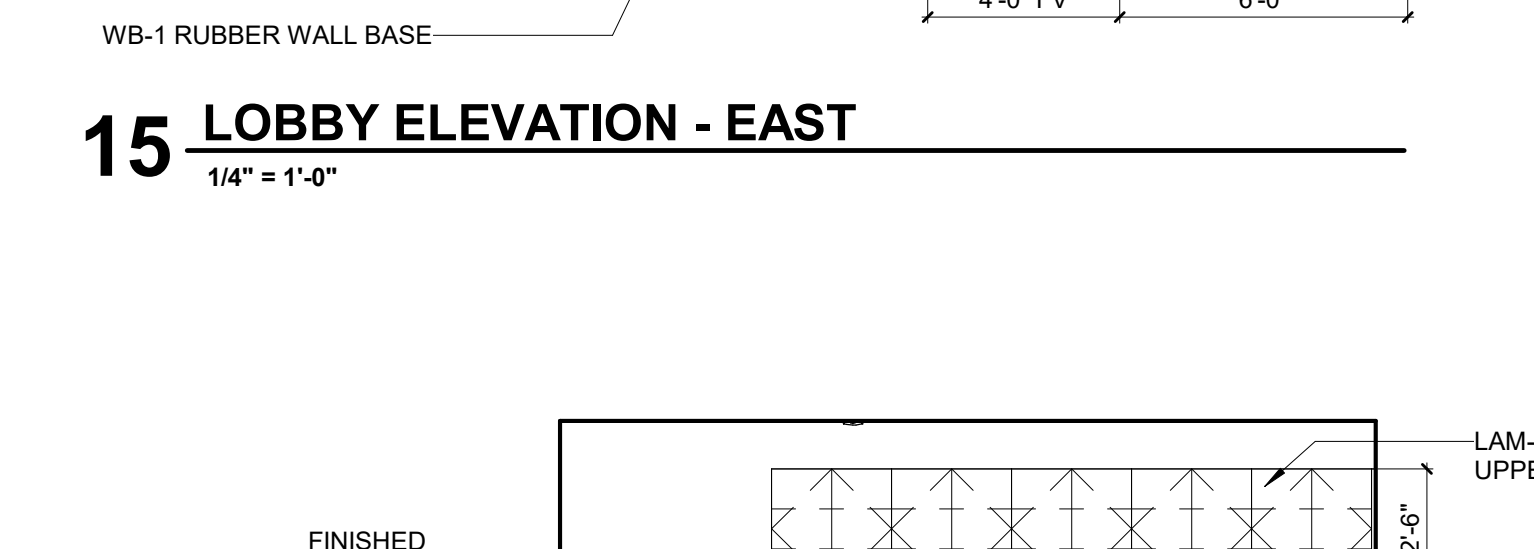
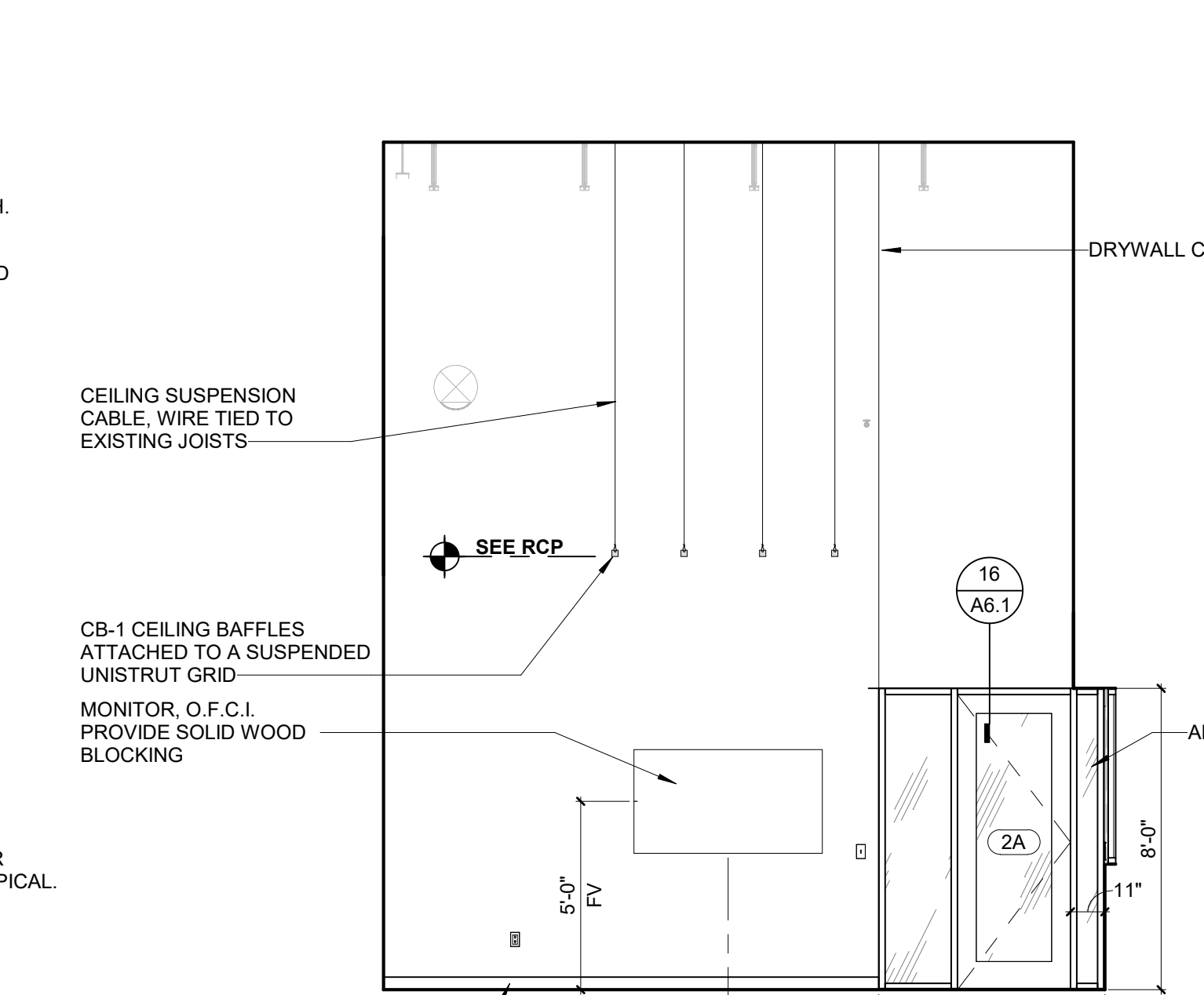
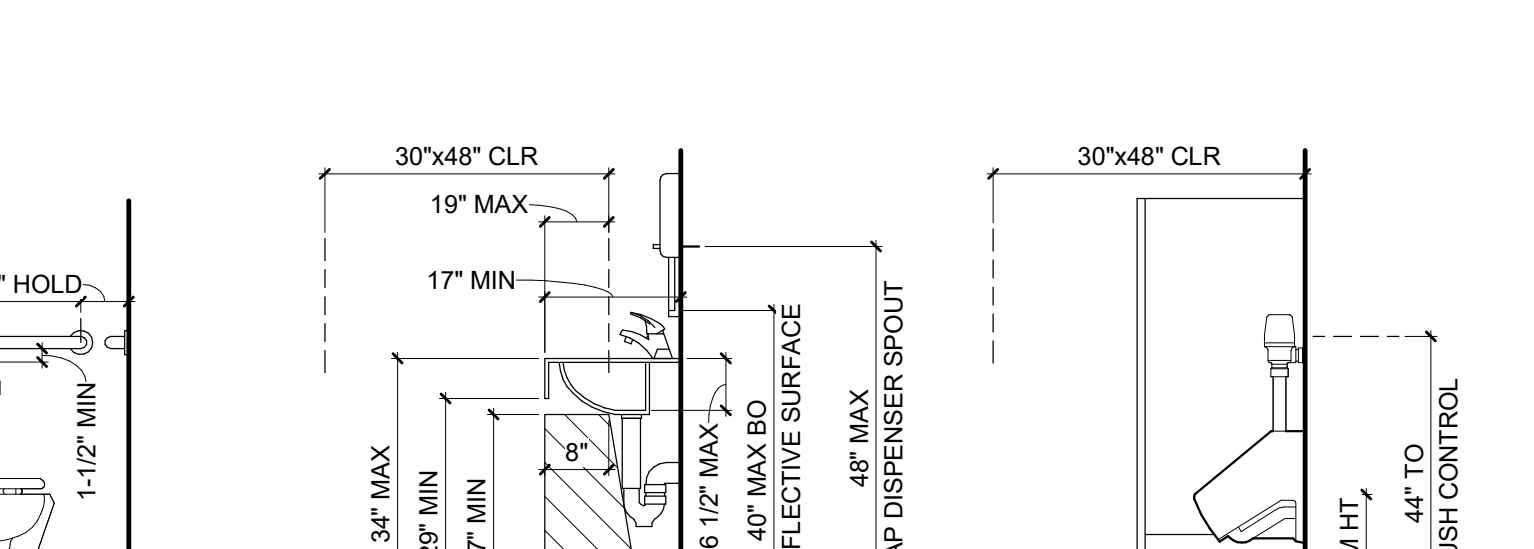
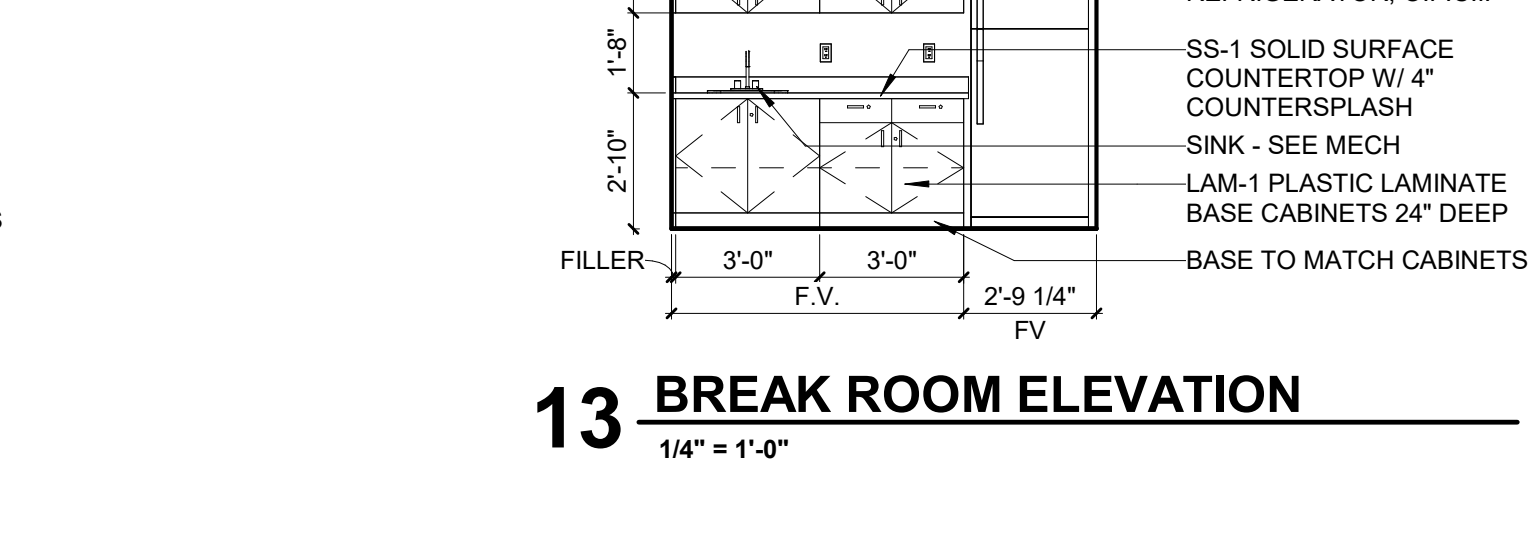
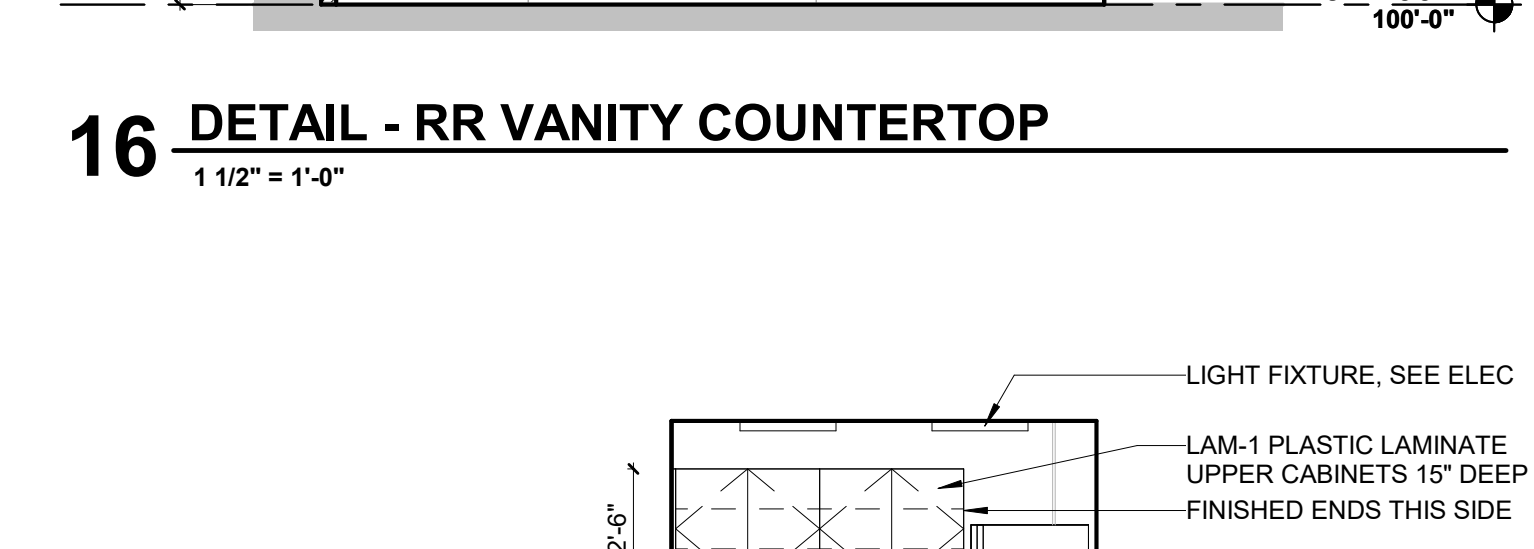
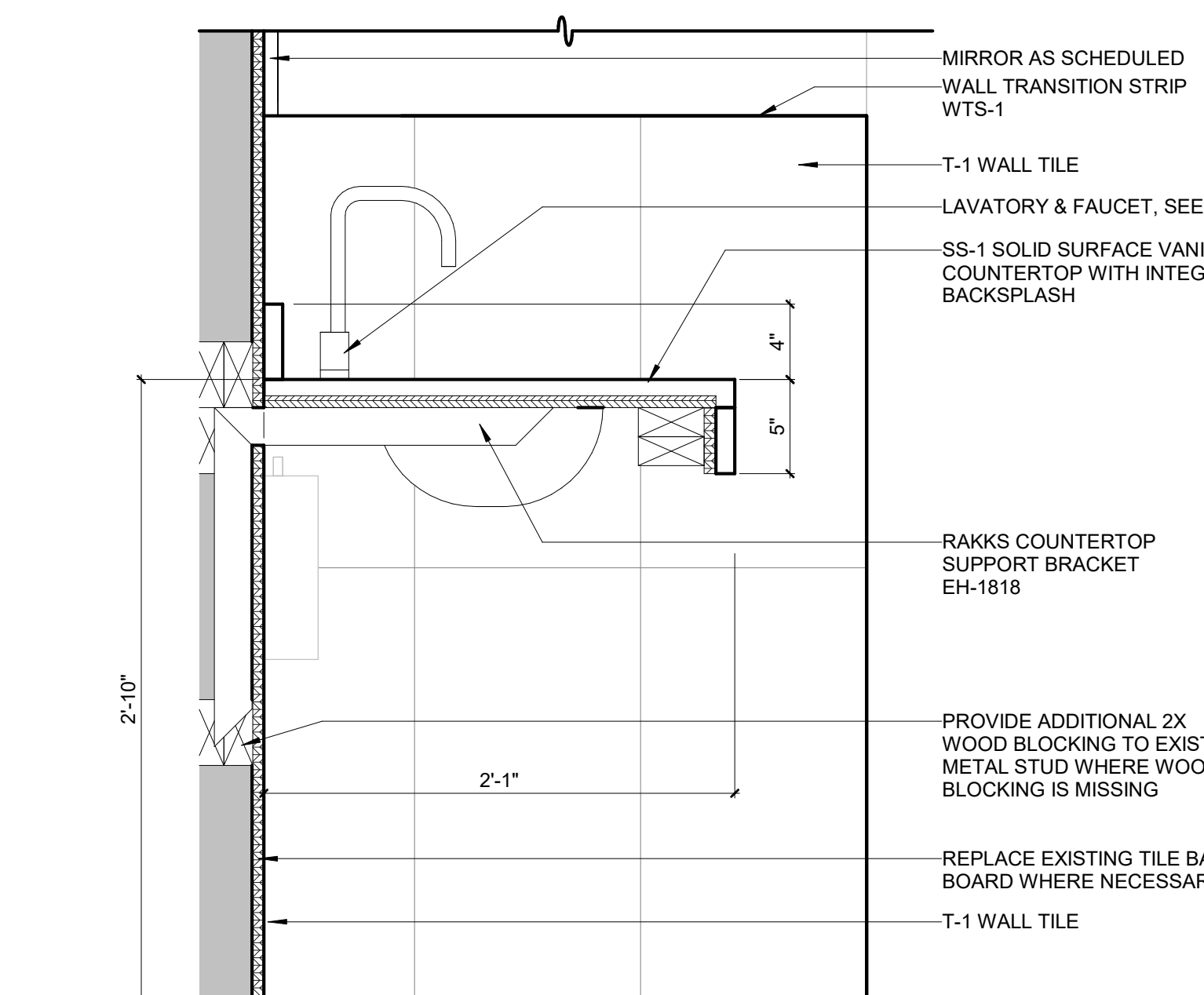
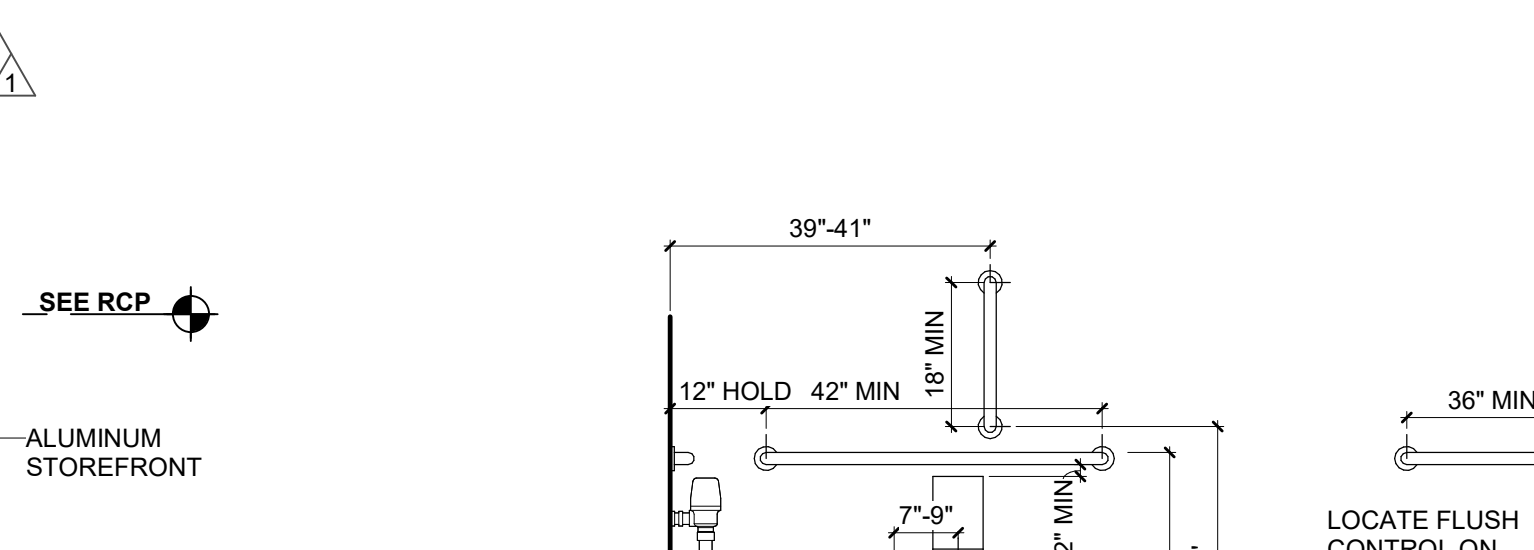
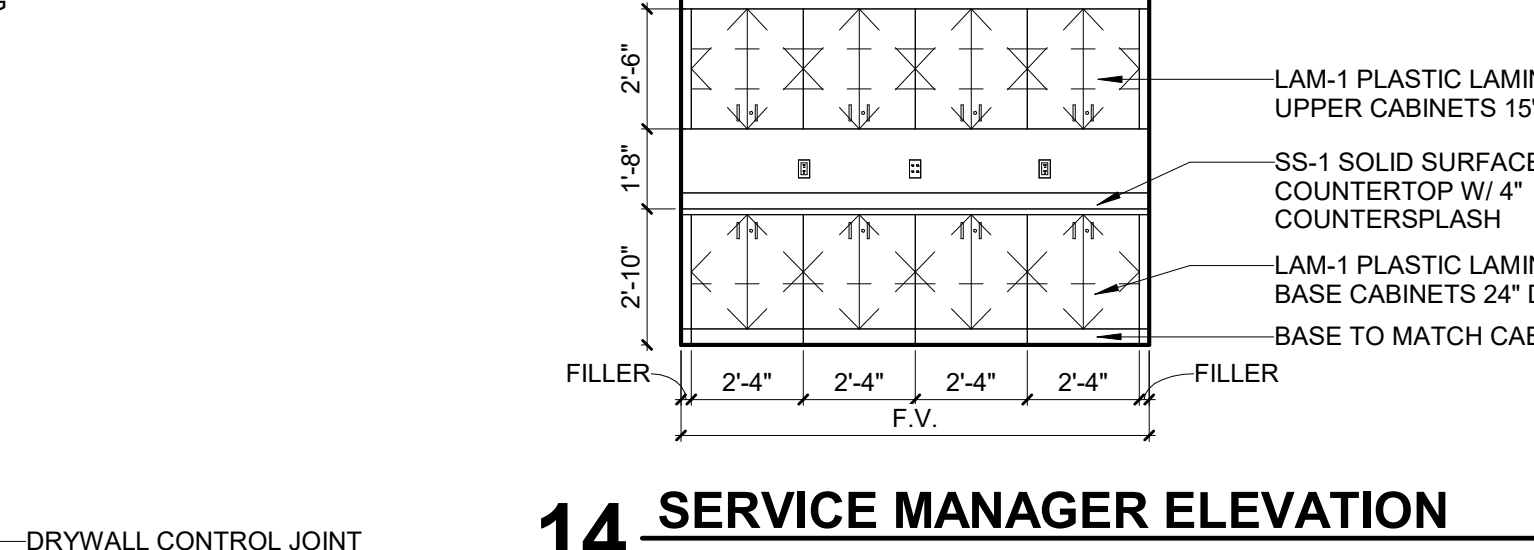
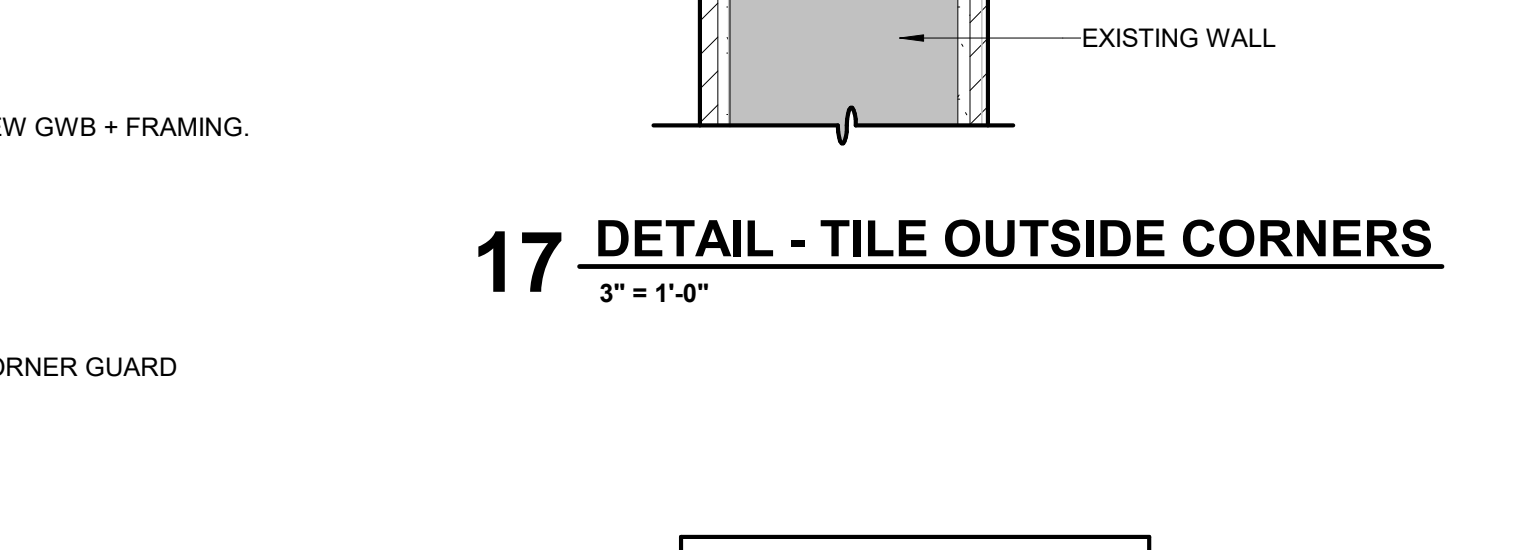
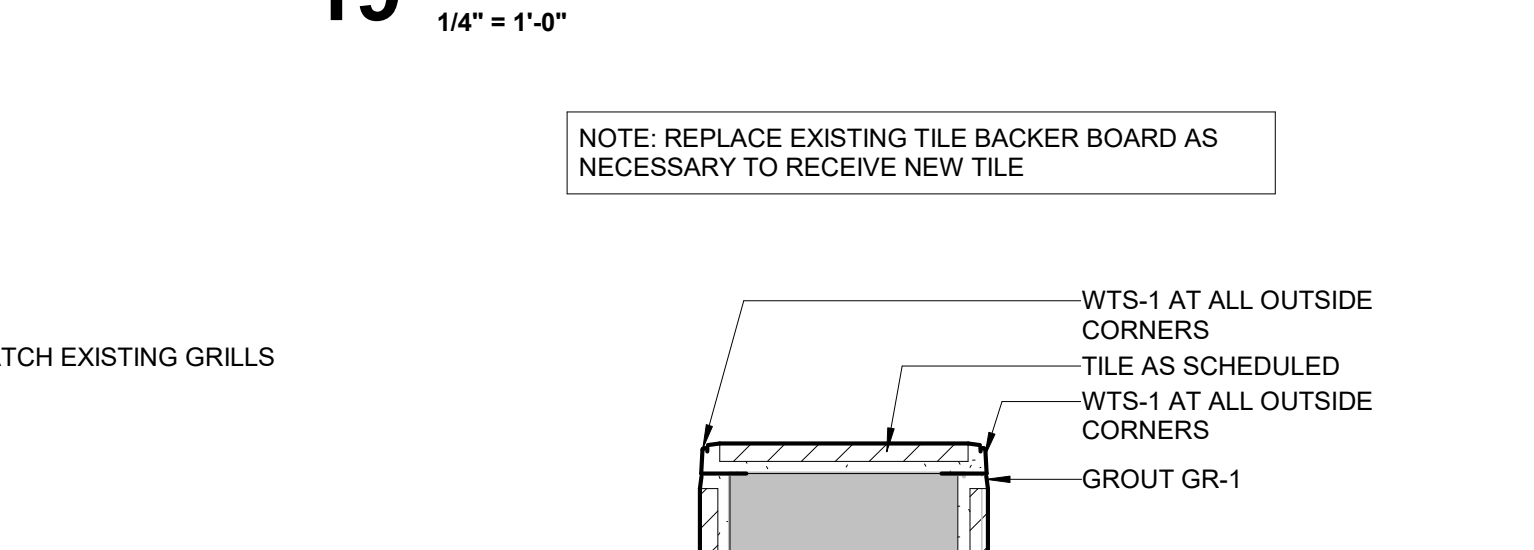
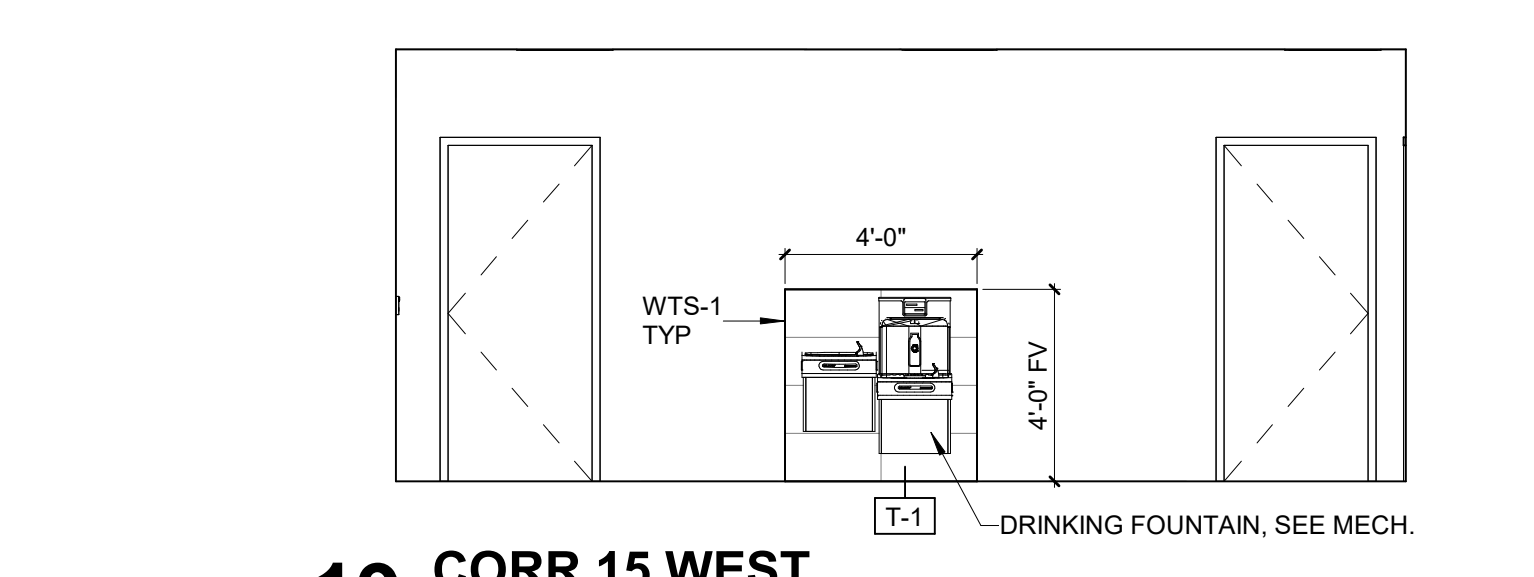
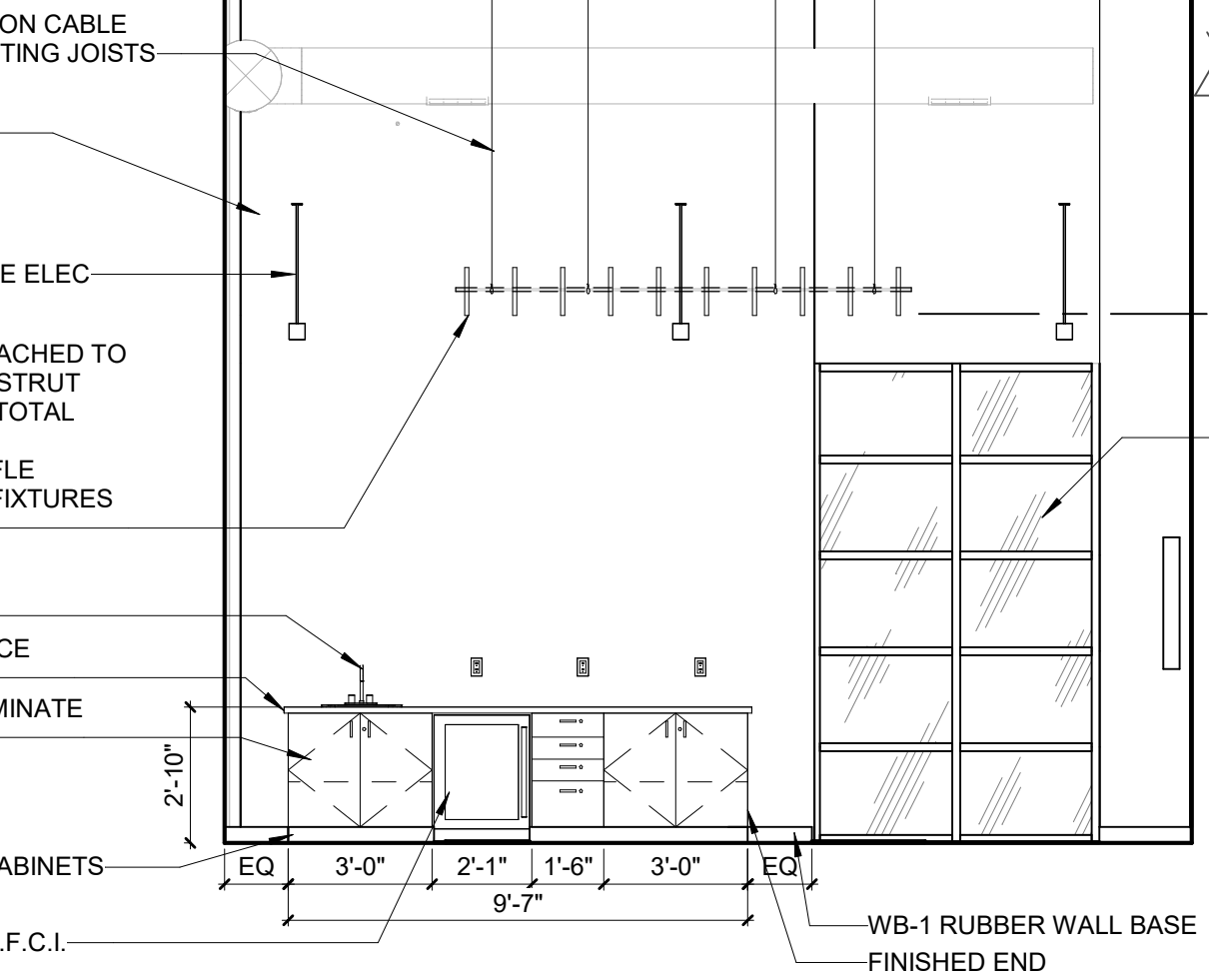
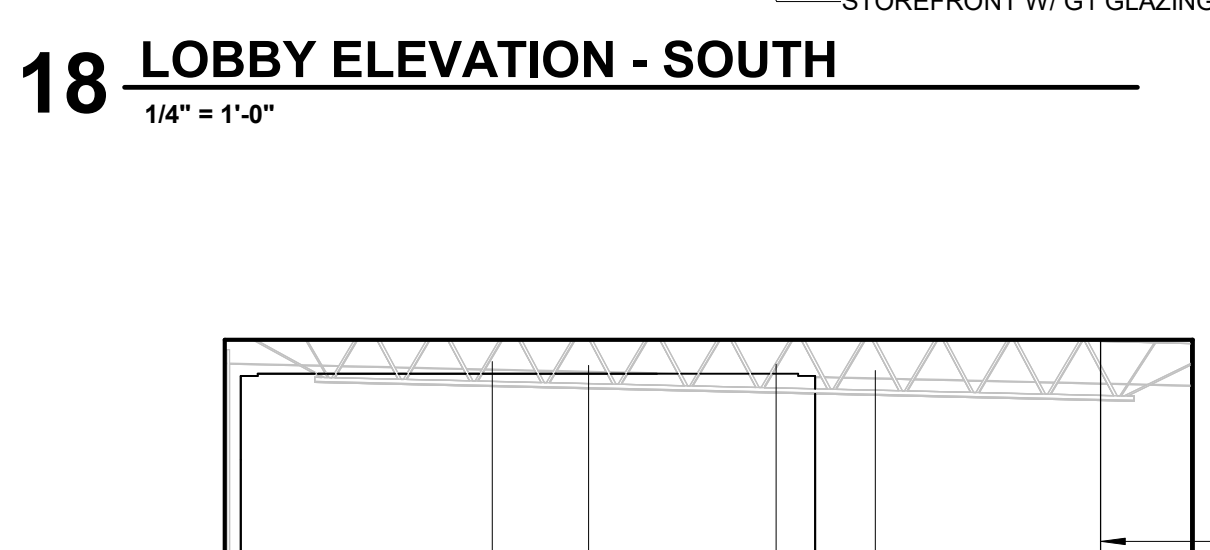
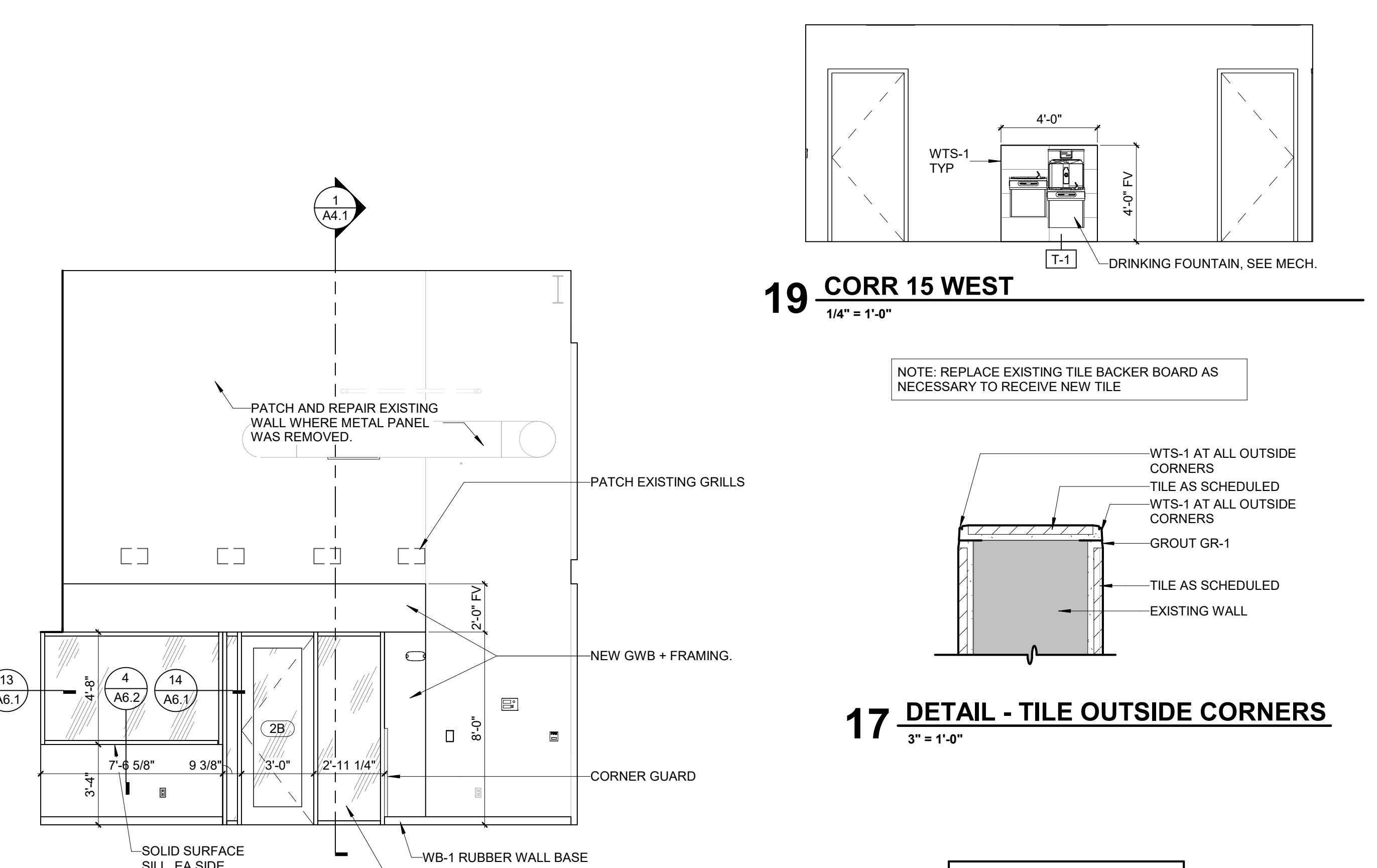
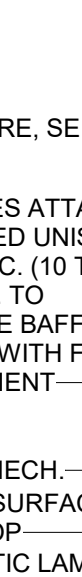
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**ARCHITECT**  
 BVH ARCHITECTURE  
 301 JONES STREET  
 OMAHA, NE 68102  
 F 402 345 3090  
 F 402 345 7871  
 bvh.com

**CIVIL ENGINEER**  
 LAMP RYNEARSON  
 14710 W DODGE RD #100  
 OMAHA, NE 68154  
 V 402 496 2498  
 tra-inc.com

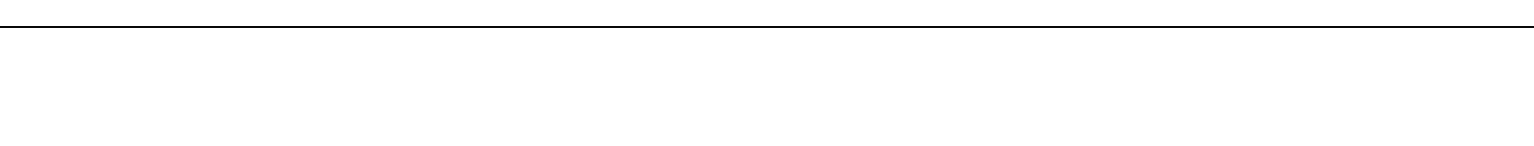
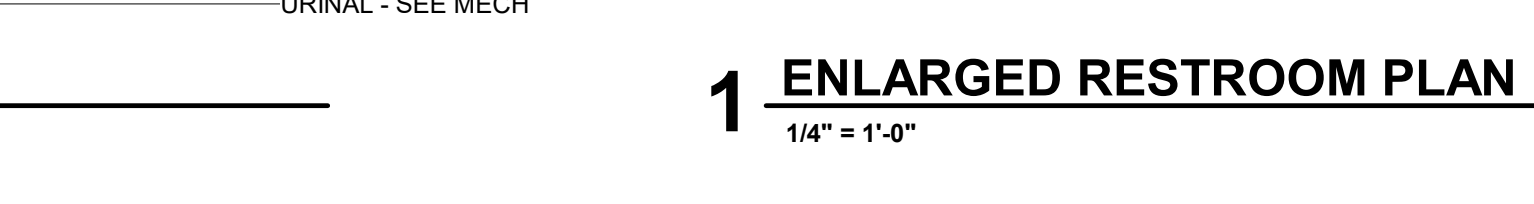
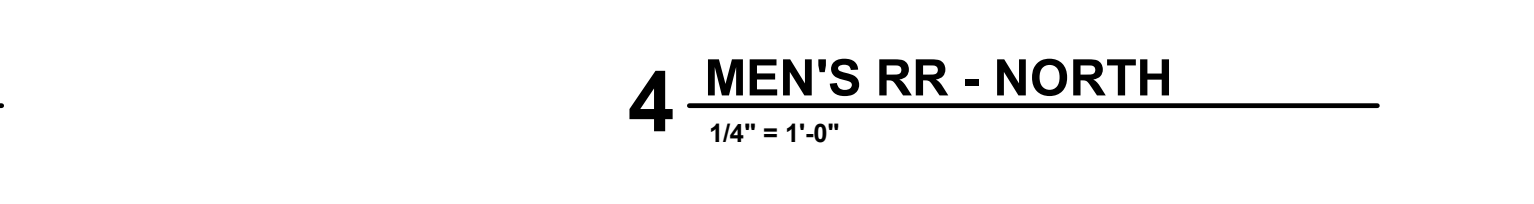
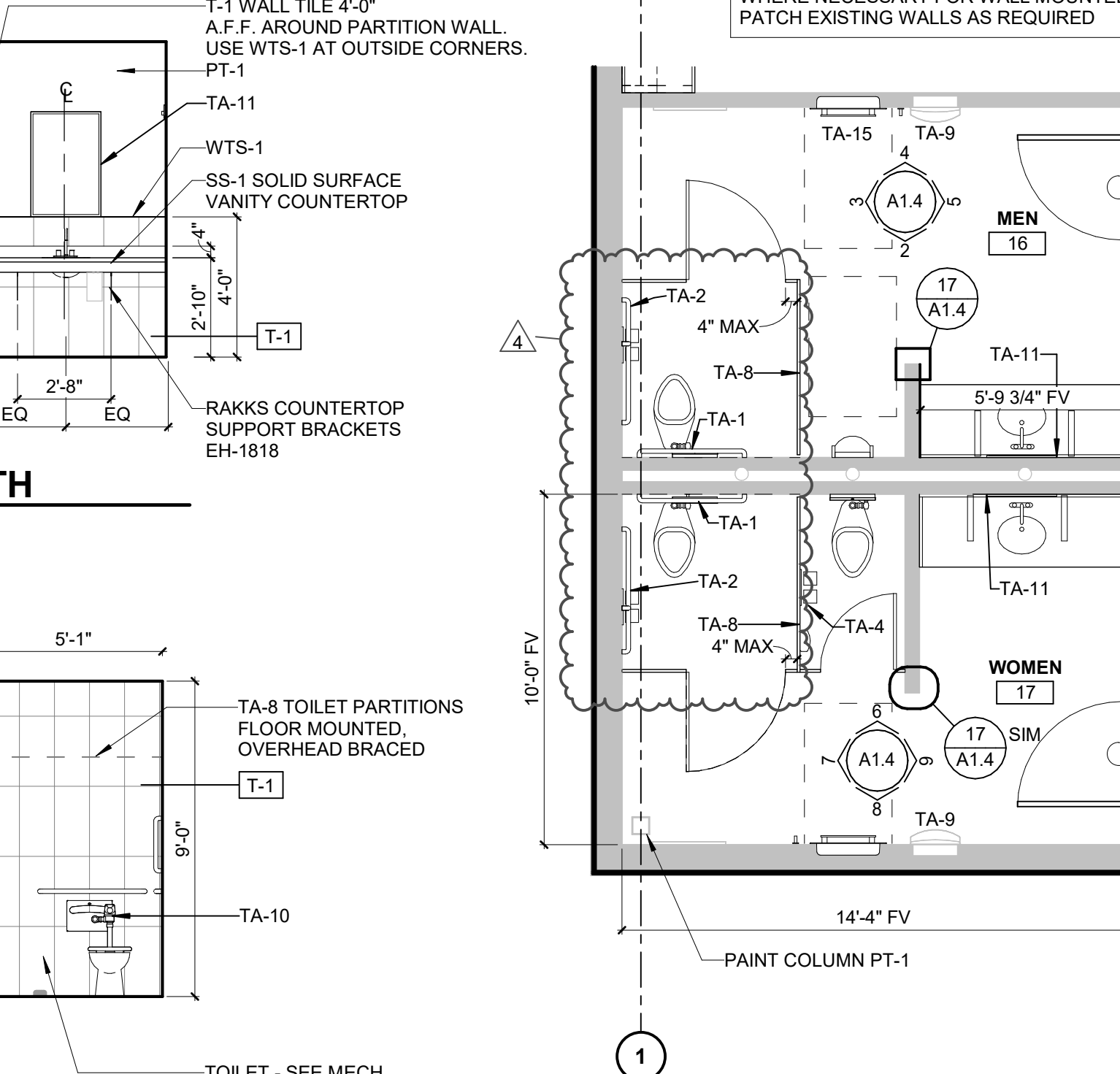
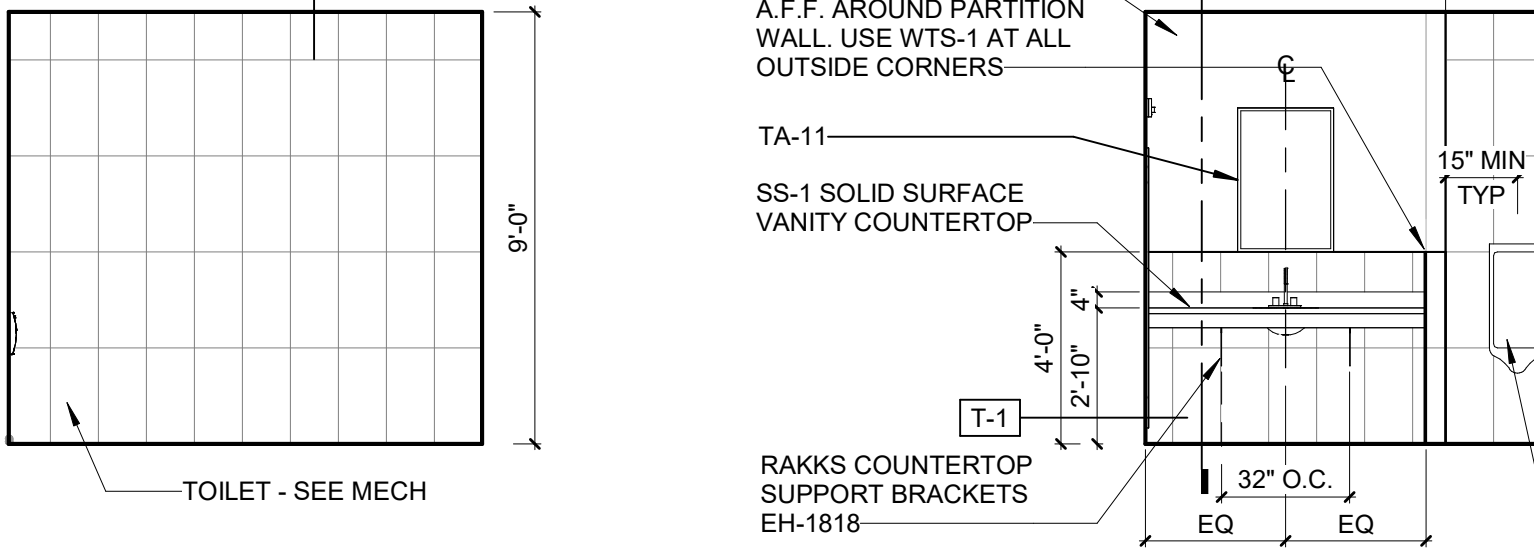
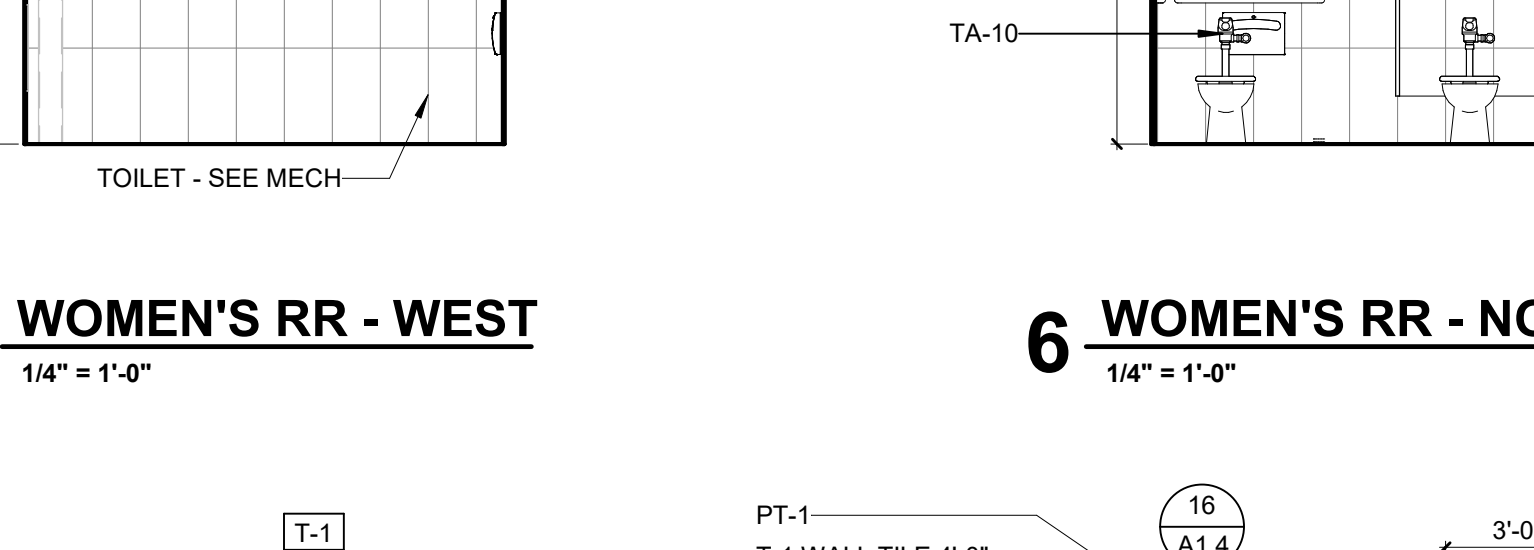
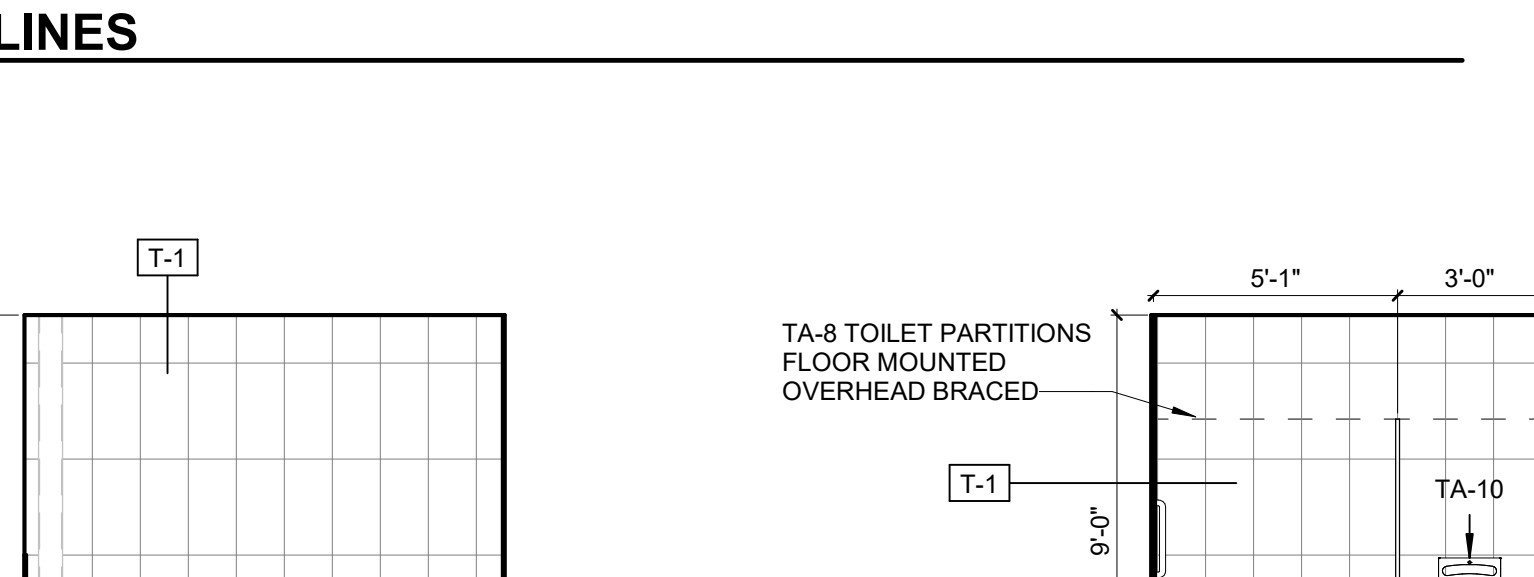
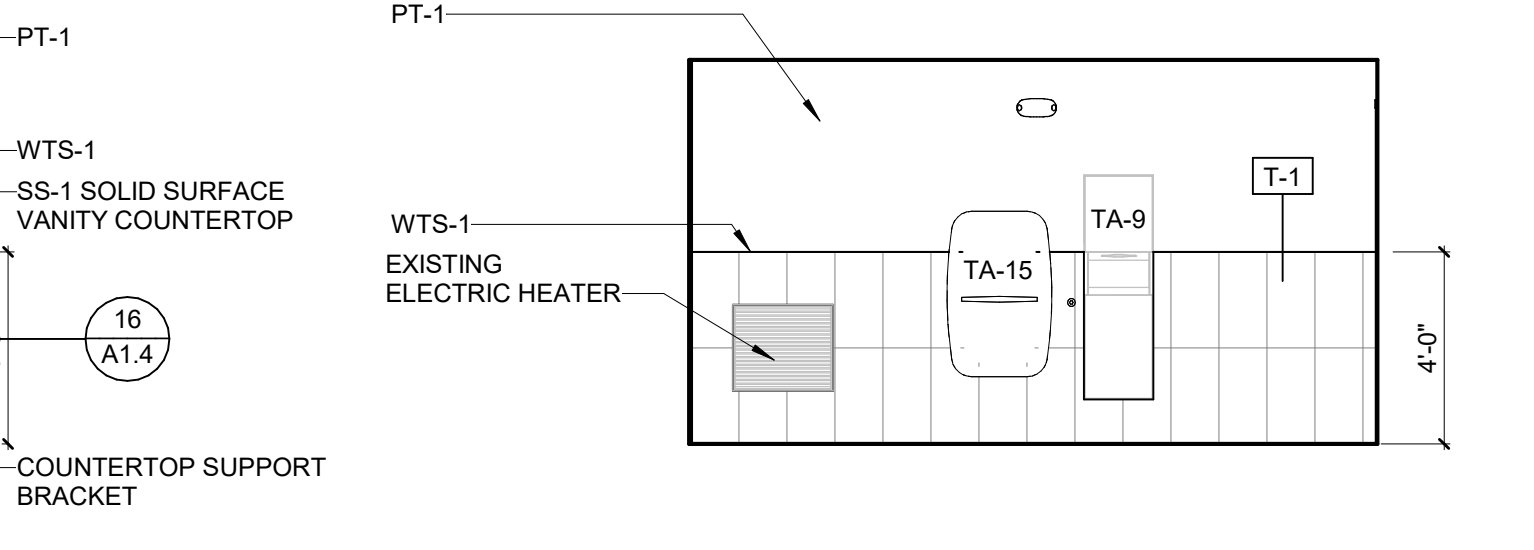
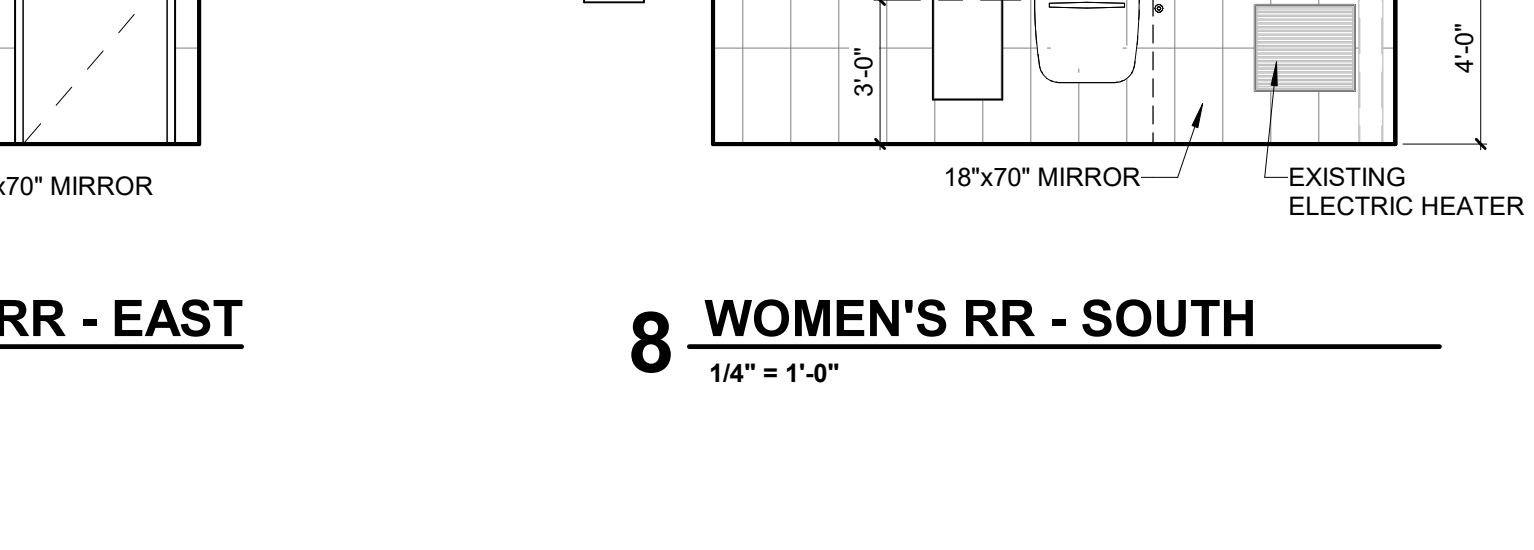
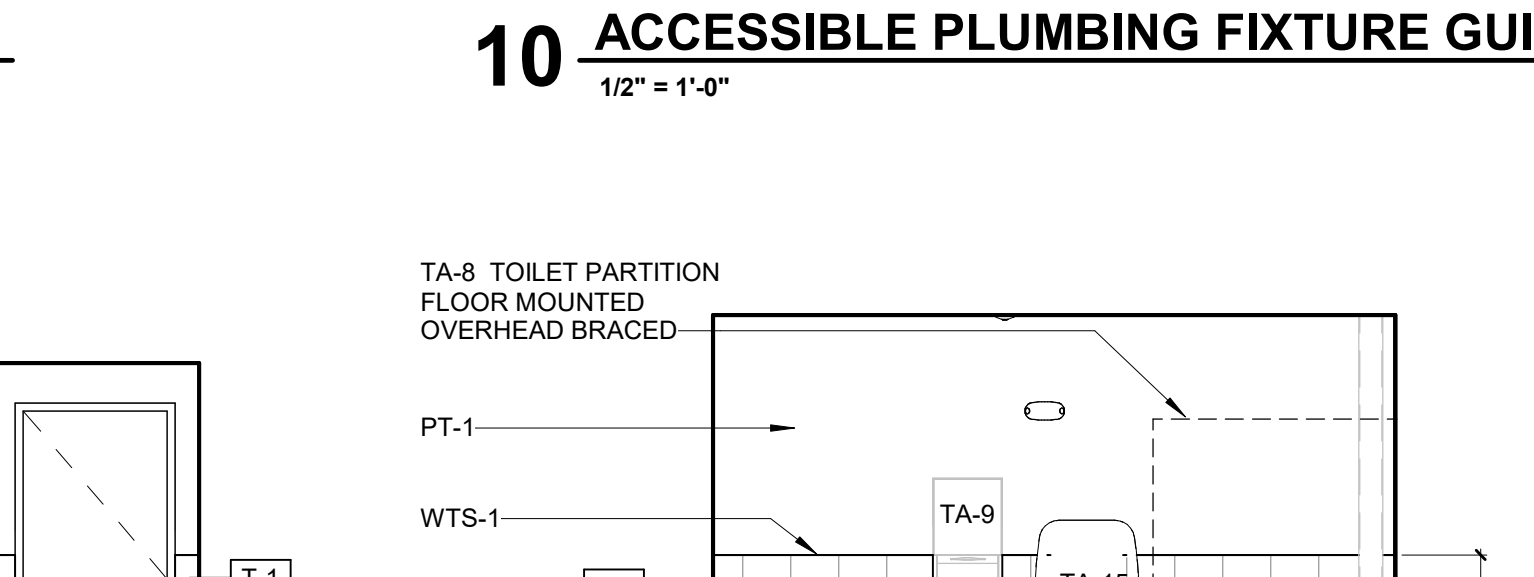
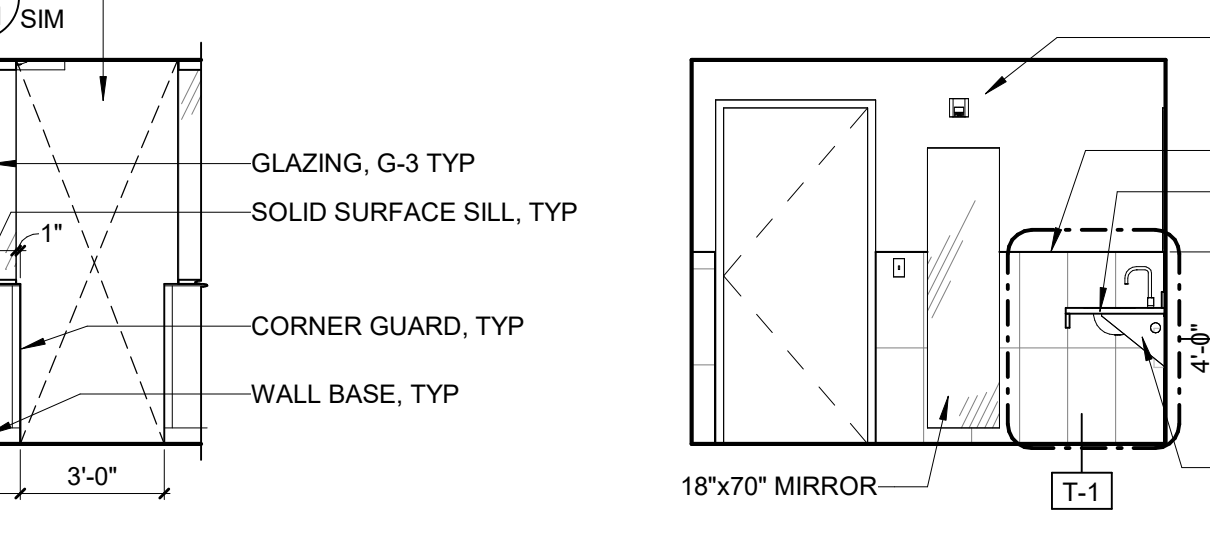
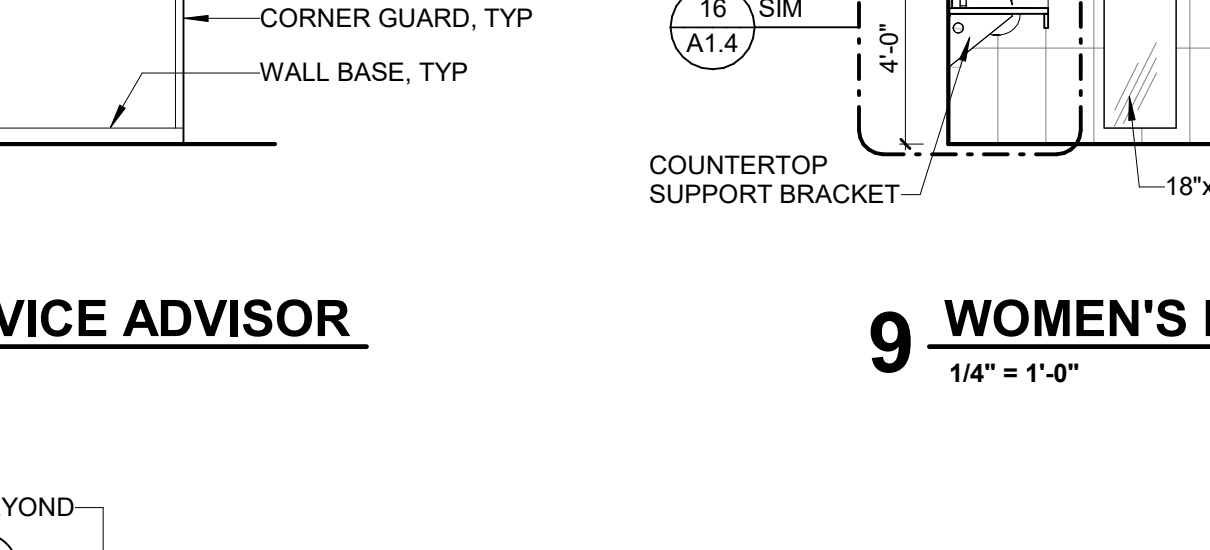
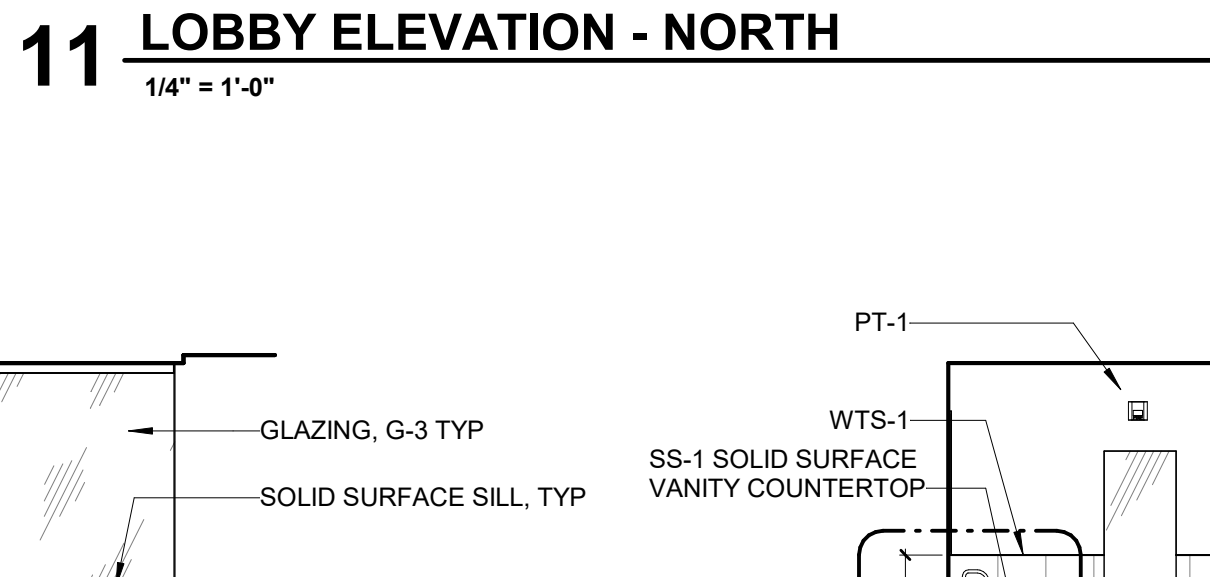
**STRUCTURAL ENGINEER**  
 LANGE STRUCTURAL GROUP  
 1919 S 40TH STREET, SUITE 302  
 LINCOLN, NE 68506  
 V 402 421 9540  
 langedstructuralgroup.com

**MEP ENGINEER**  
 MORRISSEY ENGINEERING  
 4940 N 118TH ST  
 OMAHA, NE 68154  
 V 402 491 4144  
 morrisseyengineering.com



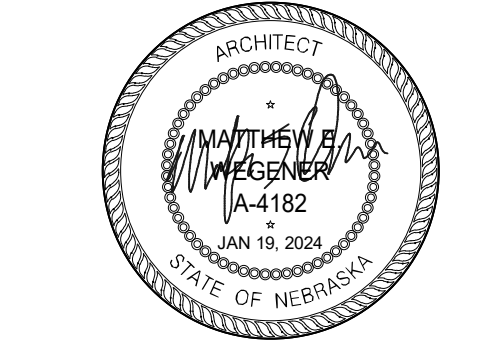
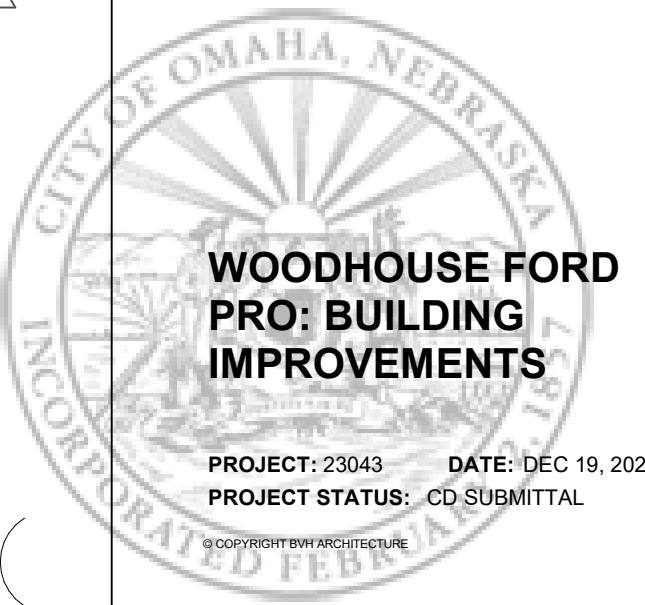
**102800 TOILET, BATH, AND LAUNDRY ACCESSORIES**

MARK	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
TA-1	GRAB BAR - 36"	BOBRICK	B-5806	
TA-2	GRAB BAR - 42"	BOBRICK	B-5806	
TA-3	GRAB BAR - 18"	BOBRICK	B-5806	
TA-4	TOILET PAPER DISPENSER	AMERICAN SPECIALTIES, INC.	20199	VERTICAL SURFACE MOUNT, DUAL ROLL, STAINLESS STEEL
TA-6	DIAPER CHANGING TABLE	KOALA KARE	KB111-SSRE	RECESSED, STAINLESS STEEL FINISH
TA-8	TOILET PARTITIONS	SCRANTON PRODUCTS	ECLIPSE PARTITIONS	WHITE. PROVIDE W/ ADA HEIGHT COAT HOOK
TA-9	EXISTING TOWEL DISPENSER/WASTE UNIT TO REMAIN	EXIST.	EXIST.	SEMI RECESSED
TA-10	SEAT COVER DISPENSER	BRADLEY	MODEL 584	COLOR: 5831 STAINLESS STEEL SATIN FINISH
TA-11	MIRROR	BRADLEY	740-018300	STAINLESS STEEL SATIN FINISH
TA-13	DRINKING FOUNTAIN	SEE MECH	SEE MECH	
TA-14	COMBINATION SHELF, MOP/BROOM HOLDER	BOBRICK	B-239 x 34	USE IN JANITOR ROOM 13
TA-15	BABY CHANGING STATION	KOALA KARE	KB311-SSRE	STAINLESS STEEL RECESSED.



**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION
1	02/01/2024	ADDENDUM 1
4	3/28/2024	CORRECTIONS



**ENLARGED PLANS & INTERIOR ELEVATIONS**

**ENLARGED PLANS & INTERIOR ELEVATIONS**

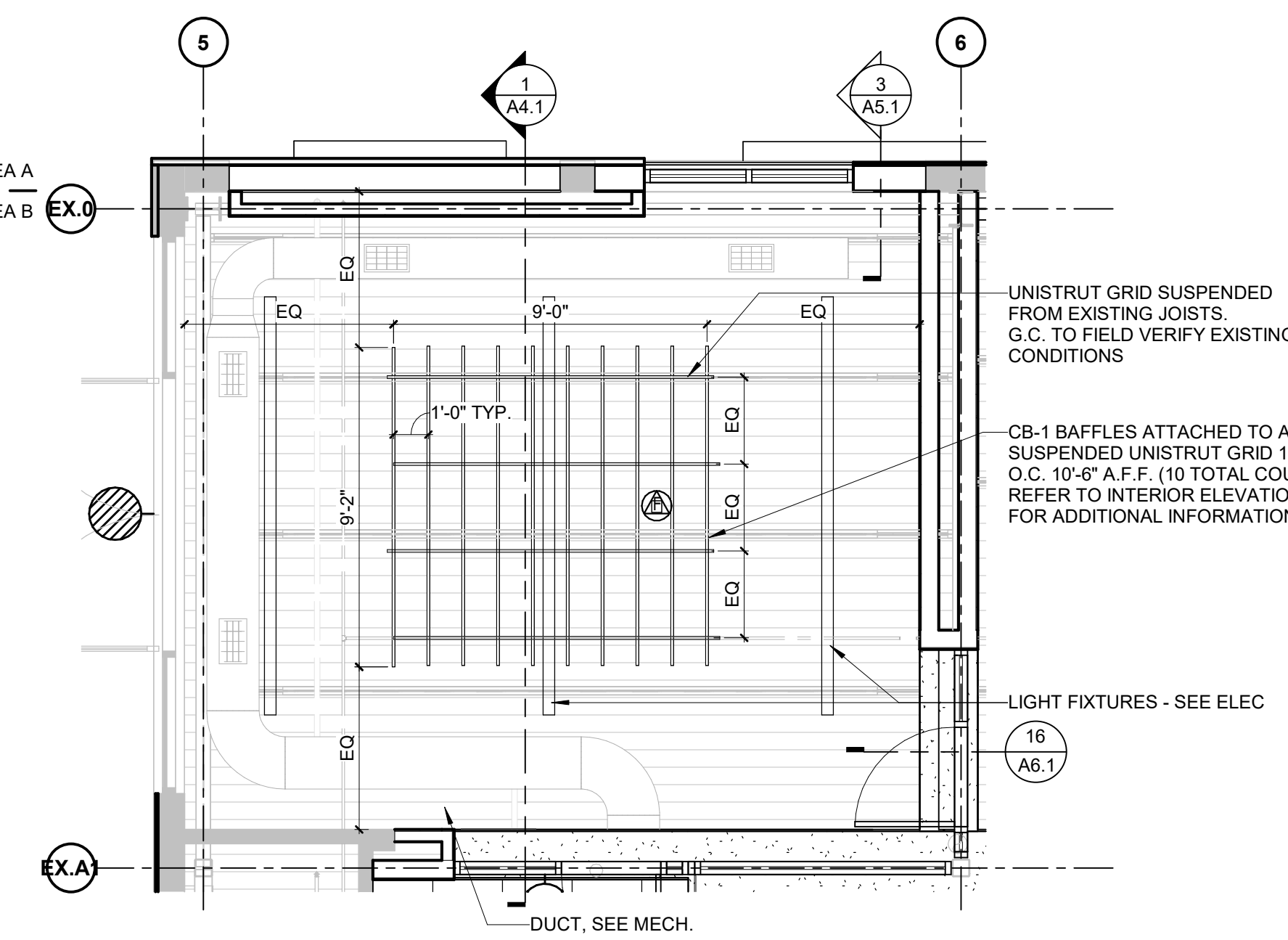
**A1.4**

### GENERAL RCP NOTES

1. ALL CEILING GRIDS/PANELS SHALL BE CENTERED IN EACH ROOM UNLESS NOTED OTHERWISE.
2. ALL EQUIPMENT, DEVICES, AND FIXTURES SHALL BE CENTERED IN THE CEILING TILE UNLESS NOTED OTHERWISE.
3. IN AREAS WITH AN EXPOSED STRUCTURE, COORDINATE ALL EQUIPMENT, DEVICES, AND FIXTURES FOR A CLEAN AND ORDERED APPEARANCE.
4. REFER TO MATERIALS LIST FOR CEILING TYPES.
5. LOCATE CEILING CONTROL JOINTS (CJ) WHERE INDICATED ON RCP.
6. COORDINATE OVERHEAD DOOR TRACKS WITH FIXTURES AND EQUIPMENT.

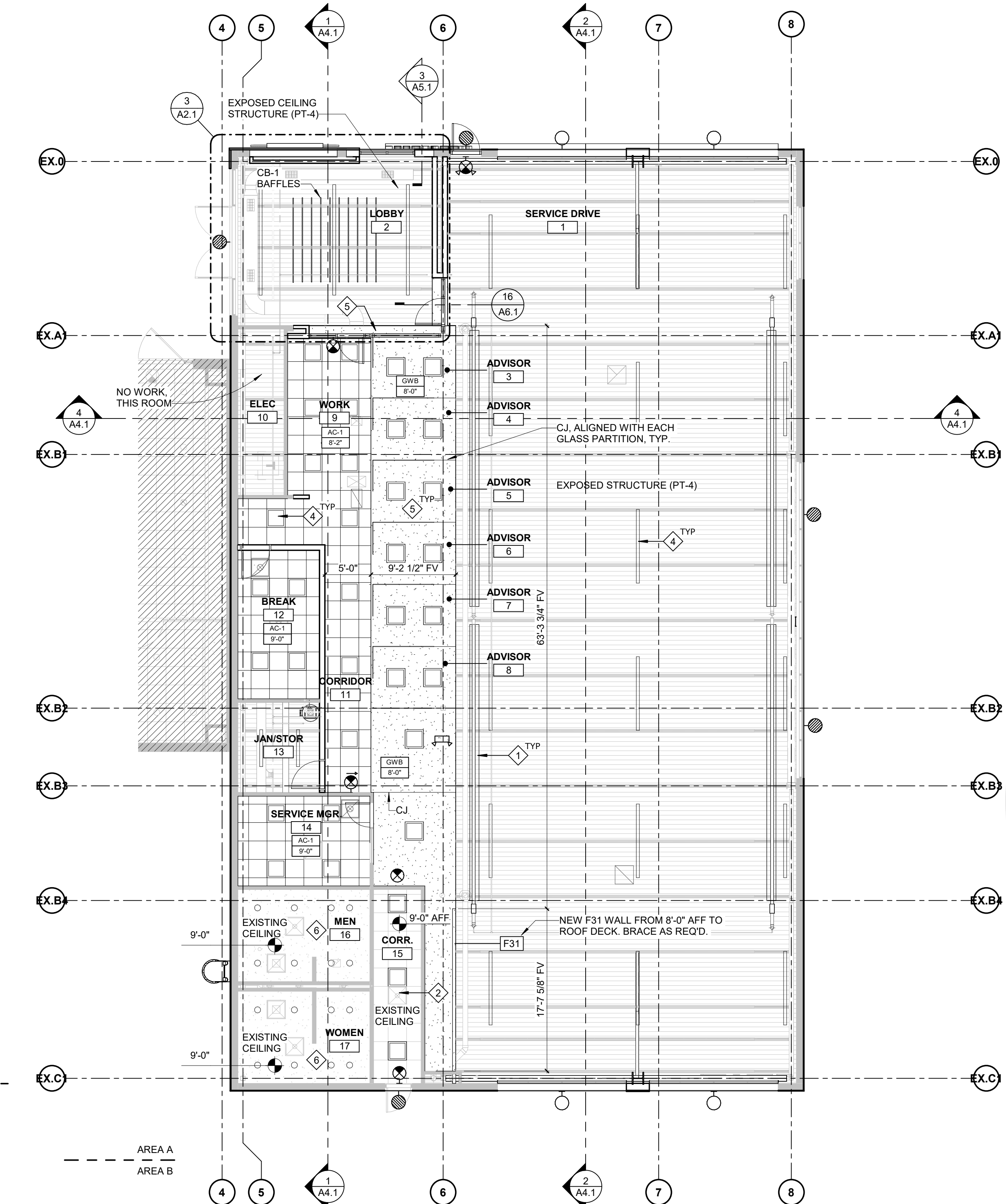
### RCP NOTES

1. RADIANT HEATER, SEE MECH
2. EXISTING CEILING GRID TO REMAIN, RE-PAD WITH AC-1 TILES
3. REPAIR EXISTING ROOF LINER
4. LIGHT FIXTURE, SEE ELECT.
5. UNIT HEATER, SEE MECH.



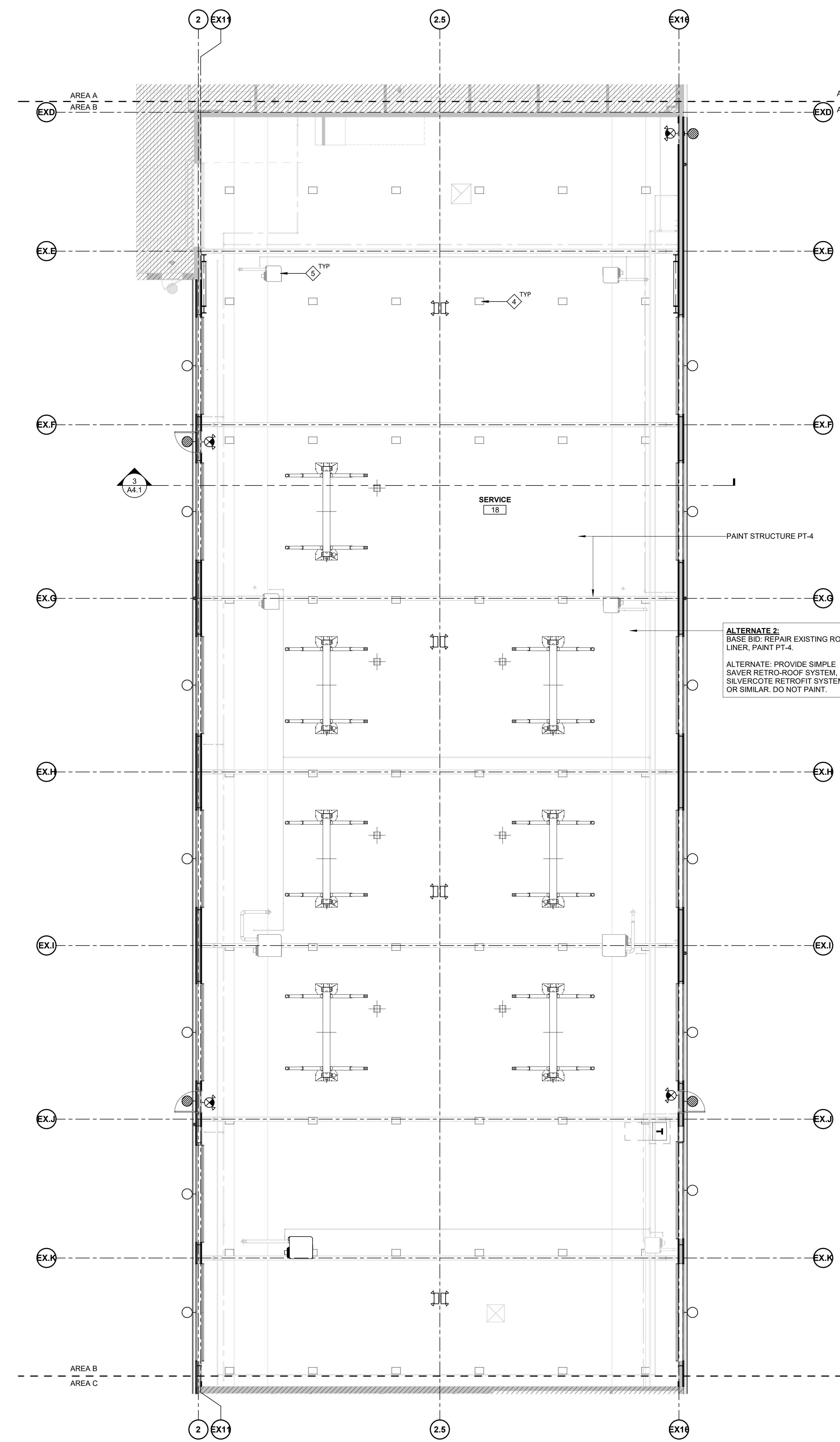
**3 ENLARGED LOBBY CEILING PLAN**

1/4" = 1'-0"



**1 RCP - AREA A**

1/8" = 1'-0"



**2 RCP - AREA B**

1/8" = 1'-0"

0 3 6 9 INCH  
SCALE 3" = 1'-0"

0 3 6 9 INCH  
SCALE 1-1/2" = 1'-0"

0 1 2 3 4 5 FEET  
SCALE 3/4" = 1'-0"

0 1 2 3 4 5 FEET  
SCALE 1/2" = 1'-0"

0 1 2 3 4 5 FEET  
SCALE 1/4" = 1'-0"

0 2 4 6 8 10 FEET  
SCALE 1/8" = 1'-0"

0 5 10 15 20 25 30 35 40 45 FEET  
SCALE 1/16" = 1'-0"

0 5 10 15 20 25 30 FEET  
SCALE 3/32" = 1'-0"

0 5 10 15 20 25 30 FEET  
SCALE 1/16" = 1'-0"

### REVISIONS SCHEDULE

MARK	DATE	DESCRIPTION

WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS  
 PROJECT: 23043 DATE: DEC 19, 2023  
 PROJECT STATUS: CD SUBMITTAL



FIRST FLOOR RCP - AREA A & B

### GENERAL RCP NOTES

1. ALL CEILING GRID/PANELS SHALL BE CENTERED IN EACH ROOM UNLESS NOTED OTHERWISE.
2. ALL EQUIPMENT, DEVICES, AND FIXTURES SHALL BE CENTERED IN THE CEILING TILE UNLESS NOTED OTHERWISE.
3. IN AREAS WITH AN EXPOSED STRUCTURE, COORDINATE ALL EQUIPMENT, DEVICES, AND FIXTURES FOR A CLEAN AND ORDERED APPEARANCE.
4. REFER TO MATERIALS LIST FOR CEILING TYPES.
5. LOCATE CEILING CONTROL JOINTS (CJ) WHERE INDICATED ON RCP.
6. COORDINATE OVERHEAD DOOR TRACKS WITH FIXTURES AND EQUIPMENT.

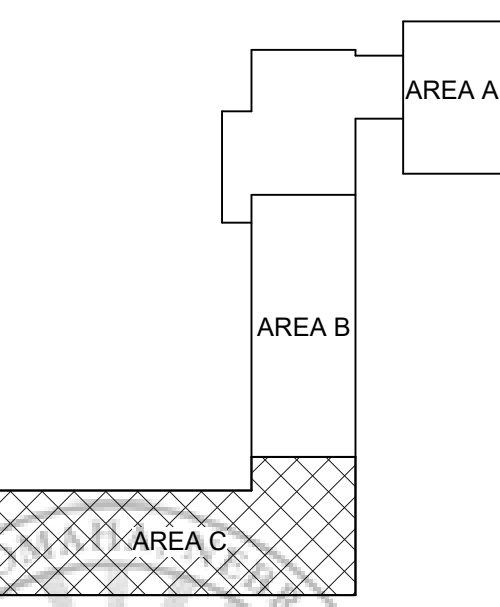
### RCP NOTES

1. RADIANT HEATER, SEE MECH.
2. EXISTING CEILING GRID TO REMAIN, RE-PAD WITH AC-1 TILES.
3. REPAIR EXISTING ROOF LINER.
4. LIGHT FIXTURE, SEE ELECT.
5. UNIT HEATER, SEE MECH.

ALTERNATE 2:  
 BASE BID: PATCH AND REPAIR EXISTING ROOF LINER, PAINT PT-4.  
 ALTERNATE: PROVIDE SIMPLE SAVER RETRO-ROOF SYSTEM, SILVERROTE RETROFIT SYSTEM OR SIMILAR. DO NOT PAINT.

### REVISIONS SCHEDULE

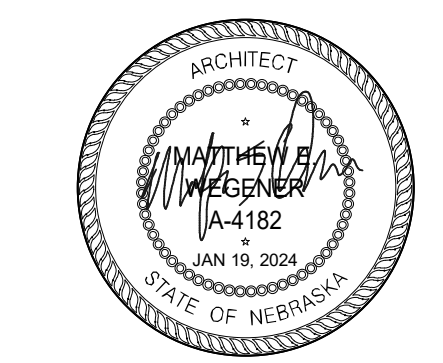
MARK	DATE	DESCRIPTION



### WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS

PROJECT: 23043 DATE: DEC 19, 2023  
 PROJECT STATUS: CD SUBMITTAL

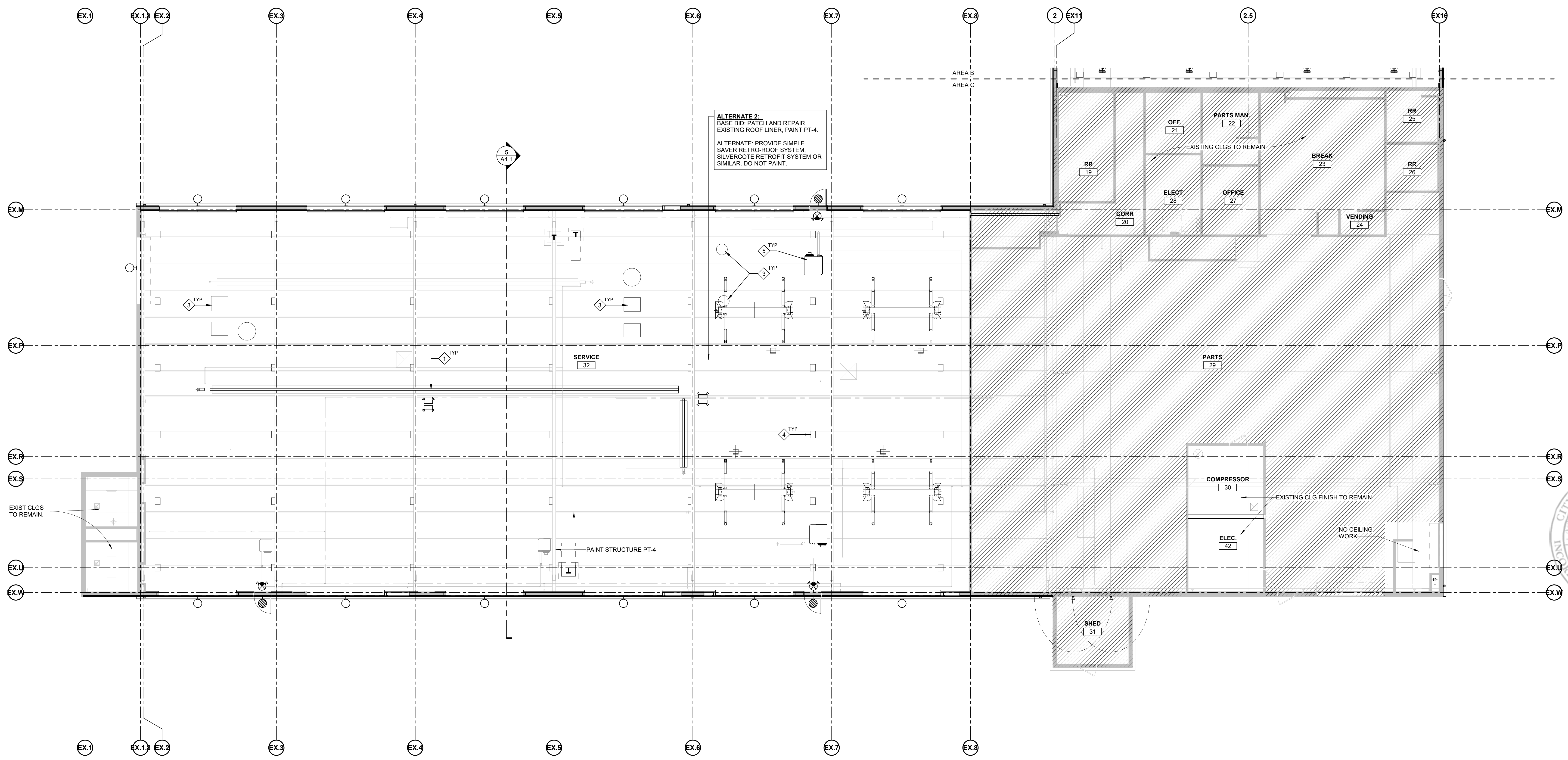
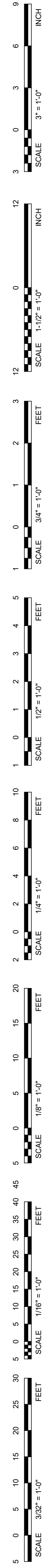
ARCHITECT  
 MATTHEW E. WILSON  
 A-4182  
 APR 15, 2019  
 STATE OF NEBRASKA



### FIRST FLOOR RCP - AREA C



## A2.2



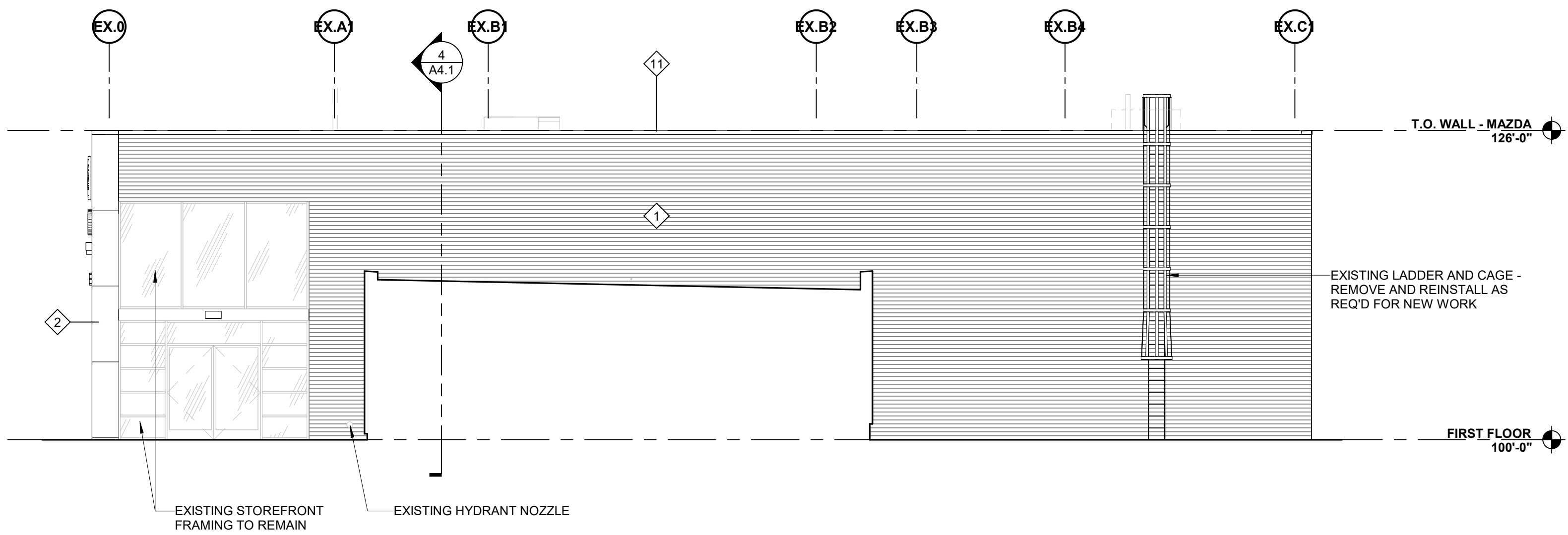
**1 RCP - AREA C**  
 1/8" = 1'-0"

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION

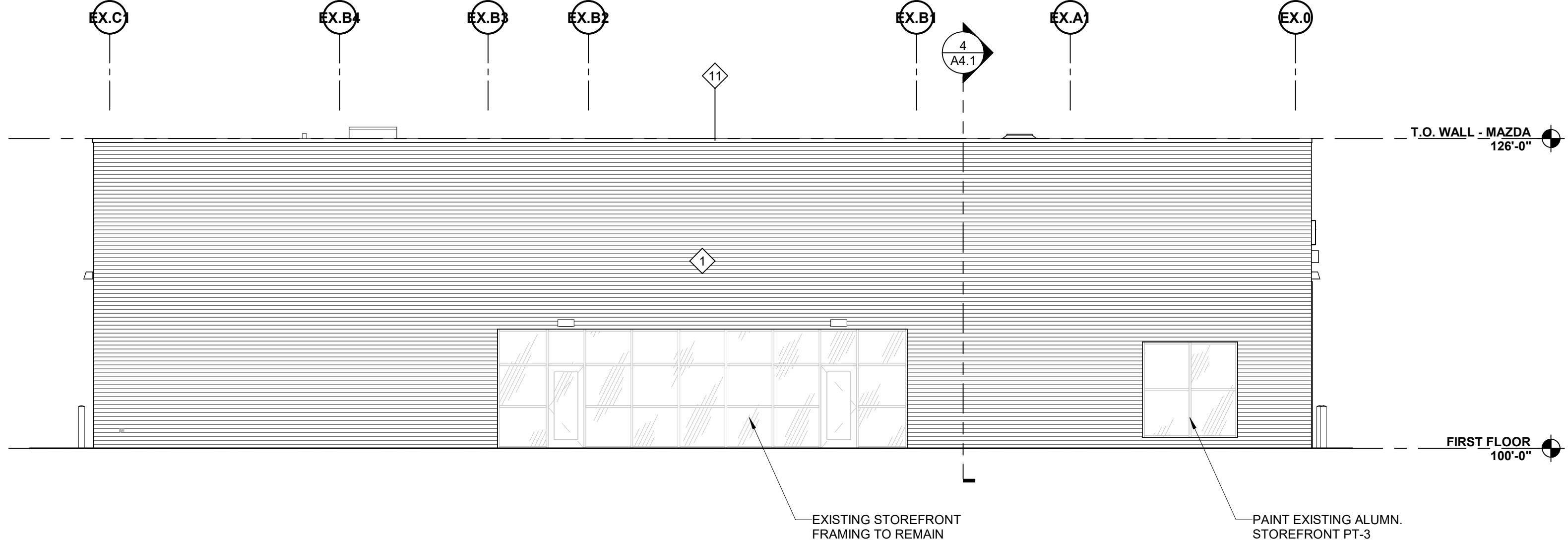
ELEVATION NOTES						
#	DESCRIPTION	MFR	PRODUCT	COLOR	SIZE	NOTE
1	CORRUGATED METAL PANEL (F1)	ARCONIC	44HC CONCEALED FASTENER	CASTLE GRAY	0.040" ALUMINUM 16" COVERAGE	INSTALLED HORIZONTALLY. SUBSTITUTIONS NOT PERMITTED.
2	CUSTOM FORD PRO WALL (F2)	AGI	ACM	FORD BLUE	---	WALL SHEATHING AND WEATHER BARRIER BY GC. COORDINATE WITH AGI FOR ATTACHMENT AND JOINT PATTERNING.
3	GRABBER BAR AWNING - 8"	AGI	---	FORD BLUE	---	---
4	24" ILLUMINATED SIGNAGE	FORD RETAIL IDENTIFICATION	---	---	24" TALL	INSTALLED BY AGI*
5	12" ILLUMINATED SIGNAGE	FORD RETAIL IDENTIFICATION	---	---	12" TALL	INSTALLED BY AGI*
6	ALUMINUM STOREFRONT	KAWNEER	TRIFAB 451UT. CENTER GLAZED	CLEAR ANNOXIDIZED ALUMINUM	4.5" DEEP	SEE A7.1 FOR GLAZING SPECS
7	PAINT	SHERWIN WILLIAMS	---	SLATE GRAY	---	PAINT EXISTING GUTTERS & DOWNSPOUTS
8	ALUMINUM SECTIONAL DOOR	OVERHEAD DOOR CO.	MODEL 521	CLEAR ANNOXIDIZED ALUMINUM	---	SEE SCHEDULE AND SPECS ON A7.1
9	HOLLOW METAL DOOR AND FRAME	---	---	SLATE GRAY	---	SEE SCHEDULE
10	BOLLARD	---	---	PAINT SAFETY YELLOW	---	---
11	CAP FLASHING	ARCONIC	---	CASTLE GRAY	---	---
12	ALUMINUM ENTRANCE	KAWNEER	350T MEDIUM STYLE	CLEAR ANNOXIDIZED ALUMINUM	---	SEE SCHEDULE AND SPECS ON A7.1
13	PBR METAL PANEL	MBCI	R PANEL	SLATE GRAY	26 GAUGE, 36" WIDE	---

\*NOTE: CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL SIGNAGE PERMITS.  
 NOTE: ALL FINISHES AND BRANDING IS BASED ON FORD PRO DESIGN INTENT DOCUMENTS - NO SUBSTITUTIONS. GENERAL CONTRACTOR WILL BE REQ'D TO COORDINATE WITH ALL BRAND VENDORS.  
 NOTE: SEE A7.1 FOR METAL PANEL DETAILS AT EXISTING OPENINGS.  
 SEE A7.1 FOR STOREFRONT, OVERHEAD DOOR, AND GLAZING SPECIFICATIONS

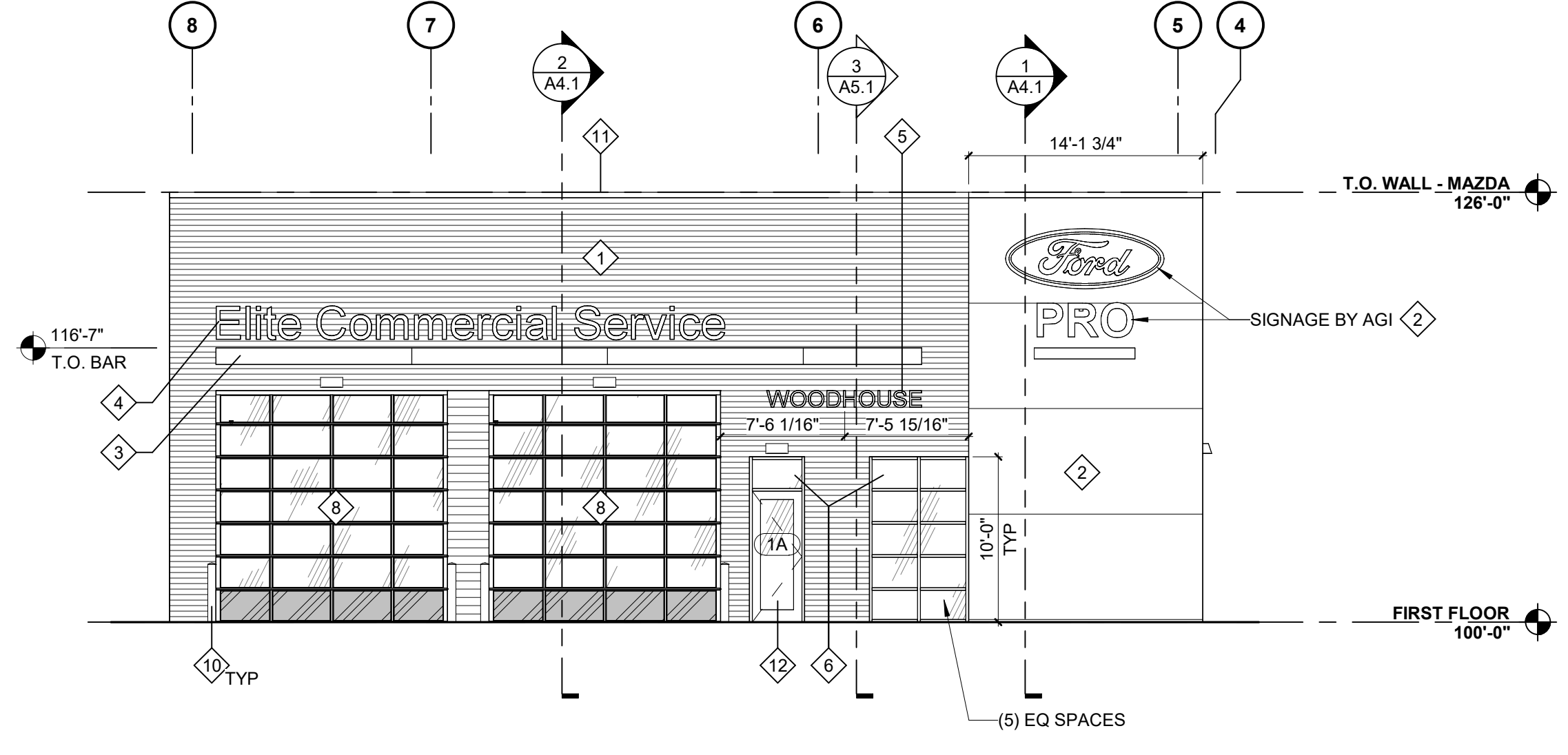
**EXTERIOR PAINT SPECS**  
**EXISTING METAL PANEL:**  
 MFR: SHERWIN WILLIAMS  
 EXISTING METAL PANELS REQUIRE A CLEAN, DRY, AND DULL PREPARATION OF SURFACE.  
 Preparation: As directed in Primer PDS  
 a. Prime: 1 coat B51W01150 Extreme Bond UMA Bonding Primer  
 \*Confirm via mock up 90%+ adhesion per ASTM D3359 after 7-10 day dry/cure time  
 b. Finish: 2 coats A-100 Exterior 100% Acrylic Latex Satin finish



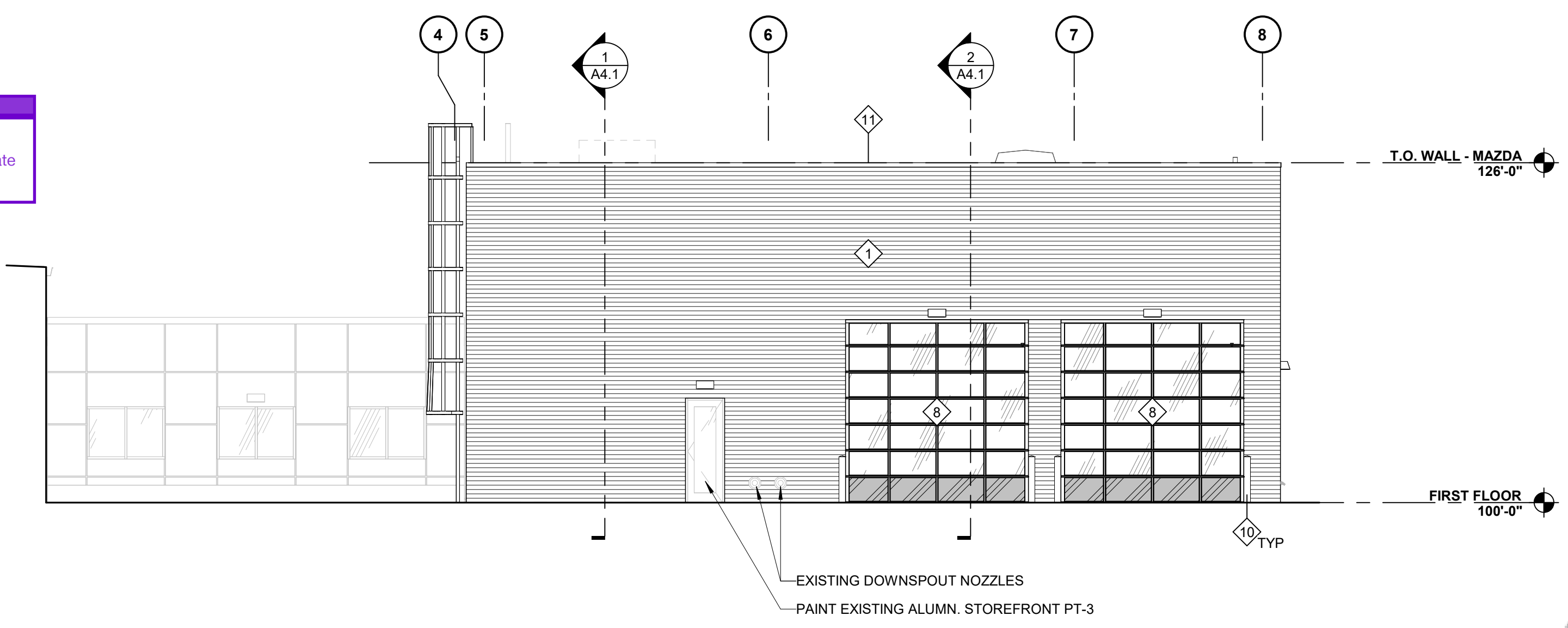
**5 WEST ELEVATION - AREA A**  
 1/8" = 1'-0"



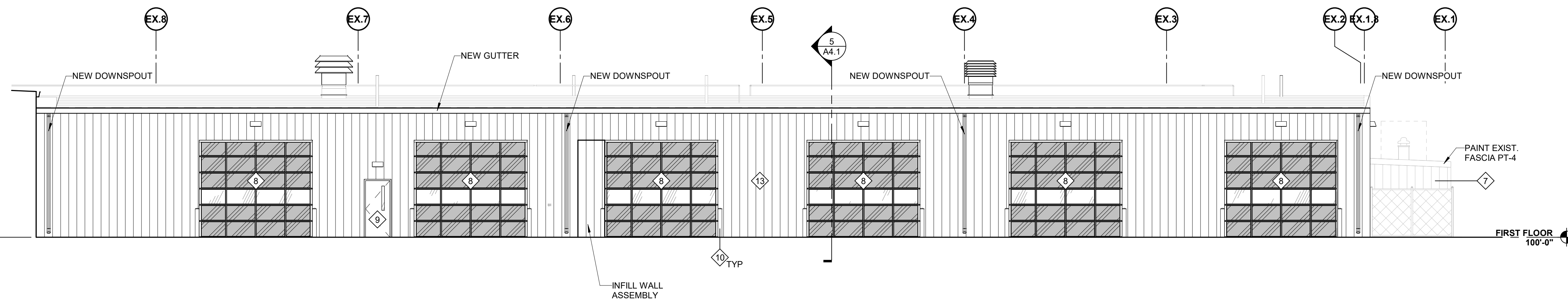
**4 EAST ELEVATION - AREA A**  
 1/8" = 1'-0"



**3 NORTH ELEVATION - AREA A**  
 1/8" = 1'-0"

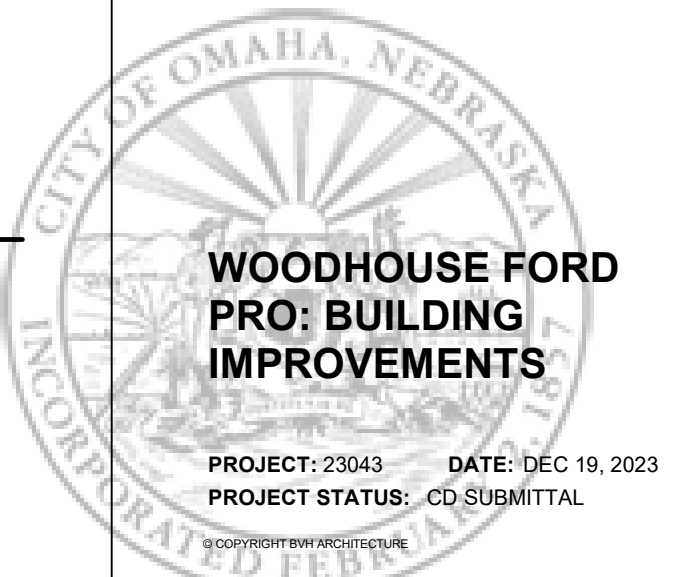


**2 SOUTH ELEVATION - AREA A**  
 1/8" = 1'-0"



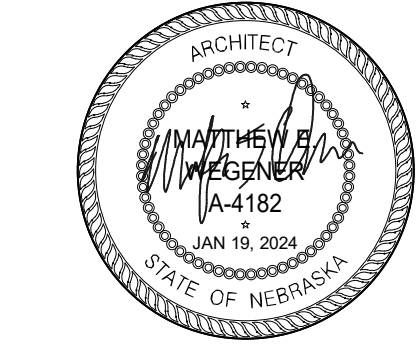
**1 NORTH ELEVATION - AREA C**  
 1/8" = 1'-0"

00007 - COMM (Le Nguyen)  
 Exterior signage shall require a separate permit



**WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS**

PROJECT: 23043 DATE: DEC 19, 2023  
 PROJECT STATUS: CD SUBMITTAL



**BUILDING ELEVATIONS**

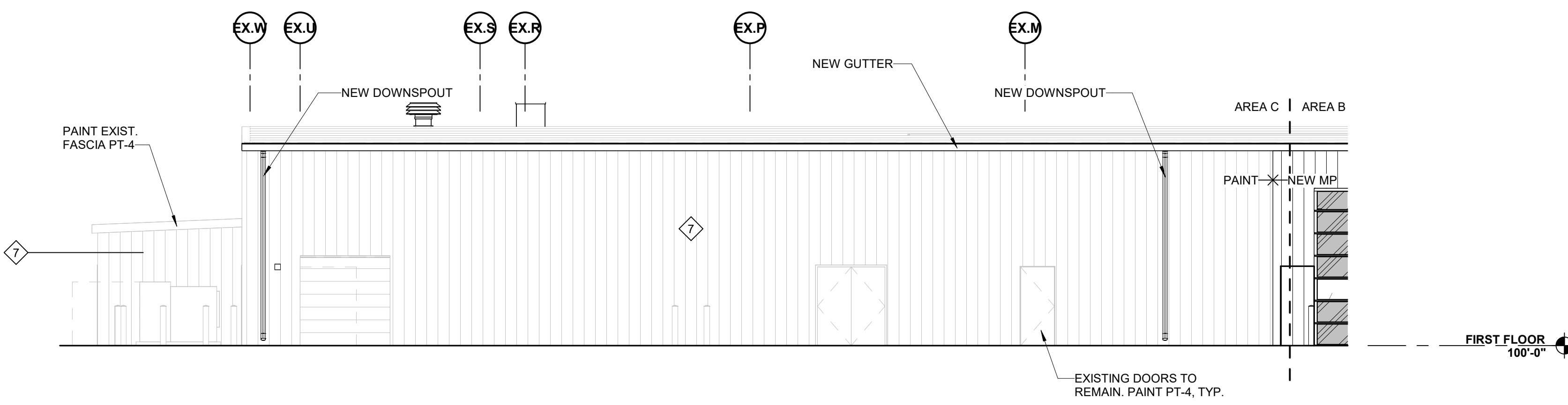
ARCHITECT  
 BVH ARCHITECTURE  
 901 JONES STREET  
 OMAHA, NE 68102  
 V 402 345 3090  
 F 402 345 7871  
 bvh.com

CIVIL ENGINEER  
 LAMP RYNEARSON  
 14710 W DODGE RD #100  
 OMAHA, NE 68154  
 V 402 496 2498  
 lra-inc.com

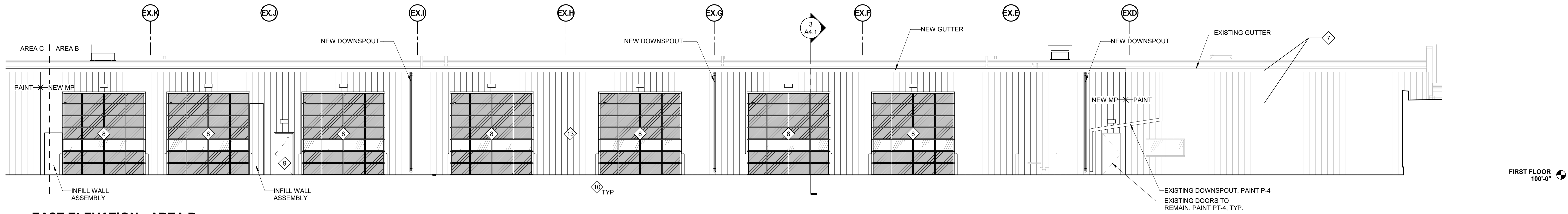
STRUCTURAL ENGINEER  
 LANGE STRUCTURAL GROUP  
 1919 S 40TH STREET, SUITE 302  
 LINCOLN, NE 68506  
 V 402 421 9540  
 langestructuralgroup.com

MEP ENGINEER  
 MORRISSEY ENGINEERING  
 4940 N 118TH ST  
 OMAHA, NE 68184  
 V 402 491 4144  
 morrisseyengineering.com

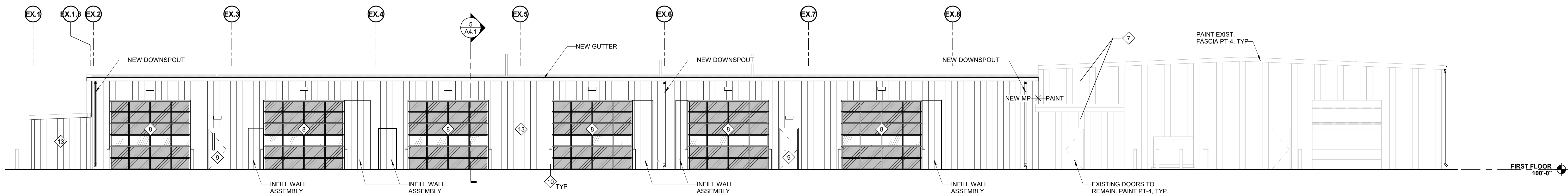
SEE A3.1 FOR ELEVATION NOTES



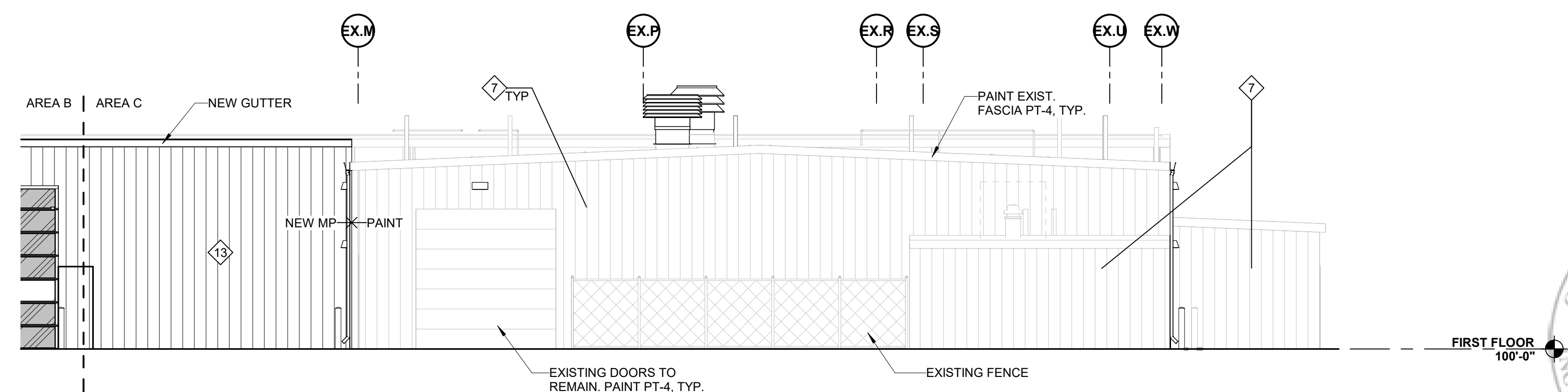
**5 EAST ELEVATION - AREA C**  
 1/8" = 1'-0"



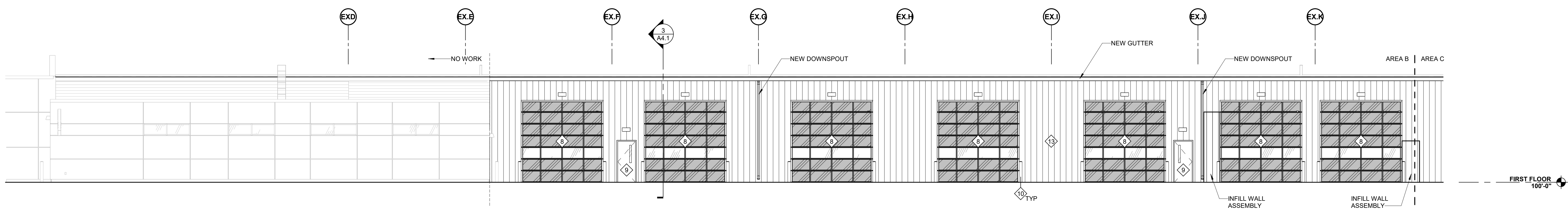
**4 EAST ELEVATION - AREA B**  
 1/8" = 1'-0"



**3 SOUTH ELEVATION - AREA B**  
 1/8" = 1'-0"

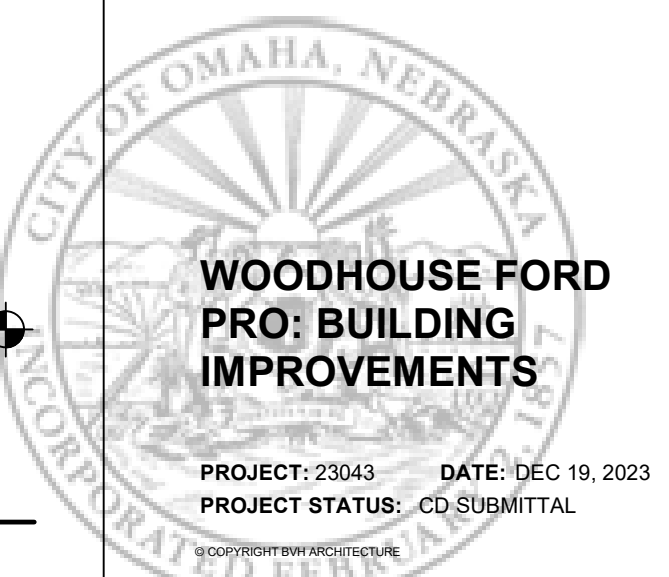


**2 WEST ELEVATION - AREA C**  
 1/8" = 1'-0"



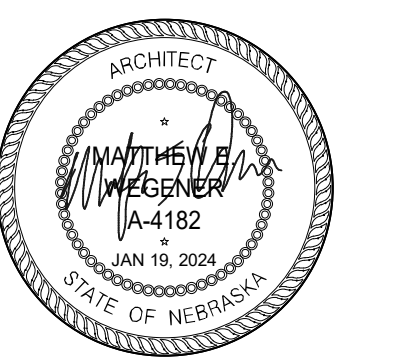
**1 WEST ELEVATION - AREA B**  
 1/8" = 1'-0"

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION



**WOODHOUSE FORD  
 PRO: BUILDING  
 IMPROVEMENTS**

PROJECT: 23043 DATE: DEC 19, 2023  
 PROJECT STATUS: CD SUBMITTAL



**BUILDING  
 ELEVATIONS**

ARCHITECT  
 BVH ARCHITECTURE  
 901 JONES STREET  
 OMAHA, NE 68102  
 V 402 345 3090  
 F 402 345 7871  
 bvh.com

CIVIL ENGINEER  
 LAMP RYNEARSON  
 14710 W DODGE RD #100  
 OMAHA, NE 68154  
 V 402 496 2498  
 tra-inc.com

STRUCTURAL ENGINEER  
 LANGE STRUCTURAL GROUP  
 1919 S 40TH STREET, SUITE 302  
 LINCOLN, NE 68506  
 V 402 421 9540  
 langestructuralgroup.com

MEP ENGINEER  
 MORRISSEY ENGINEERING  
 4940 N 118TH ST  
 OMAHA, NE 68184  
 V 402 491 4144  
 morrisseyengineering.com

9 INCH  
 6 INCH  
 3 INCH  
 0 INCH  
 3 INCH  
 1/2" = 1'-0"  
 SCALE

12 INCH  
 0 INCH  
 1/2" = 1'-0"  
 SCALE

3 FEET  
 2 FEET  
 1 FEET  
 0 FEET  
 1/4" = 1'-0"  
 SCALE

5 FEET  
 4 FEET  
 3 FEET  
 2 FEET  
 1 FEET  
 0 FEET  
 1/2" = 1'-0"  
 SCALE

10 FEET  
 8 FEET  
 6 FEET  
 4 FEET  
 2 FEET  
 0 FEET  
 1/4" = 1'-0"  
 SCALE

20 FEET  
 15 FEET  
 10 FEET  
 5 FEET  
 0 FEET  
 1/8" = 1'-0"  
 SCALE

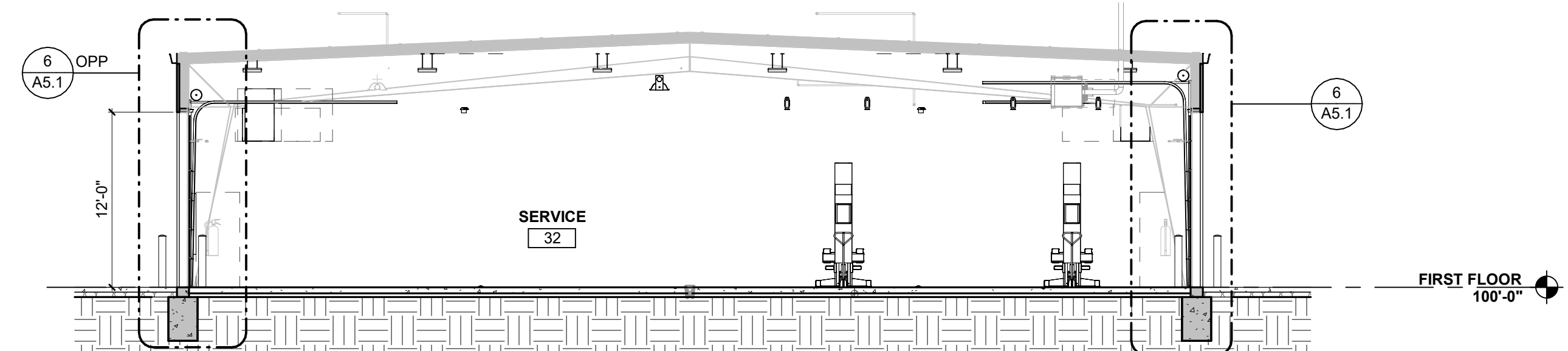
45 FEET  
 30 FEET  
 15 FEET  
 0 FEET  
 1/16" = 1'-0"  
 SCALE

FEET

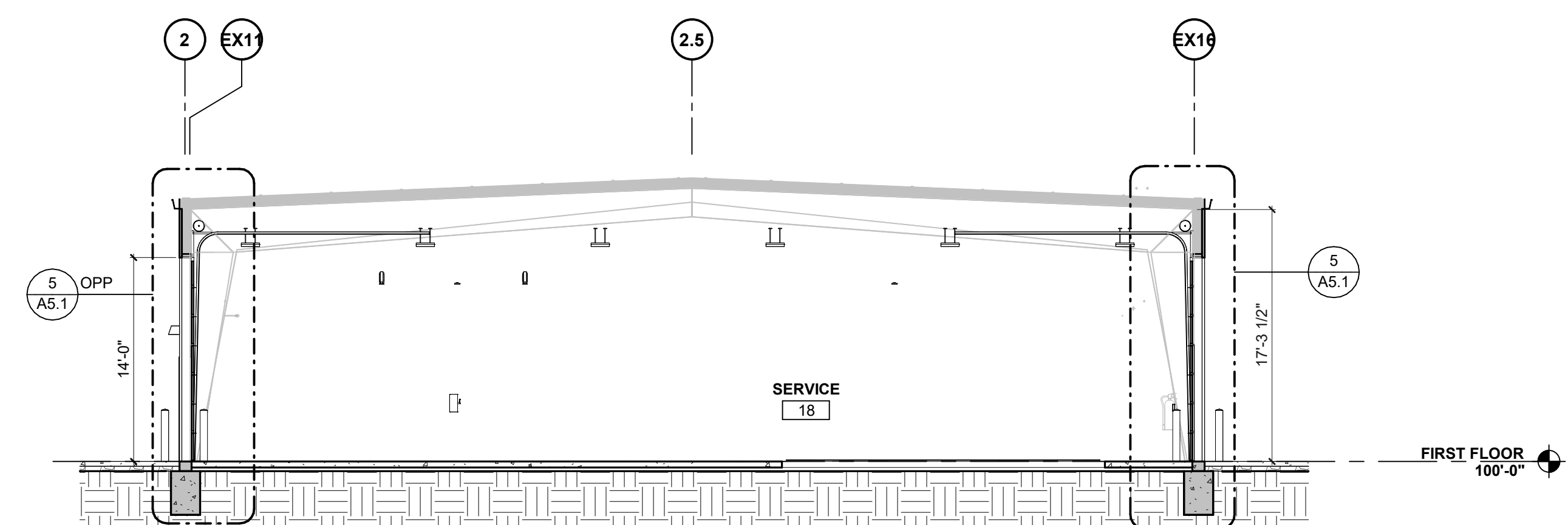
30 FEET  
 25 FEET  
 20 FEET  
 15 FEET  
 10 FEET  
 5 FEET  
 0 FEET  
 3/32" = 1'-0"  
 SCALE

FEET

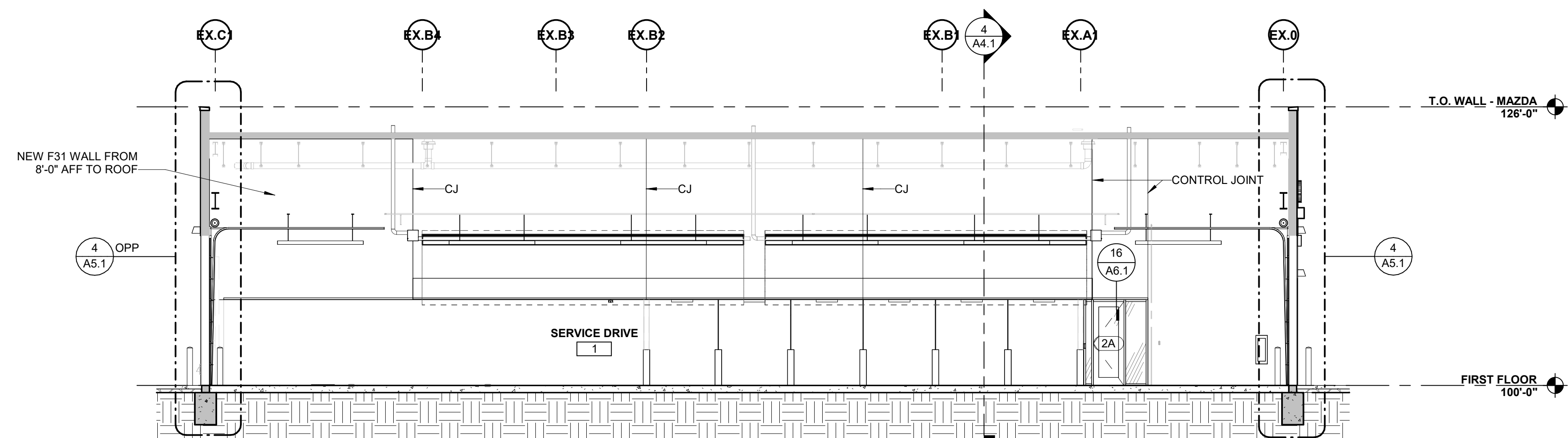
1/2" = 1'-0"  
 SCALE



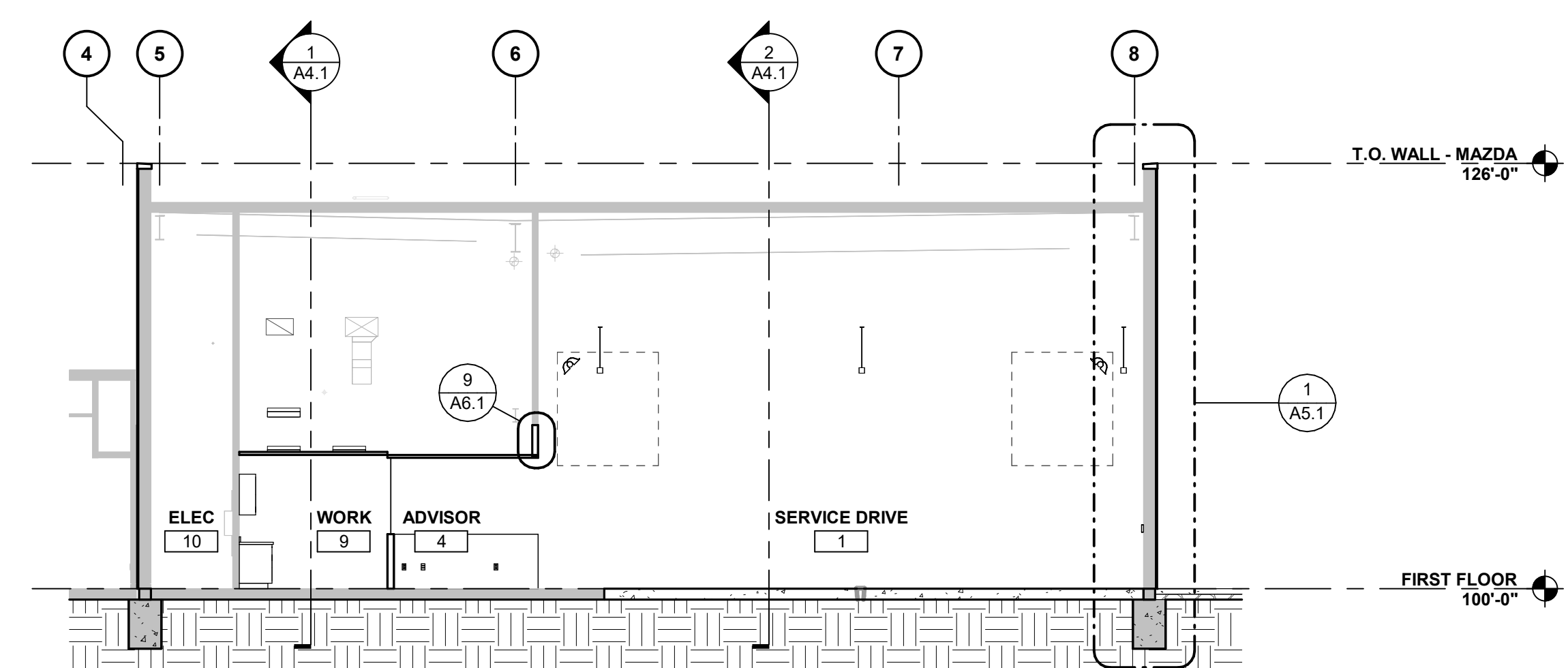
**5 BUILDING SECTION - AREA C N/S**  
 1/8" = 1'-0"



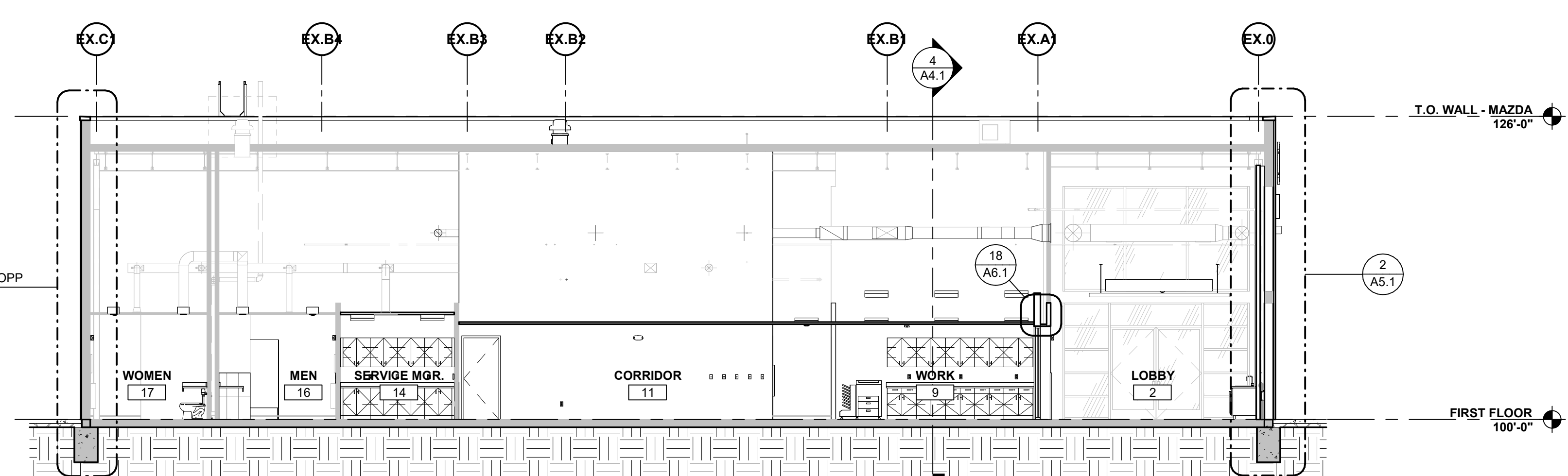
**3 BUILDING SECTION - AREA B E/W**  
 1/8" = 1'-0"



**2 BUILDING SECTION - AREA A N/S1**  
 1/8" = 1'-0"

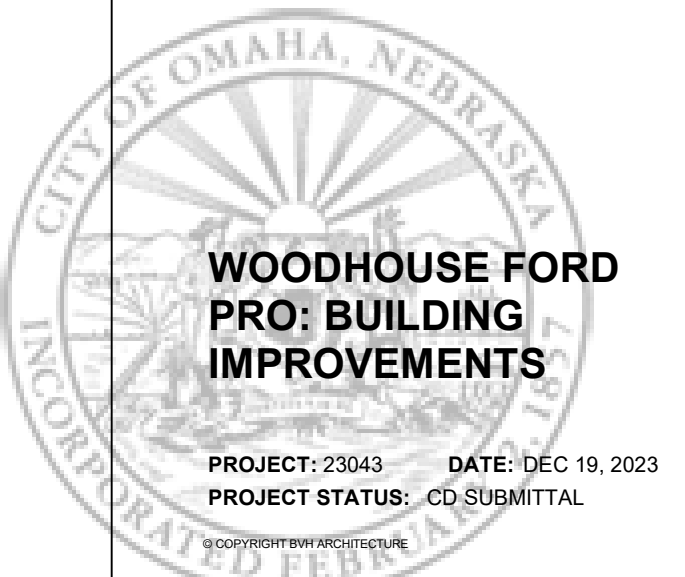


**4 BUILDING SECTION - AREA A E/W**  
 1/8" = 1'-0"

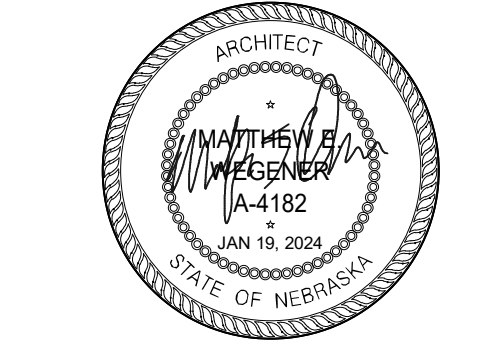


**1 BUILDING SECTION - AREA A N/S**  
 1/8" = 1'-0"

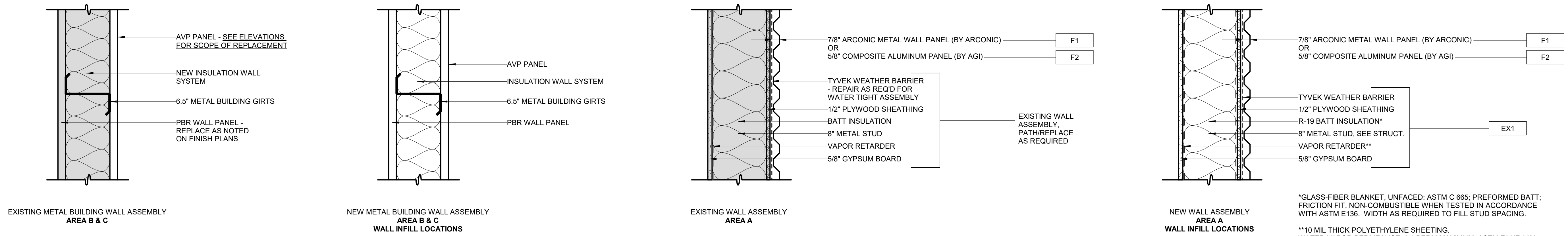
REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION



PROJECT: 23043 DATE: DEC 19, 2023  
 PROJECT STATUS: CD SUBMITTAL

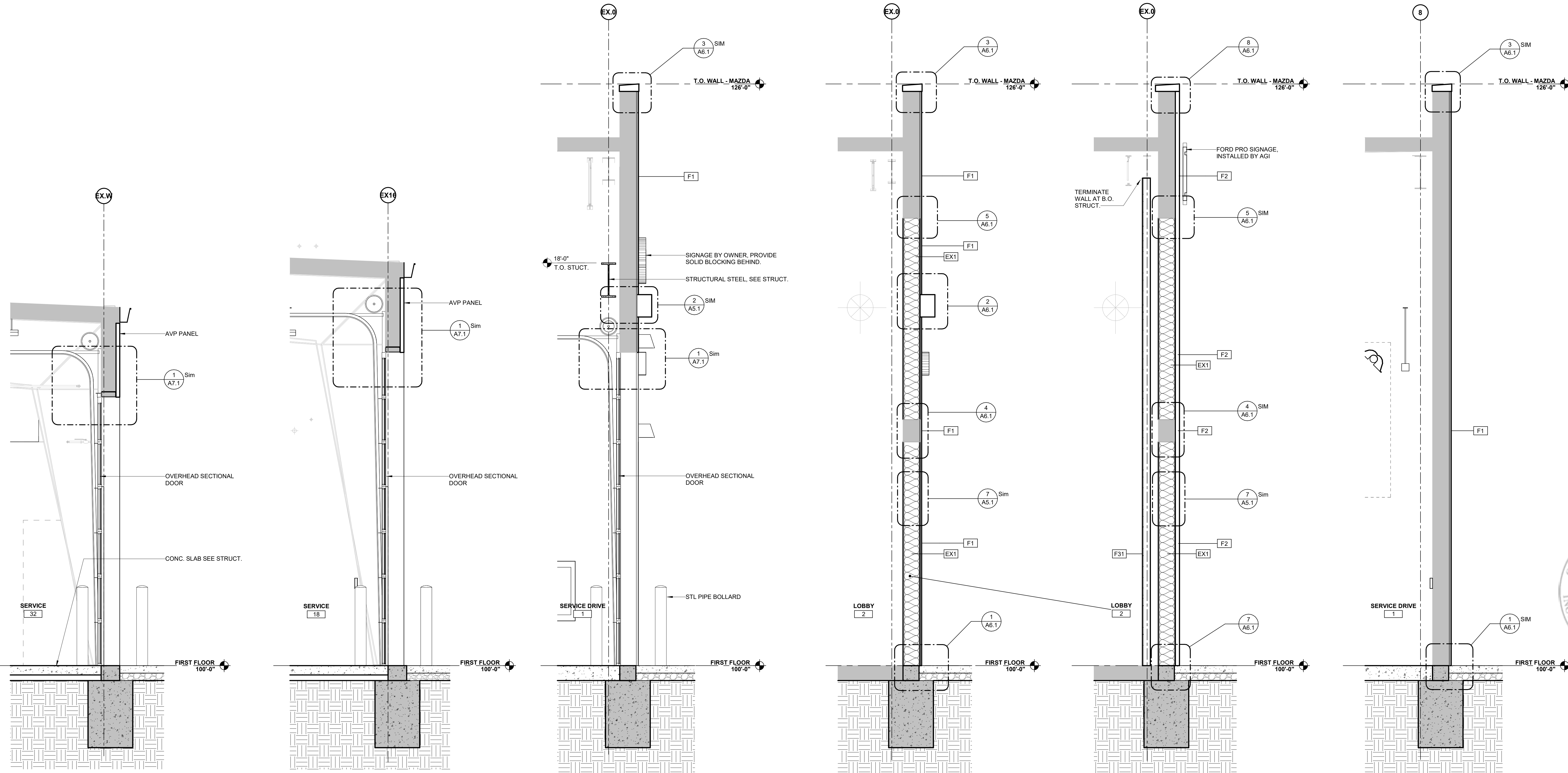


BUILDING SECTIONS



## 7 TYP EXT WALL ASSEMBLIES

1/2" = 1'-0"



**6 WALL SECTION - AREA C OH DOOR**  
1/2" = 1'-0"

**5 WALL SECTION - AREA B OH DOOR**  
1/2" = 1'-0"

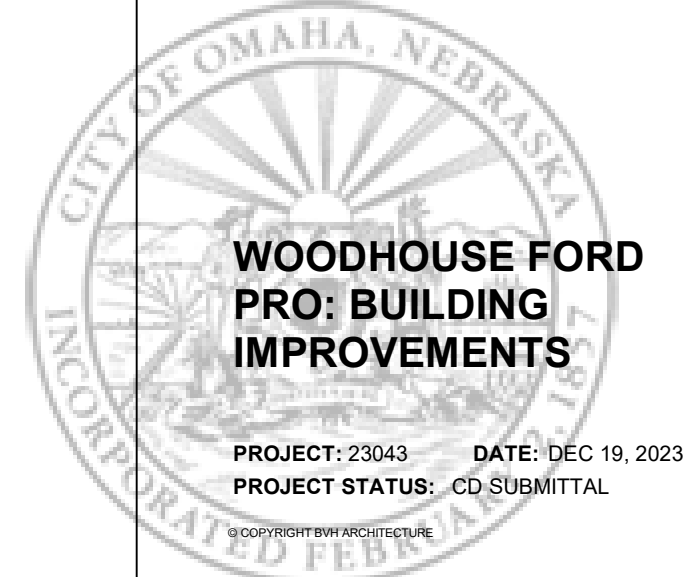
**4 WALL SECTION - AREA A OH DOOR**  
1/2" = 1'-0"

**3 WALL SECTION - WALL INFILL**  
1/2" = 1'-0"

**2 WALL SECTION - FORD PRO WALL**  
1/2" = 1'-0"

**1 WALL SECTION - AREA A TYP.**  
1/2" = 1'-0"

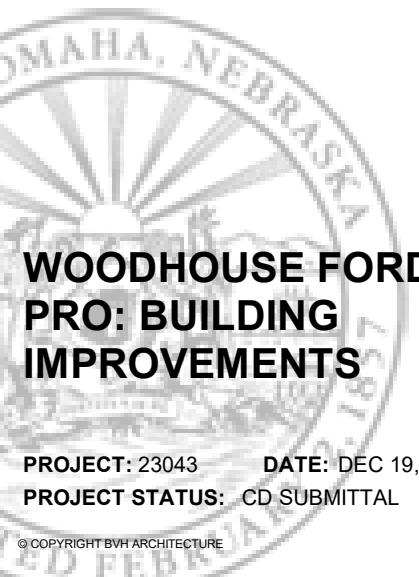
REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION



### WALL SECTIONS



REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION

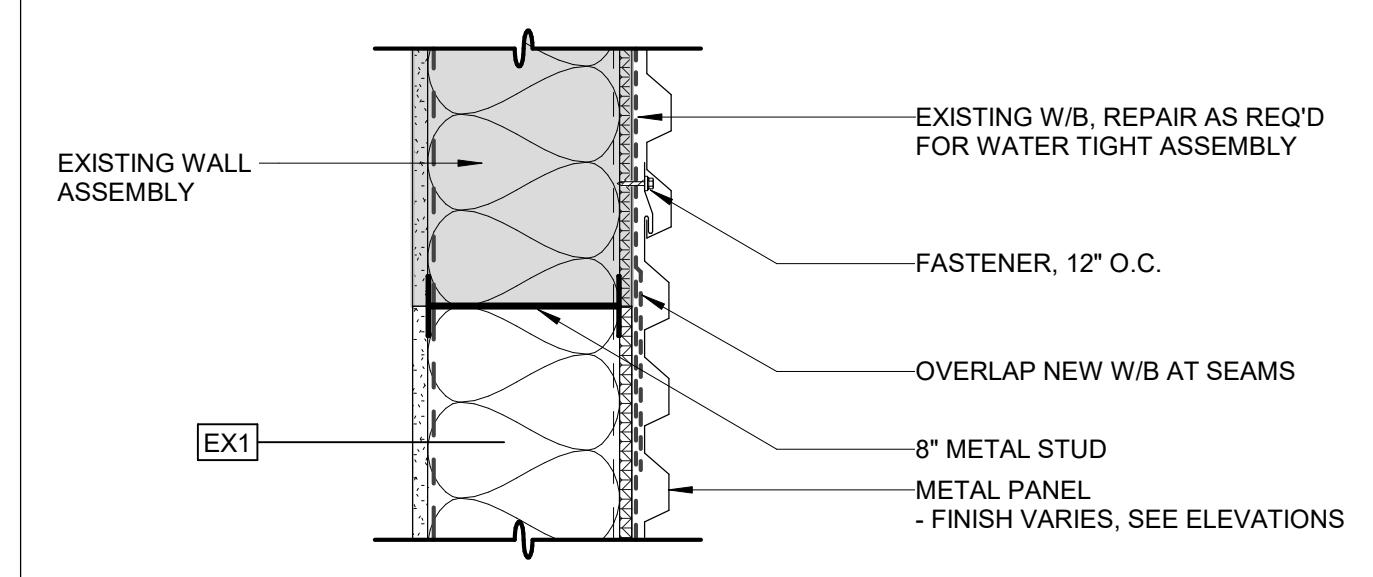


**WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS**

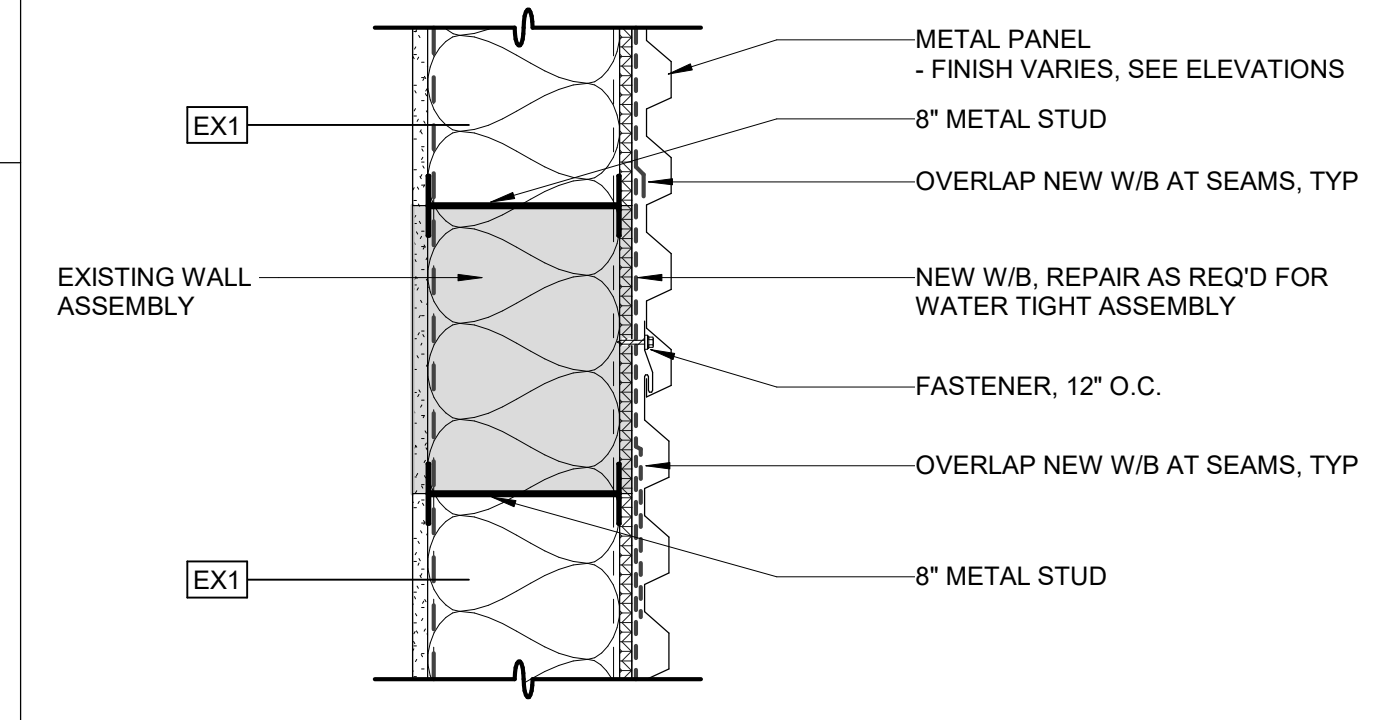
PROJECT: 23043 DATE: DEC 19, 2023  
PROJECT STATUS: CD SUBMITTAL



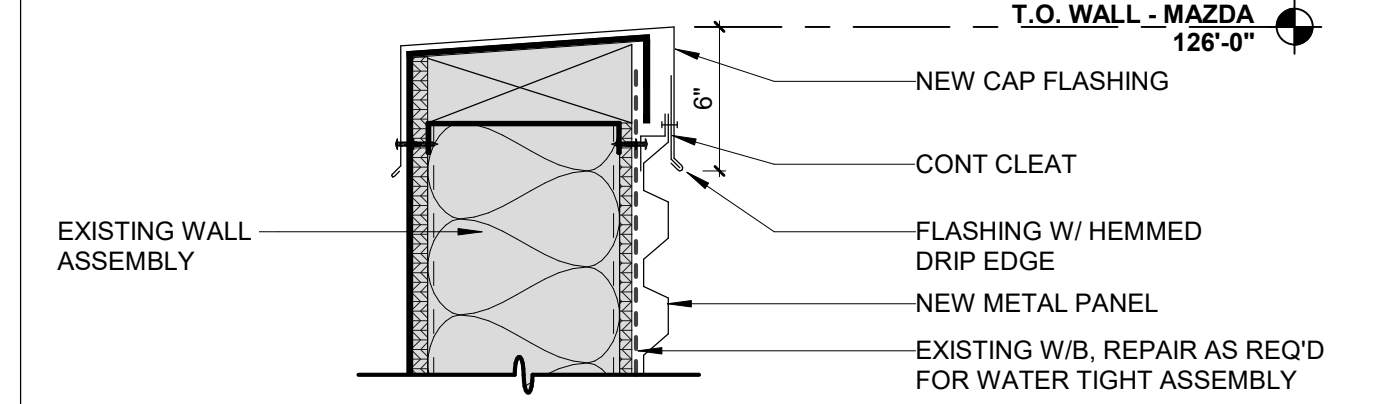
DETAILS



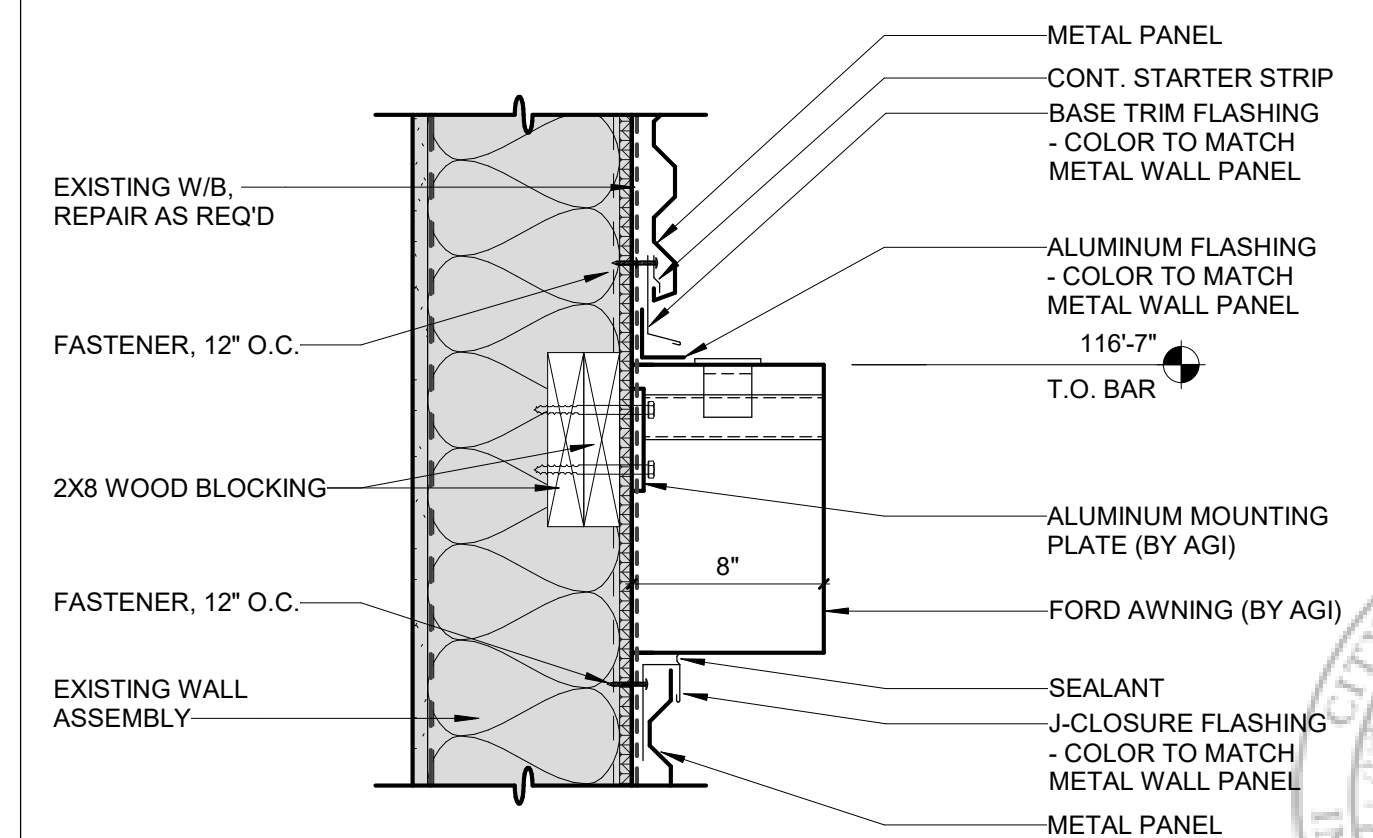
**5 DETAIL - AREA A WALL INFILL, TOP**  
1 1/2" = 1'-0"



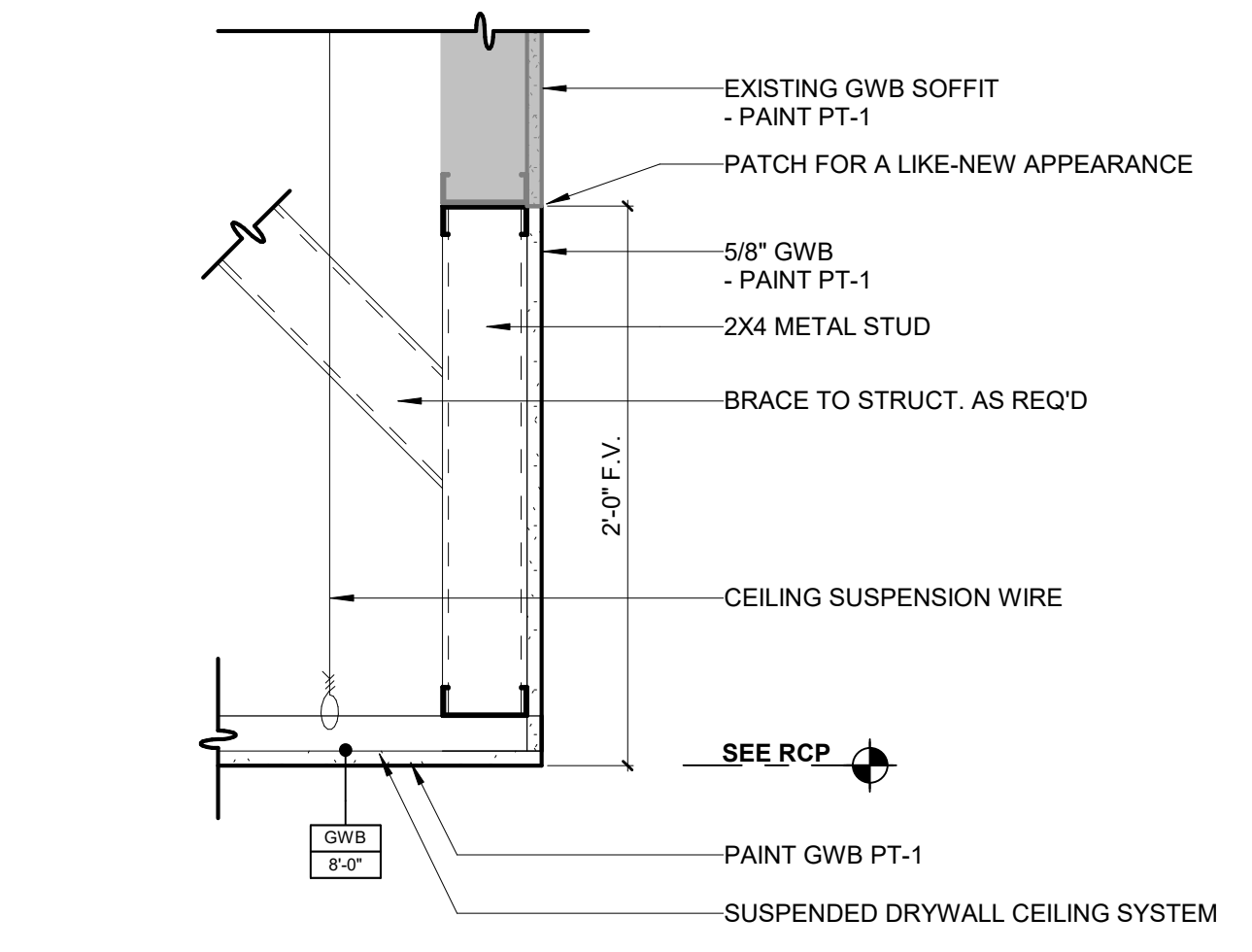
**4 DETAIL - AREA A WALL INFILL, MIDDLE**  
1 1/2" = 1'-0"



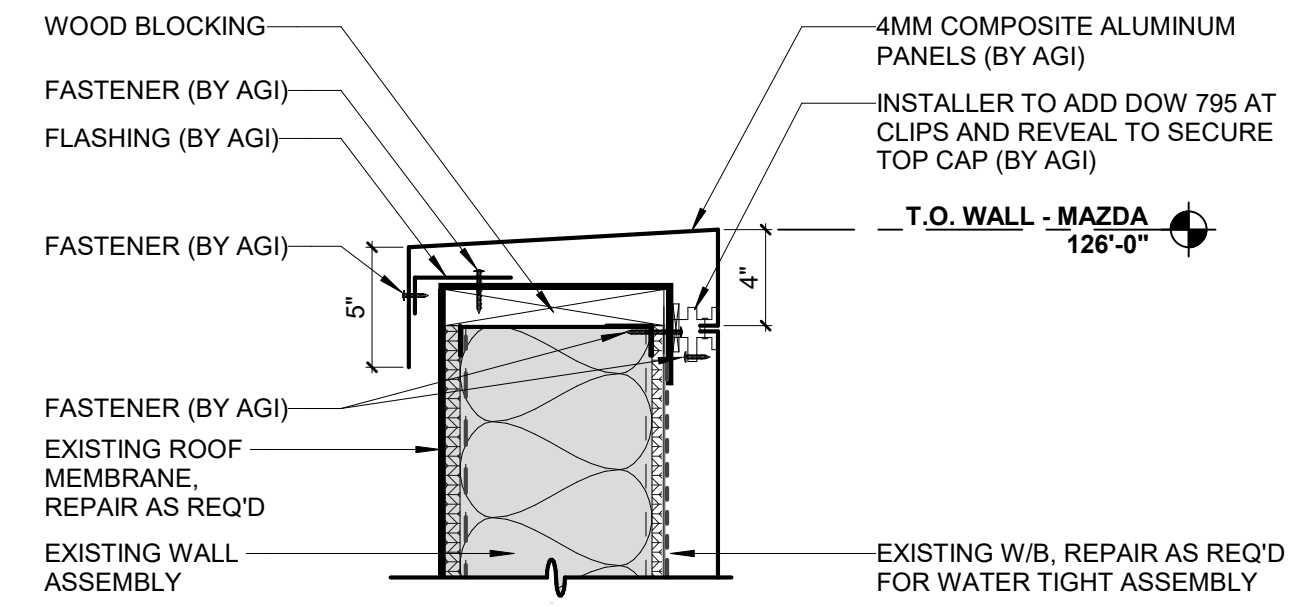
**3 DETAIL - PARAPET (ARCONIC METAL PANEL)**  
1 1/2" = 1'-0"



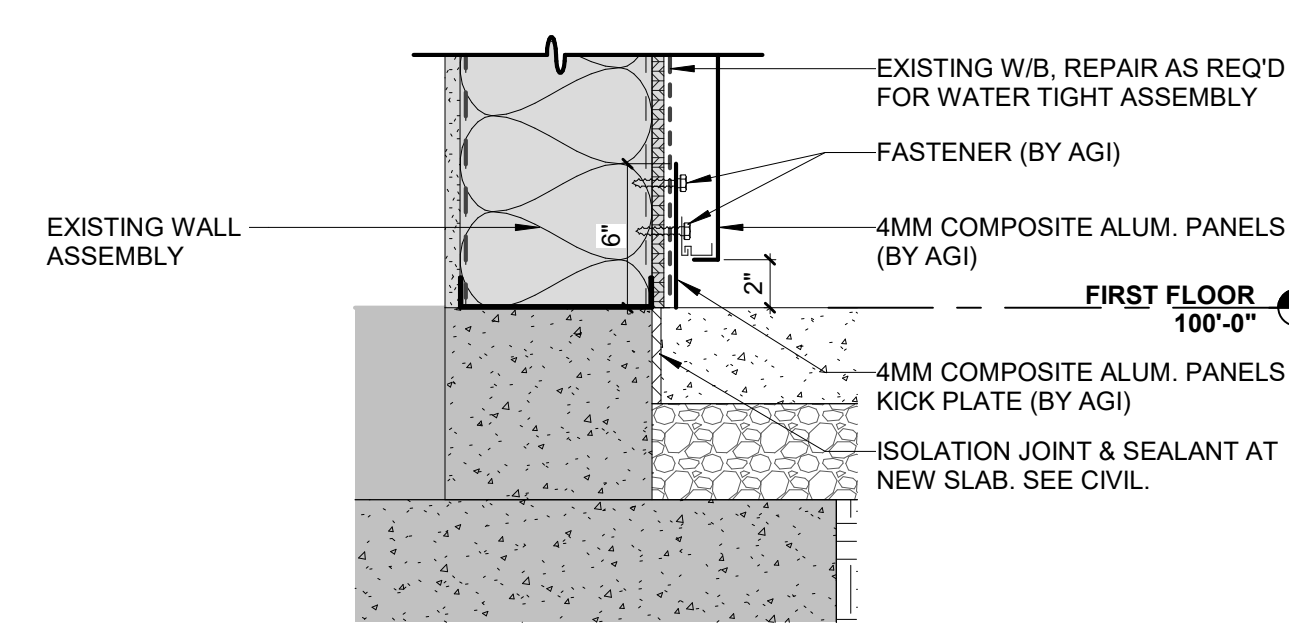
**2 DETAIL - FORD AWNING**  
1 1/2" = 1'-0"



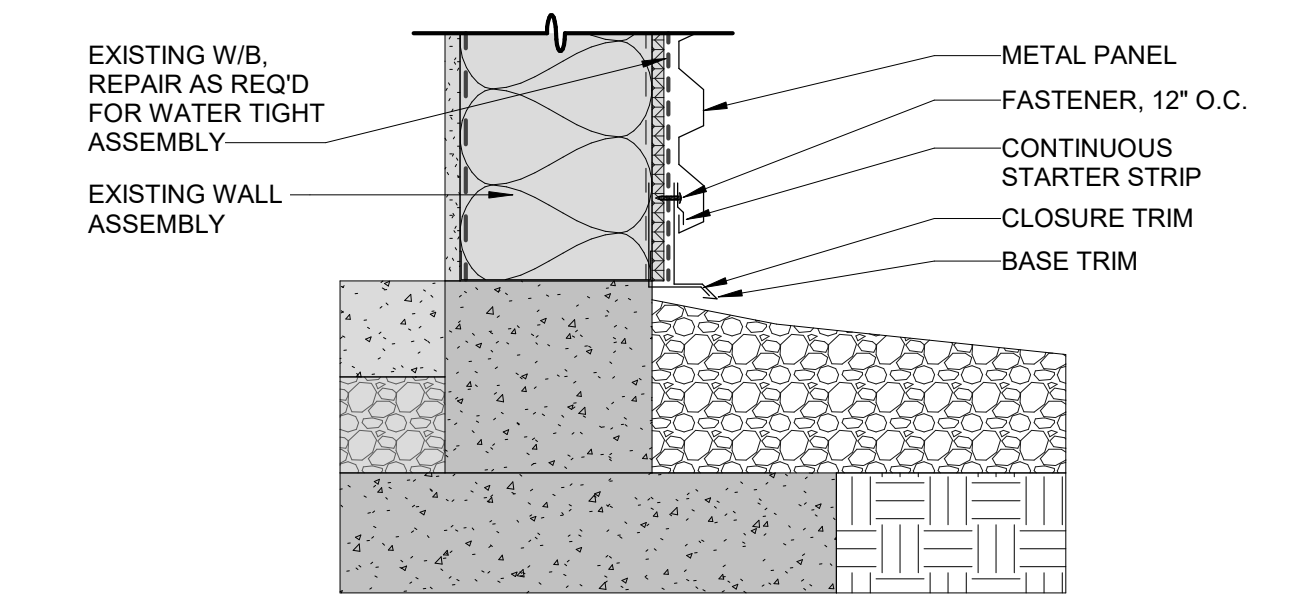
**9 DETAIL - AREA A - SHOWROOM SOFFIT**  
1 1/2" = 1'-0"



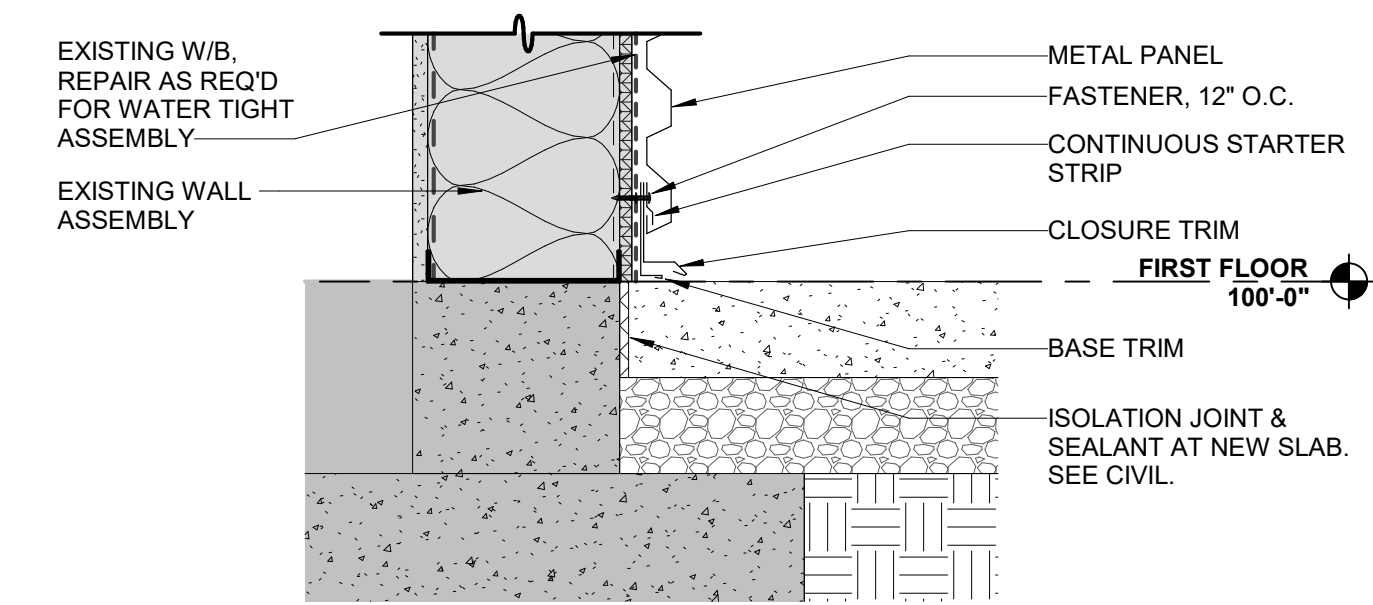
**8 DETAIL - PARAPET (FORD PRO WALL)**  
1 1/2" = 1'-0"



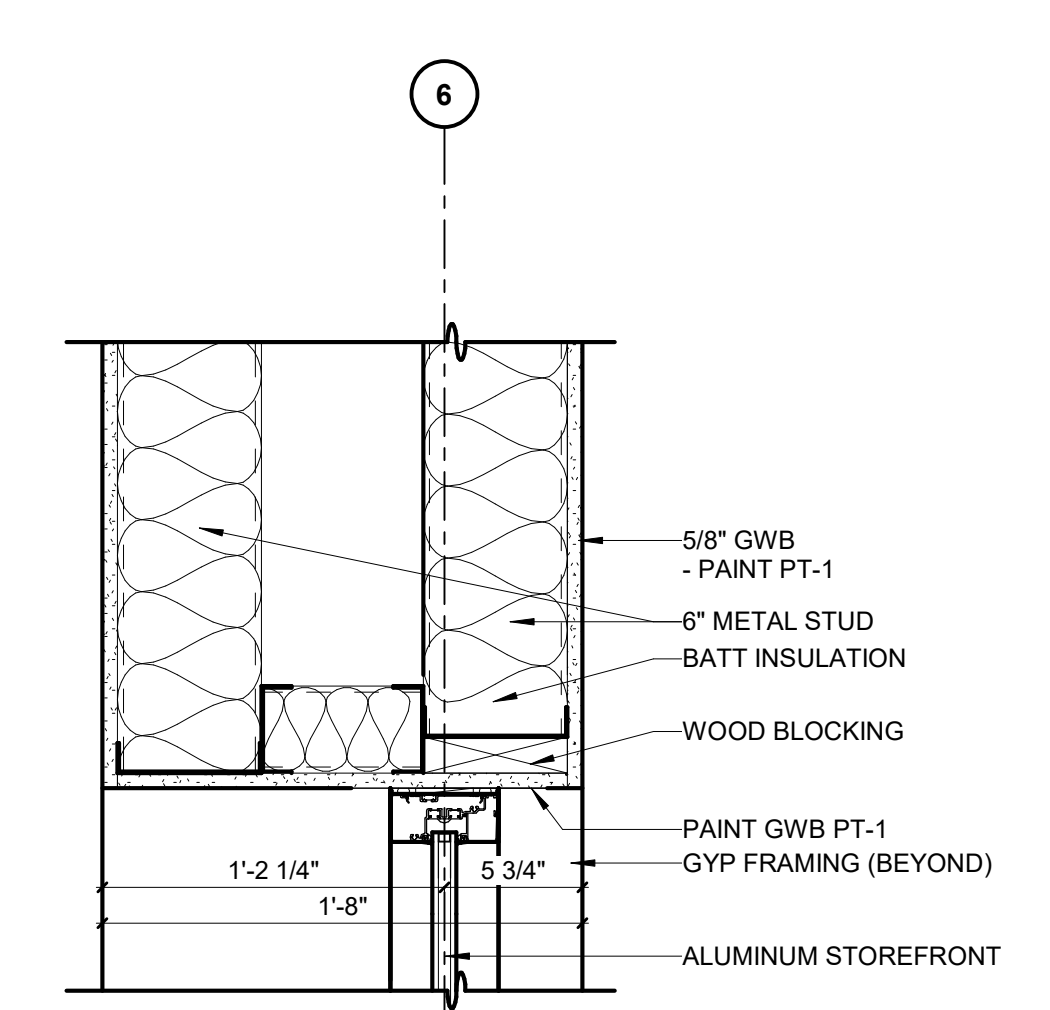
**7 DETAIL - FORD PRO WALL BASE**  
1 1/2" = 1'-0"



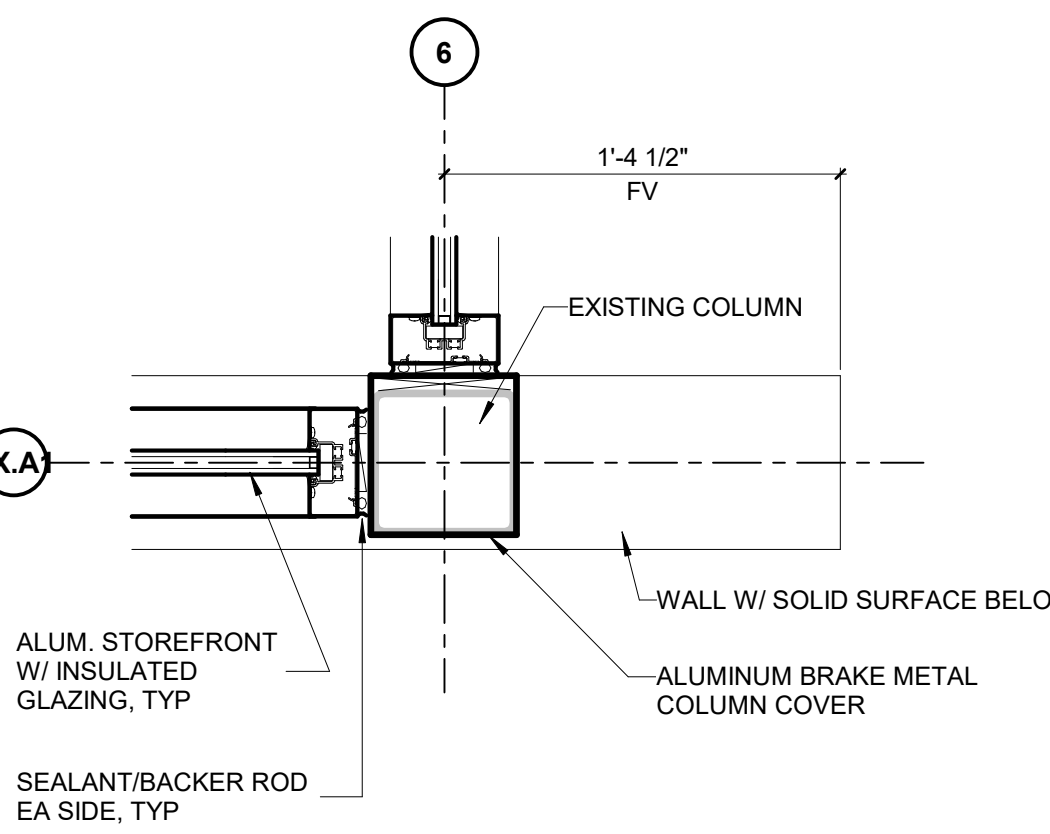
**6 DETAIL - BASE @ GRAVEL (ARCONIC METAL PANEL)**  
1 1/2" = 1'-0"



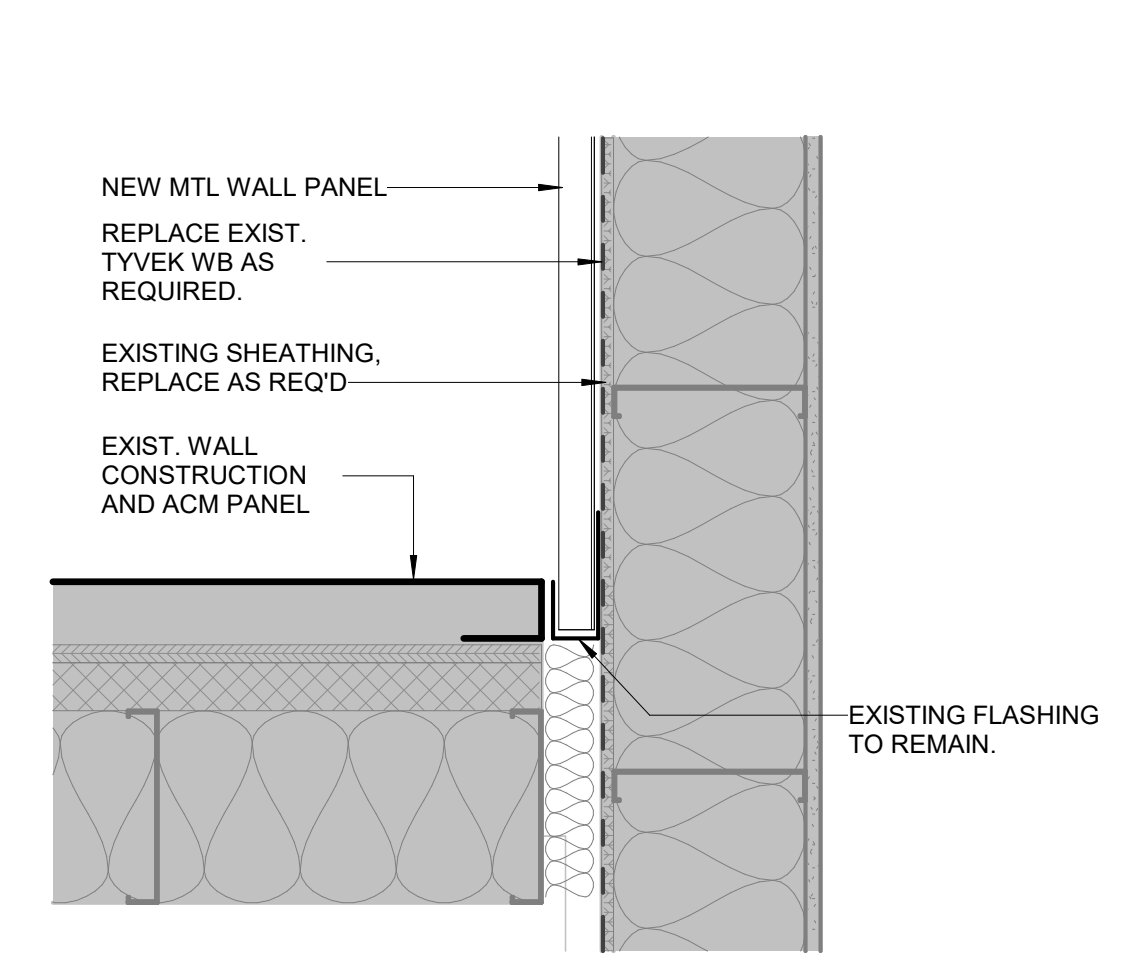
**1 DETAIL - BASE (ARCONIC METAL PANEL)**  
1 1/2" = 1'-0"



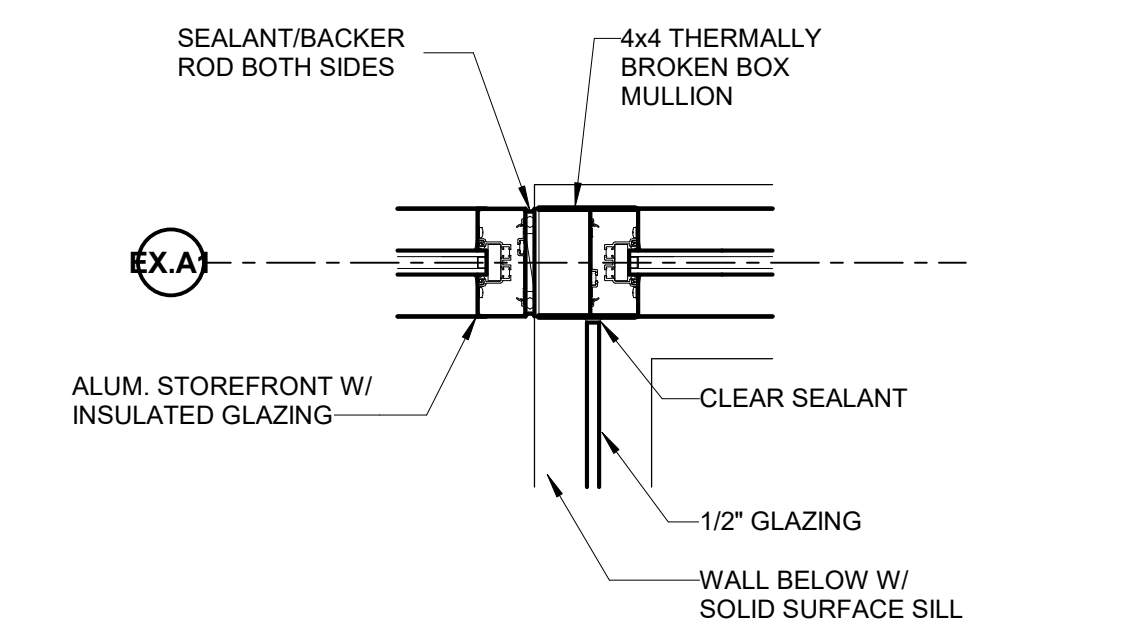
**16 DETAIL - AREA A - SOFFIT @ LOBBY/SERVICE**  
1 1/2" = 1'-0"



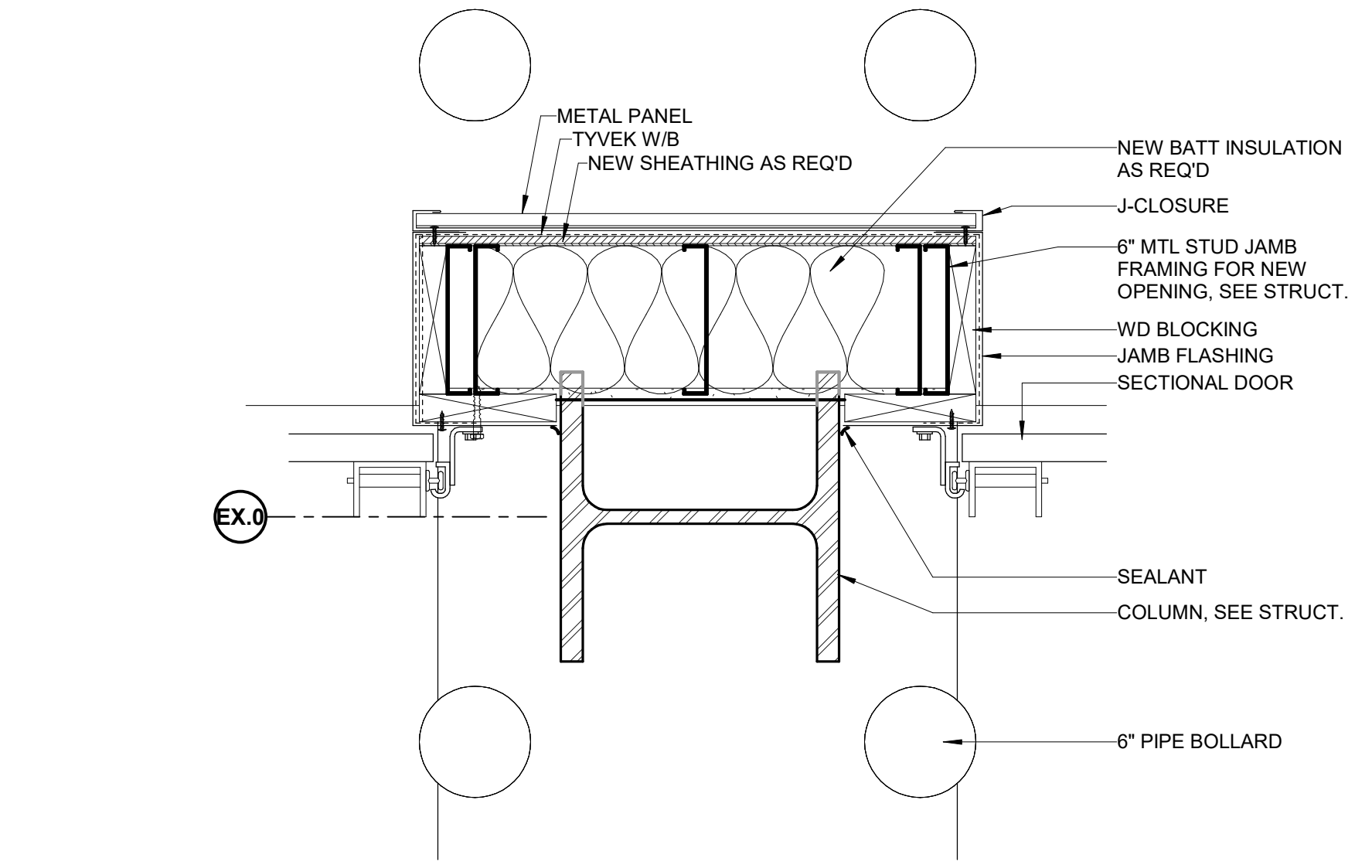
**13 PLAN DTL - AREA A @ LOBBY/SERVICE**  
1 1/2" = 1'-0"



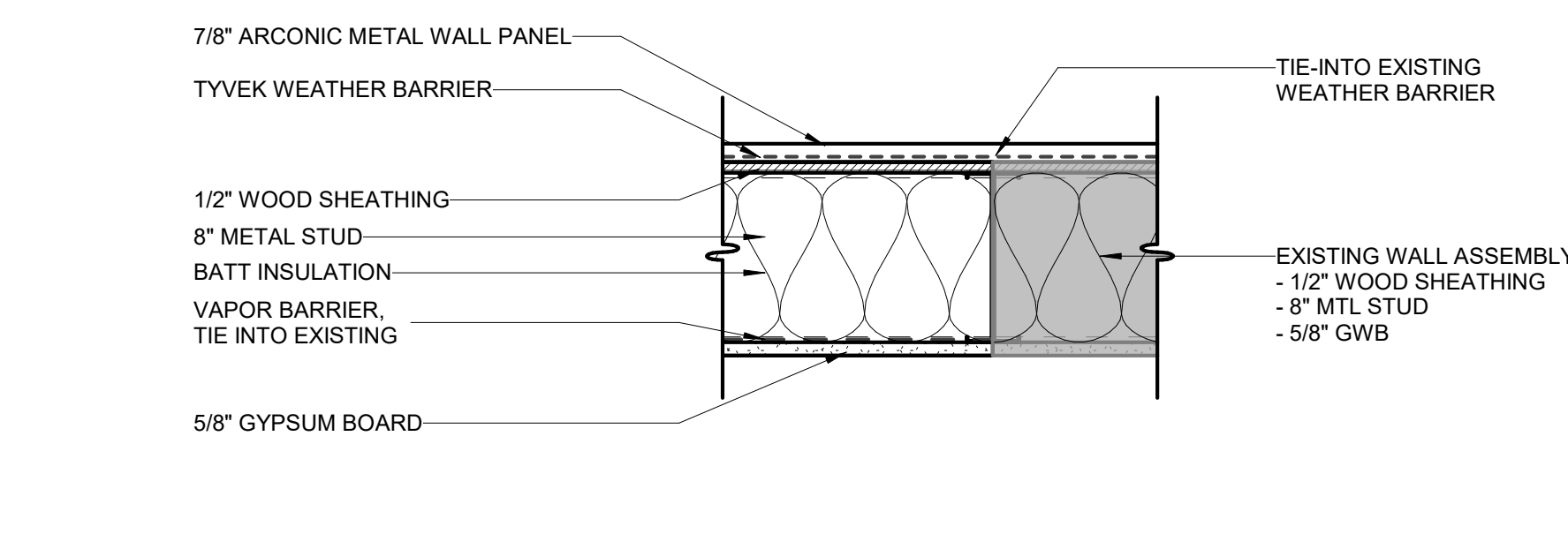
**17 PLAN DETAIL**  
1 1/2" = 1'-0"



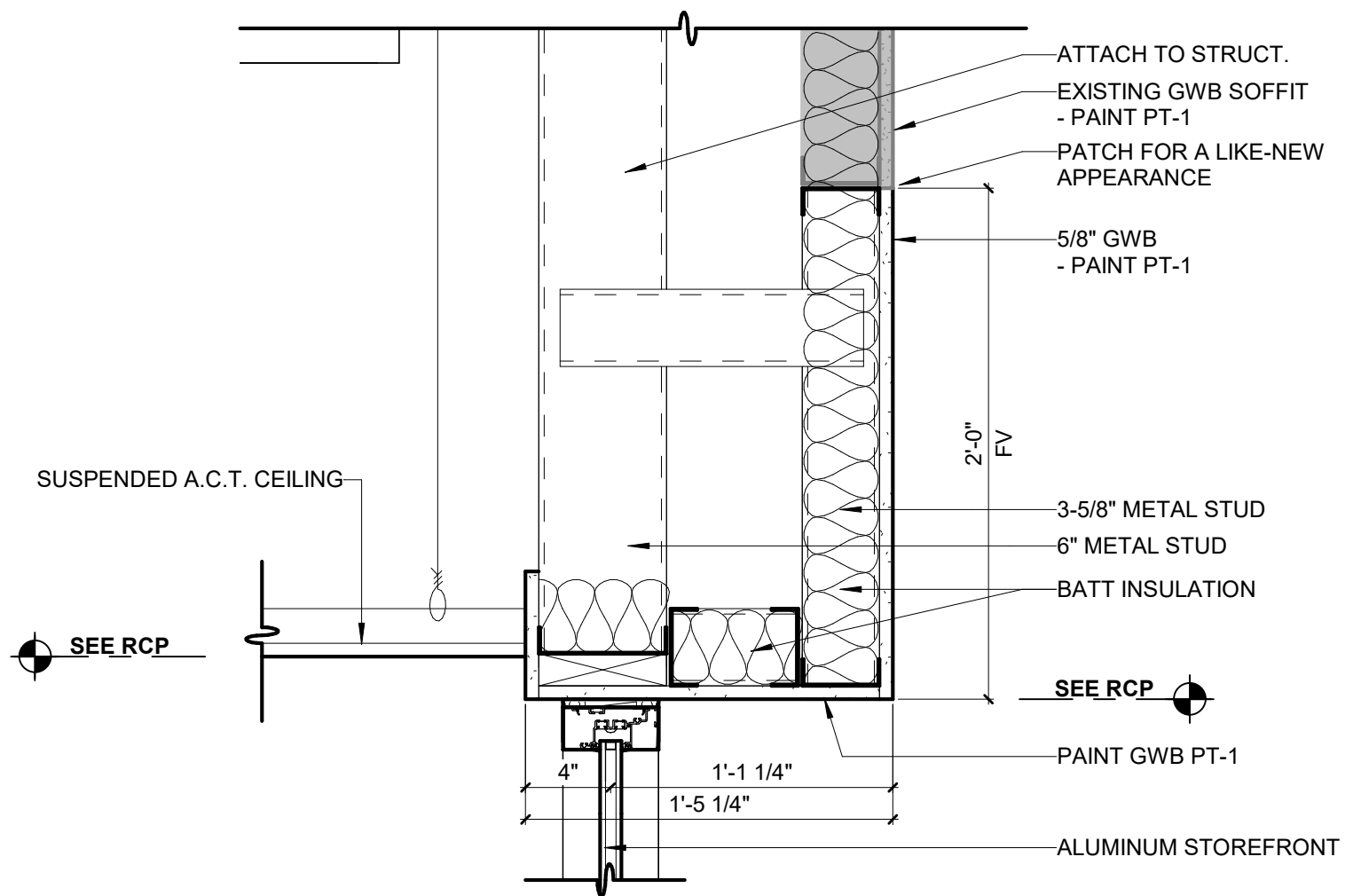
**14 PLAN DTL - AREA A @ SERVICE**  
1 1/2" = 1'-0"



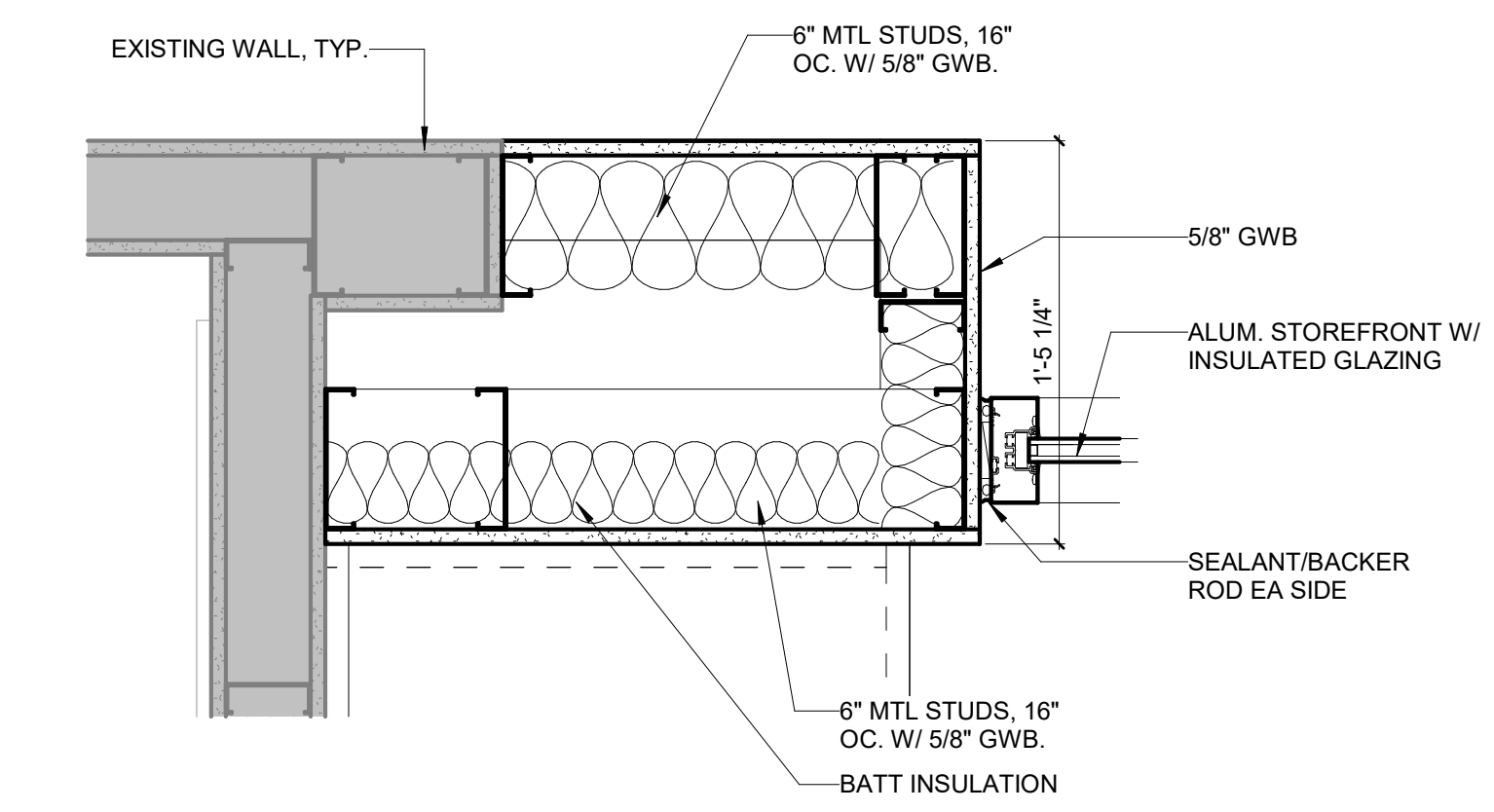
**11 PLAN DETAIL - NEW OPENINGS**  
1 1/2" = 1'-0"



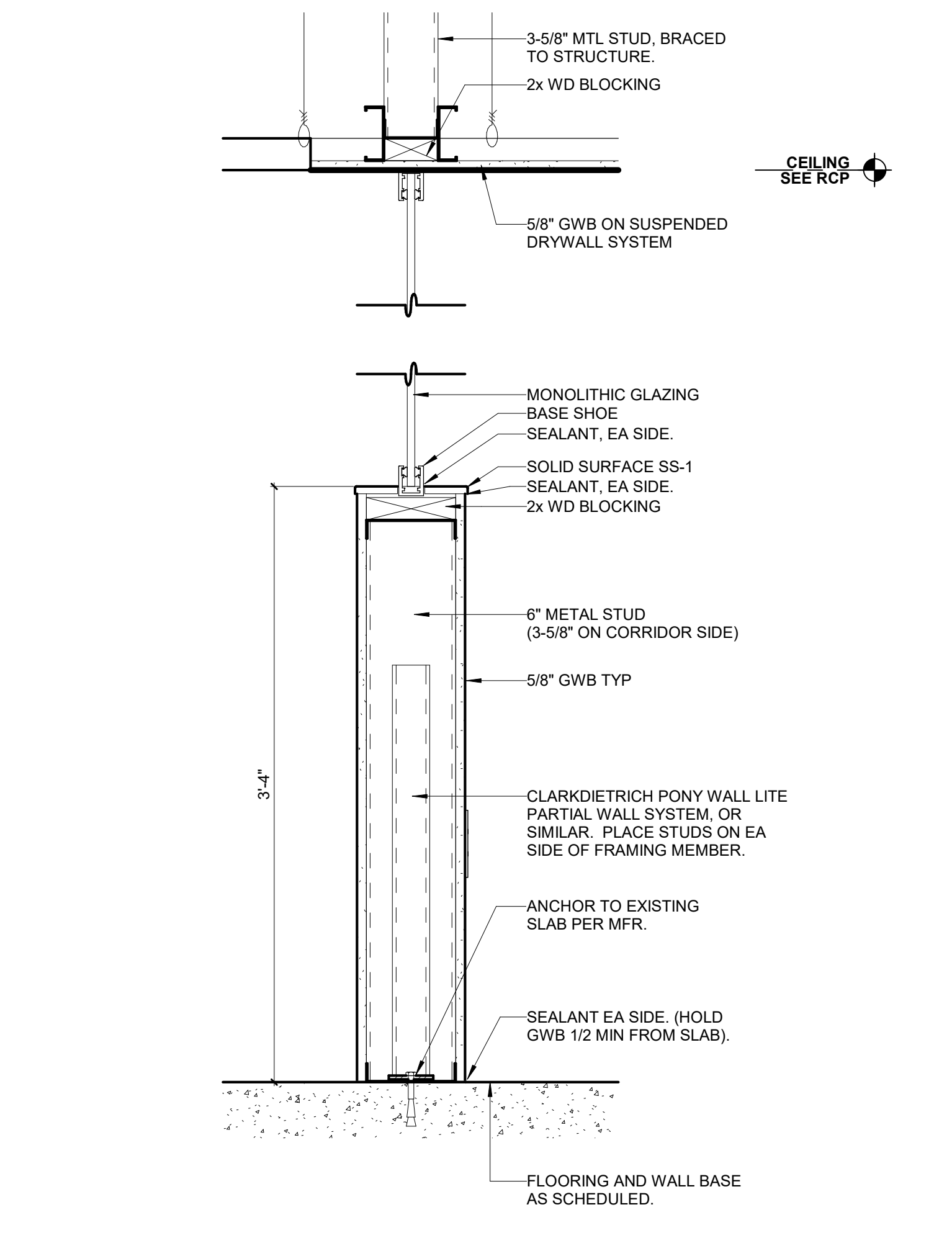
**10 PLAN DTL - AREA A - WALL INFILL**  
1 1/2" = 1'-0"



**18 DETAIL - AREA A - SOFFIT @ LOBBY/WORK**  
1 1/2" = 1'-0"



**15 PLAN DTL - AREA A @ LOBBY/WORK ENTRY**  
1 1/2" = 1'-0"



**12 DETAIL - AREA A - PONY WALL**  
1 1/2" = 1'-0"

0 3 6 9 INCH  
SCALE 1-1/2" = 1'-0"  
0 3 6 9 INCH  
SCALE 1-1/2" = 1'-0"  
0 1 2 3 4 5 FEET  
SCALE 3/4" = 1'-0"  
0 1 2 3 4 5 FEET  
SCALE 1/2" = 1'-0"  
0 1 2 3 4 5 FEET  
SCALE 1/4" = 1'-0"  
0 5 10 15 20 25 30 35 40 45 FEET  
SCALE 1/8" = 1'-0"  
0 5 10 15 20 25 30 35 40 45 FEET  
SCALE 1/16" = 1'-0"  
0 5 10 15 20 25 30 35 40 45 FEET  
SCALE 3/32" = 1'-0"  
0 5 10 15 20 25 30 35 40 45 FEET  
SCALE 1/64" = 1'-0"

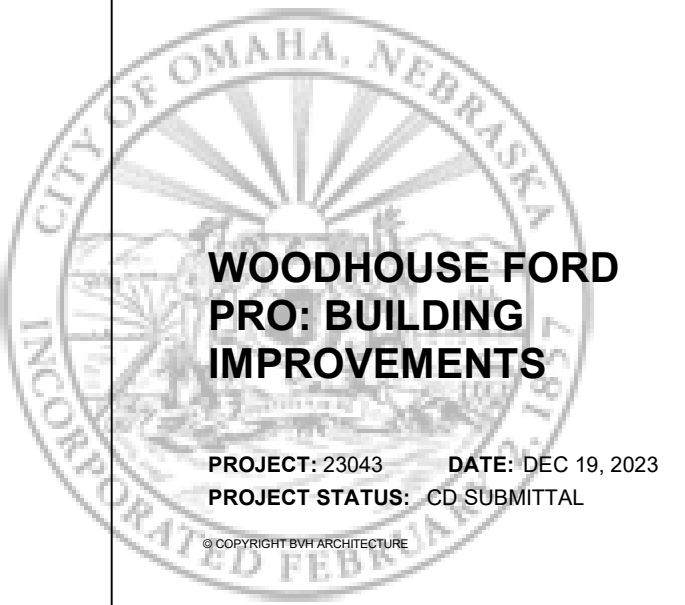
**ARCHITECT**  
**BVH ARCHITECTURE**  
 901 JONES STREET  
 OMAHA, NE 68102  
 V 402 345 3090  
 F 402 345 7871  
 bvh.com

**CIVIL ENGINEER**  
**LAMP RYNEARSON**  
 14710 W DODGE RD #100  
 OMAHA, NE 68154  
 V 402 496 2498  
 tra-inc.com

**STRUCTURAL ENGINEER**  
**LANGE STRUCTURAL GROUP**  
 1919 S 40TH STREET, SUITE 302  
 LINCOLN, NE 68506  
 V 402 421 9540  
 langestructuralgroup.com

**MEP ENGINEER**  
**MORRISSEY ENGINEERING**  
 4940 N 118TH ST  
 OMAHA, NE 68184  
 V 402 491 4144  
 morrisseyengineering.com

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION

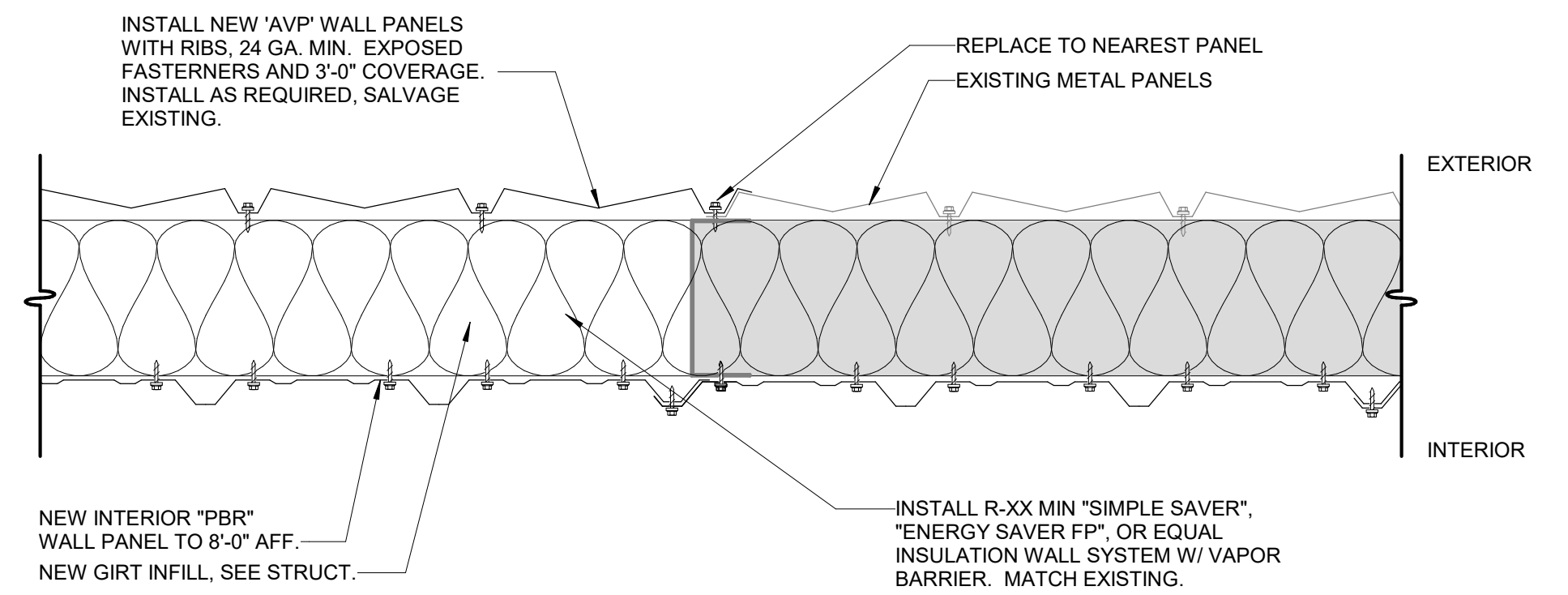


**DETAILS**



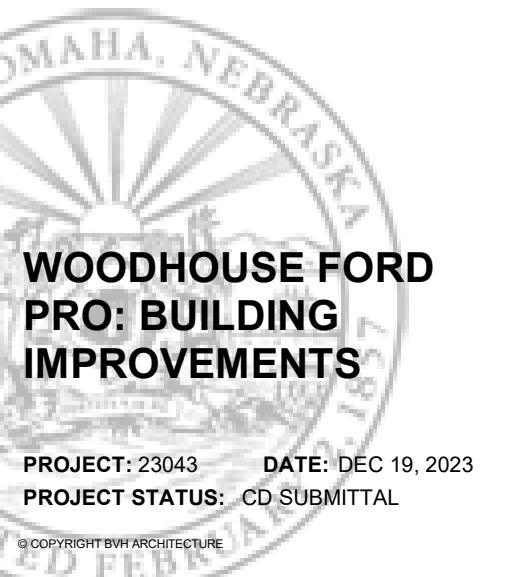
NOTE: PROVIDE/INSTALL ALL ACCESSORIES, FLASHINGS, FASTENERS, ETC. AS REQ'D FOR A WEATHER TIGHT, LIKE NEW FINISH.

EXISTING PRE-ENGINEERED METAL BUILDING WALL CONSTRUCTION. REPAIR/REPLACE MATERIALS AS REQ'D FOR NEW CONSTRUCTION.



**1 DETAIL - EXIST. METAL BUILDING INFILL**  
 1 1/2" = 1'-0"

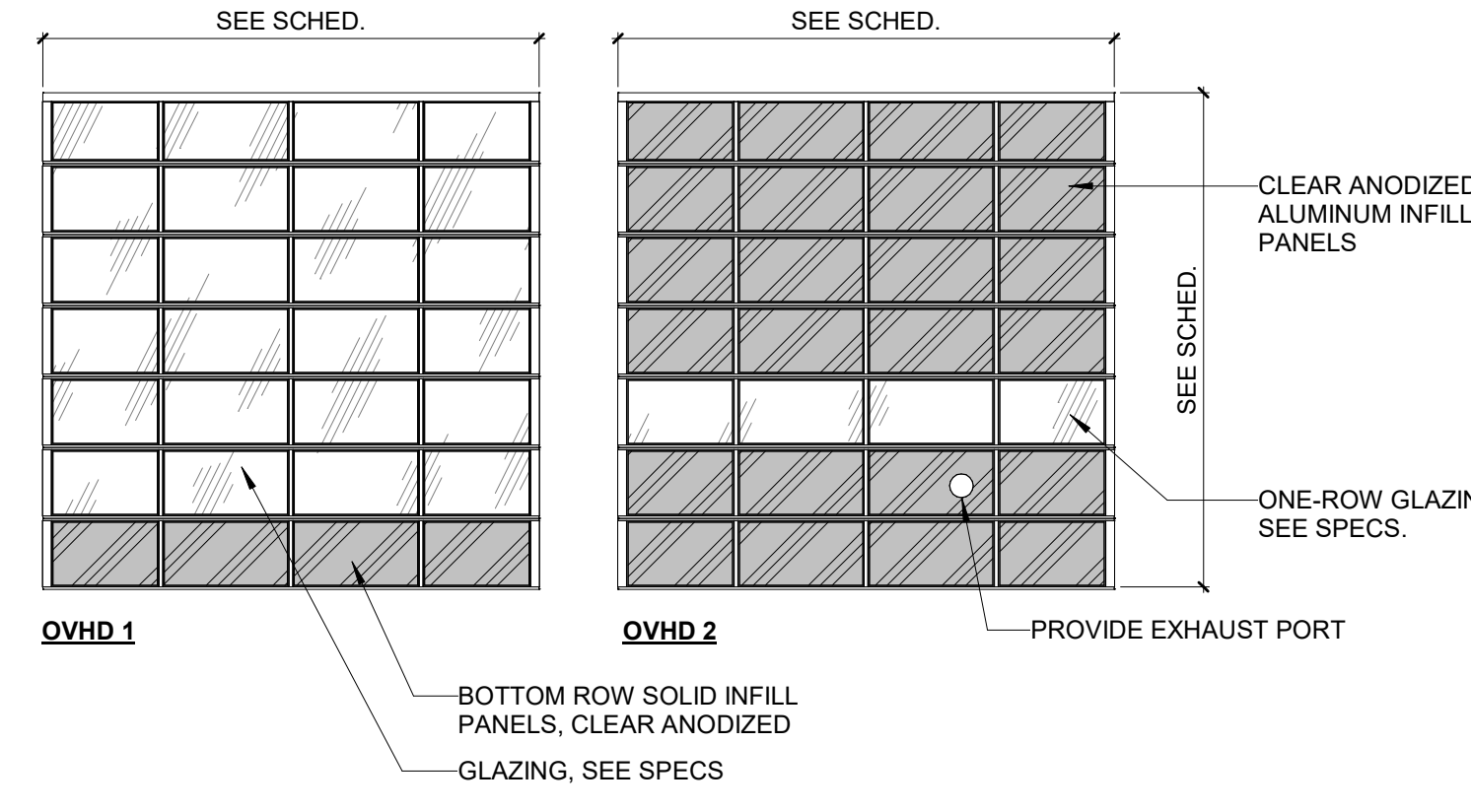
REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION



WOODHOUSE FORD  
PROJ: BUILDING  
IMPROVEMENTS  
PROJECT: 23043 DATE: DEC 19, 2023  
PROJECT STATUS: CD SUBMITTAL

### DOOR AND WINDOW FRAME TYPES/DETAILS

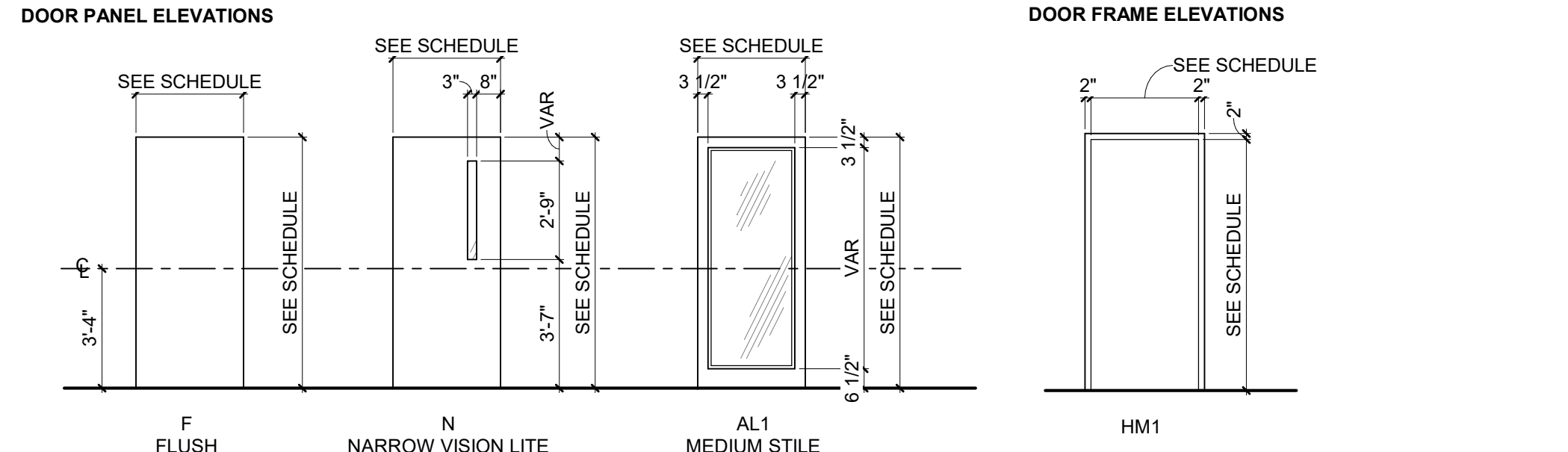
- #### 083613 Sectional Doors
1. Basis of Design: Overhead Door Corporation; Product 521 Series - Aluminum
  2. Other acceptable manufacturers: CH Overhead Doors, Clippy Corporation, Ceco/Windsor, Raynor, Wayne-Dalton, complying with DASHMA 102. Commercial application.
  3. Components:
    - Track: Rolled galvanized steel, 0.120 inch minimum thickness; 3 inch wide, continuous one piece per side; galvanized steel mounting brackets 1/4 inch thick.
    - Hinge and Roller Assemblies: Heavy duty hinges and adjustable roller holders of galvanized steel; floating hardened steel bearing rollers, located at top and bottom of each panel, each side.
    - Lift Mechanism: Spring counterbalance, heavy duty, oil-tempered wire torsion springs on a continuous ball bearing cross head shaft, with galvanized aircraft type steel lifting cables with a minimum safety factor of 5:1. Provide high cycle (100,000 cycle) springs at all doors.
    - Sill Weatherstripping: Resilient hollow rubber strip, one piece, fitted to bottom of door panel, full length contact.
    - Jamb Weatherstripping: Roll formed aluminum section full height of jamb, fitted with resilient weatherstripping, placed in moderate contact with door panels.
    - Head Weatherstripping: EPDM rubber seal, one piece full length.
    - Panel Joint Weatherstripping: Neoprene foam seal, one piece full length.
    - Lock: Omit Lock.
  4. Electrical Operation
    - Operation of the Sectional Doors is to be as follows:
      - Provide toggle switch at each door location with a 'Falcon' sensor to cut power to the controls when service is closed.
      - Provide one bank of controls that will operate all four doors - north and south sides of Service Drive 1 - for convenience purposes, as shown on the Drawings.
      - Remote controls are acceptable only at the Service Drive 1 area. Each remote shall be 4-button to control all doors at the Service Drive.
      - Operator, Controls, Actuators, and Safeties: Comply with UL 325; provide products listed by a testing agency acceptable to authorities having jurisdiction.
      - Electrical Characteristics:
        - 1/2 hp, 120v, single phase, manually operable in case of power failure, transit speed of 12 inches per second.
        - Wiring Terminations: Provide terminal lugs to match branch circuit conductor quantities, sizes, and materials indicated. Enclose terminal lugs in terminal box sized to NFPA 70.
        - Disconnect Switch: Factory mount disconnect switch in control panel.
        - Electric Operator: Side mounted on cross head shaft; adjustable safety friction clutch; brake system actuated by independent voltage solenoid controlled by motor starter; enclosed gear driven limit switch; enclosed magnetic cross line reversing starter; mounting brackets and hardware.
        - Include manufacturer's standard adjustable timer.
        - Safety Edge: At bottom of door panel, full width, electro-mechanical sensitized type, wired to stop door upon striking object; hollow neoprene covered to provide weatherstrip seal.
        - Photoeyes: FOS-1, NEMA 4, Exterior Through-Beam Photoeye.
          - Provide at all doors.
        - Motion Detector: Falcon Motion Detector.
          - Wall mounted per manufacturer's recommendation.
          - Provide at openings 1B, and 1C.
        - Provide toggle switch at each door location with a 'Falcon' sensor to cut power to the controls when service is closed.
        - Toggle-switch Location 1: Disconnects doors 1B and 1C at the Service Drive.
      - Control Station: Standard three button (open-close-stop) momentary type control for each electric operator.
      - 24 volt circuit.
      - Surface mounted.
      - Locate where indicated on the Drawings.
      - Hand Held Transmitter: Manufacturer's Standard Digital control, resettable.
        - Provide (1) set for each service advisor for doors 1B, 1C, 1D, and 1E.



### OVERHEAD DOOR ELEVATIONS

OVERHEAD DOOR SCHEDULE										
NUMBER	DOOR				DETAIL	COMMENTS	REVISIONS			
	WIDTH	HEIGHT	TYPE	MATERIAL						
1B	14'-0"	14'-0"	OVHD1	AL	11/A6.1 & 10/A7.1					
1C	14'-0"	14'-0"	OVHD1	AL	11/A6.1 & 10/A7.1					
1D	14'-0"	14'-0"	OVHD1	AL	11/A6.1 & 10/A7.1					
1E	14'-0"	14'-0"	OVHD1	AL	11/A6.1 & 10/A7.1					
16A	14'-0"	14'-0"	OVHD2	AL	2/A7.1					
16C	14'-0"	14'-0"	OVHD2	AL	2/A7.1					
16D	14'-0"	14'-0"	OVHD2	AL	2/A7.1					
16E	14'-0"	14'-0"	OVHD2	AL	2/A7.1					
16F	14'-0"	14'-0"	OVHD2	AL	2/A7.1					
16H	14'-0"	14'-0"	OVHD2	AL	2/A7.1					
16J	14'-0"	14'-0"	OVHD2	AL	2/A7.1					
16K	14'-0"	14'-0"	OVHD2	AL	2/A7.1					
16L	14'-0"	14'-0"	OVHD2	AL	2/A7.1					
16M	14'-0"	14'-0"	OVHD2	AL	2/A7.1					
16N	14'-0"	14'-0"	OVHD2	AL	2/A7.1					
16P	14'-0"	14'-0"	OVHD2	AL	2/A7.1					
16R	14'-0"	14'-0"	OVHD2	AL	2/A7.1					
16S	14'-0"	14'-0"	OVHD2	AL	2/A7.1					
32A	14'-0"	12'-0"	OVHD2	AL	2/A7.1					
32B	14'-0"	12'-0"	OVHD2	AL	2/A7.1					
32C	14'-0"	12'-0"	OVHD2	AL	2/A7.1					
32D	14'-0"	12'-0"	OVHD2	AL	2/A7.1					
32E	14'-0"	12'-0"	OVHD2	AL	2/A7.1					
32F	14'-0"	12'-0"	OVHD2	AL	2/A7.1					
32J	14'-0"	12'-0"	OVHD2	AL	2/A7.1					
32K	14'-0"	12'-0"	OVHD2	AL	2/A7.1					
32L	14'-0"	12'-0"	OVHD2	AL	2/A7.1					
32M	14'-0"	12'-0"	OVHD2	AL	2/A7.1					
32P	14'-0"	12'-0"	OVHD2	AL	2/A7.1					
32Q	14'-0"	12'-0"	OVHD2	AL	2/A7.1					

DOOR SCHEDULE										
NUMBER	DOOR				FRAME	FIRE RATING	DETAIL	HDWE SET	COMMENTS	REVISIONS
	WIDTH	HEIGHT	TYPE	MATERIAL						
1A	3'-0"	7'-11"	AL1	AL	-	4/A7.1 SIM	1	THERMALLY BROKEN, SEE 3/A3.1 FOR FRAME ELEVATION		
2A	2'-10 1/4"	7'-10"	AL1	AL	-	-	2	THERMALLY BROKEN		
12	3'-0"	7'-0"	N	HM	HM1	-	5/A7.1	3		
13	3'-0"	7'-0"	F	HM	HM1	-	5/A7.1	6		
14	2'-8"	7'-10"	AL1	AL	EXIST	-	-	7	NEW ALUM. DOOR IN EXISTING STOREFRONT OPENING	
16	3'-0"	7'-0"	F	HM	EXIST	-	-	4	NEW DOOR IN EXISTING FRAME	
17	3'-0"	7'-0"	F	HM	EXIST	-	-	4	NEW DOOR IN EXISTING FRAME	
18B	3'-0"	7'-0"	N	HM	HM1	-	3/A7.1	5		
18C	3'-0"	7'-0"	N	HM	HM1	-	3/A7.1	5		
18D	3'-0"	7'-0"	N	HM	HM1	-	3/A7.1	5		
19	2'-10 1/4"	7'-10"	AL1	AL	-	-	2	THERMALLY BROKEN		
32Q	3'-0"	7'-0"	N	HM	HM1	-	3/A7.1	5		
32H	3'-0"	7'-0"	N	HM	HM1	-	3/A7.1	5		
32N	3'-0"	7'-0"	N	HM	HM1	-	3/A7.1	5		
33	3'-0"	7'-0"	F	HM	EXIST	-	-	8	NEW DOOR IN EXISTING FRAME	
34	3'-0"	7'-0"	F	HM	EXIST	-	-	8	NEW DOOR IN EXISTING FRAME	



#### 081113 Hollow Metal Doors and Frames

- Curries, Ceco, Republic or Steelcraft.
- All doors/frames reinforced and prepped for hardware and factory primed for field finish: Two coats finish, minimum.
- Exterior Doors: Heavy-Duty Doors and Frames: SDI A250.8, Level 2; SDI A250.4, Level B.
  - 1-3/4" Thick
  - Face: Galvanized Metallic-coated steel sheet, minimum thickness of 0.042 inch, with minimum A60 coating.
  - Model 2-Seamless.
  - Top Edge Closures: Close top edges of doors with flush closures of same material as face sheets. Seal joints against water penetration.
  - Insulated-Polysiocyanurate.
  - Bottom Edges: Close bottom edges of doors with end closures or channels of same material as face sheets. Provide weep-hole openings in bottoms of exterior doors to permit moisture to escape.
  - Vision Panel: 1" insulated unit (by door supplier).
- Exterior Frames: Galvanized/Insulated, faced-welded, 14 gauge.
  1. Mitered-corners
  2. Pack frames with Mineral-Fiber Insulation: ASTM C 665, Type 1 (blankets without membrane facing), consisting of fibers manufactured from slag or rock wool, with maximum flame-spread and smoke-developed indexes of 25 and 50, respectively; passing ASTM E 136 for combustion characteristics.
  3. Three-anchors per jamb, minimum. Anchor to floor with fixed base anchor.
  4. Provided integral kerf formed into frames to receive weatherstripping.
- Interior Doors: Heavy-Duty Doors and Frames: SDI A250.8, Level 2; SDI A250.4, Level B.
  - Face: Uncoated steel sheet, minimum thickness of 0.042 inch.
  - Core: Fire rated core or manufacturer's standard for non-rated.
- Interior Frames: Fully-welded, 16 gauge.
  - 3 silencers per frame typical.

#### 084213 Aluminum Framed Entrances

- Kawneer North America, an Arconic company, EFCO Corporation, YKK AP America, Inc., Tubille Inc.
  - Kawneer 300T Thermal Entrance (non-thermal at interior)
  - Medium Stile
  - 2-1/4" Depth
- Finish:
  - Clear Anodic Finish: AAMA 611, AA-M12C22A41, Class 1, 0.018 mm.
- Glazing: Specified in 088000.
- Hardware:
  - Continuous hinge
  - Standard Push and Pulls
  - Surface mounted closer, drop plate as required.
  - Deadlock with cylinder
  - Perimeter Weatherstrip
  - Threshold
- Provide with "DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" decal applied to glazing.

#### 084313 Aluminum Framed Storefronts

- Kawneer North America, an Arconic company, EFCO Corporation, YKK AP America, Inc., Tubille Inc.
  - T14000 I/O Series Multipane Storefront (Tubelite)
  - Tripla VersaGlaze 451/451T (Kawneer)
  - Other.
  - 4.5 inch depth, 2 inch sightline.
  - Thermally Broken Construction.
  - Glazing System:
    - Retained mechanically with gaskets on four sides
    - Center
  - Color Anodic Finish: AAMA 611, AA-M12C22A42/A44, Class 1, 0.018 mm.
  - Glazing: Specified in 088000.

#### 088000 Glazing

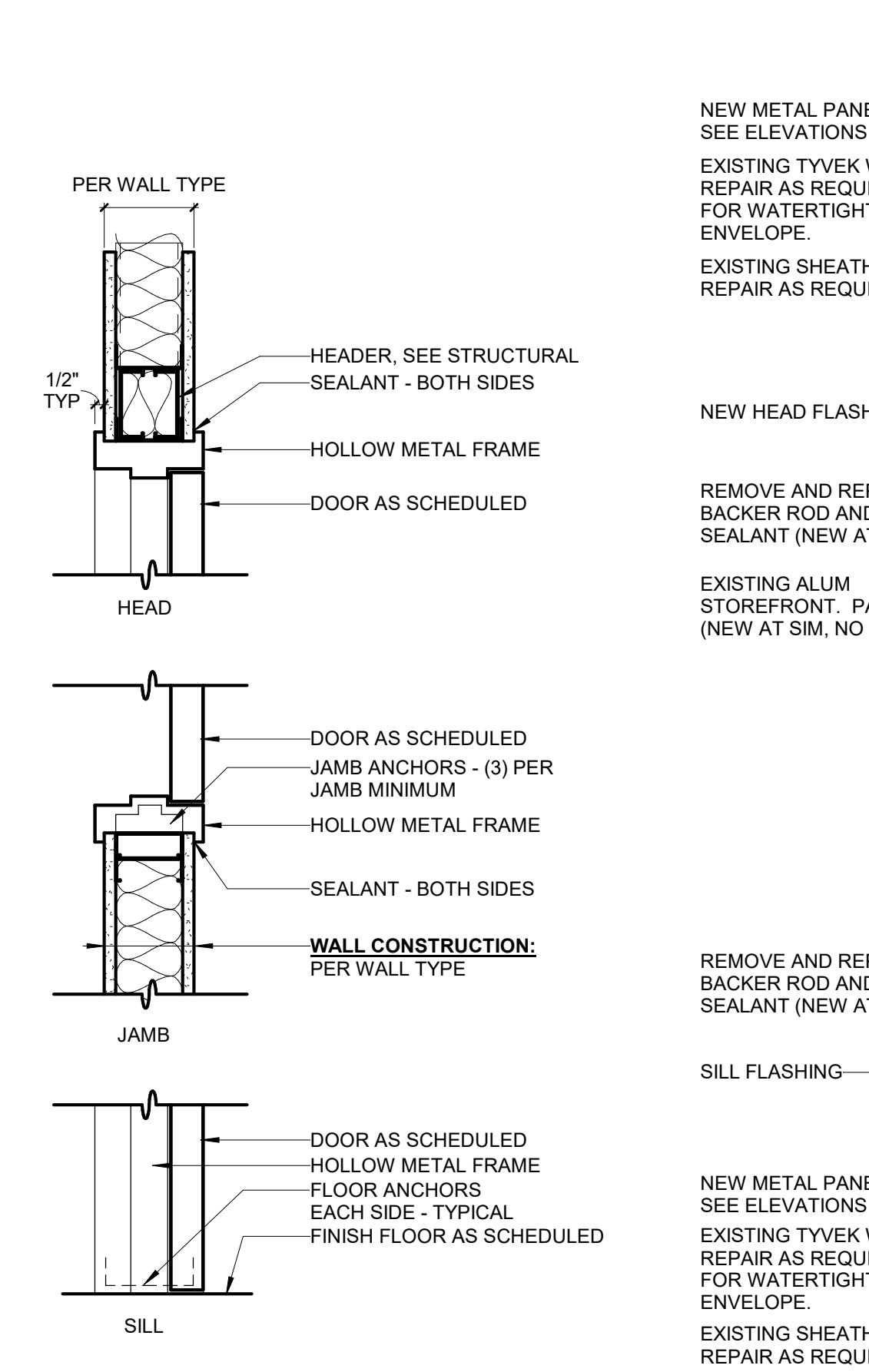
- Exterior Insulating-Glass Units: Factory-assembled units consisting of sealed lites of glass separated by a dehydrated interspace, qualified according to ASTM E 2150.
  1. G1: 1 inch thick Low-E-coated insulating glass, tempered safety glass in doors/sidelites or where required by Code.
    - a. Vitro Architectural Glass
    - Outdoor Lite: Clear Glass, Sputter Coated on second surface (2)
    - Indoor Lite: Clear (transparent) Float Glass
    - Low-E Coating: Solarban® 60 Solar Control (Sputtered) by Vitro Architectural Glass
      - Location: Second Surface (2)
  - b. Performance Values:
    - Visible Light Transmittance: 70%
    - U-Value Winter/Summer: 0.29/0.27
    - SHGC: 0.39
    - Shading Coefficient: 0.45
  - c. Insulating Unit Construction: 1/4" (6mm) glass + 1/2" (13mm) air space + 1/4" (6mm) glass
- G2: Interior: 1/2" thick clear float glass, tempered in doors/sidelites or where required by Code
- G3: 1/2" Tempered glass with polished edges
  1. Provide clear silicon sealant at glass panel joints.
  2. Hardware:
    - A. U-Channel Fittings: Extruded aluminum, satin anodized finish, dry glazed, and with matching end caps.
      - a. Top channel is 1-1/2 inch (38 mm) high by 1 inch (25.4 mm) deep.
      - b. Bottom channel is 1 inch (25.4 mm) high by 1 inch (25.4 mm) deep.

#### 088300 Mirrors

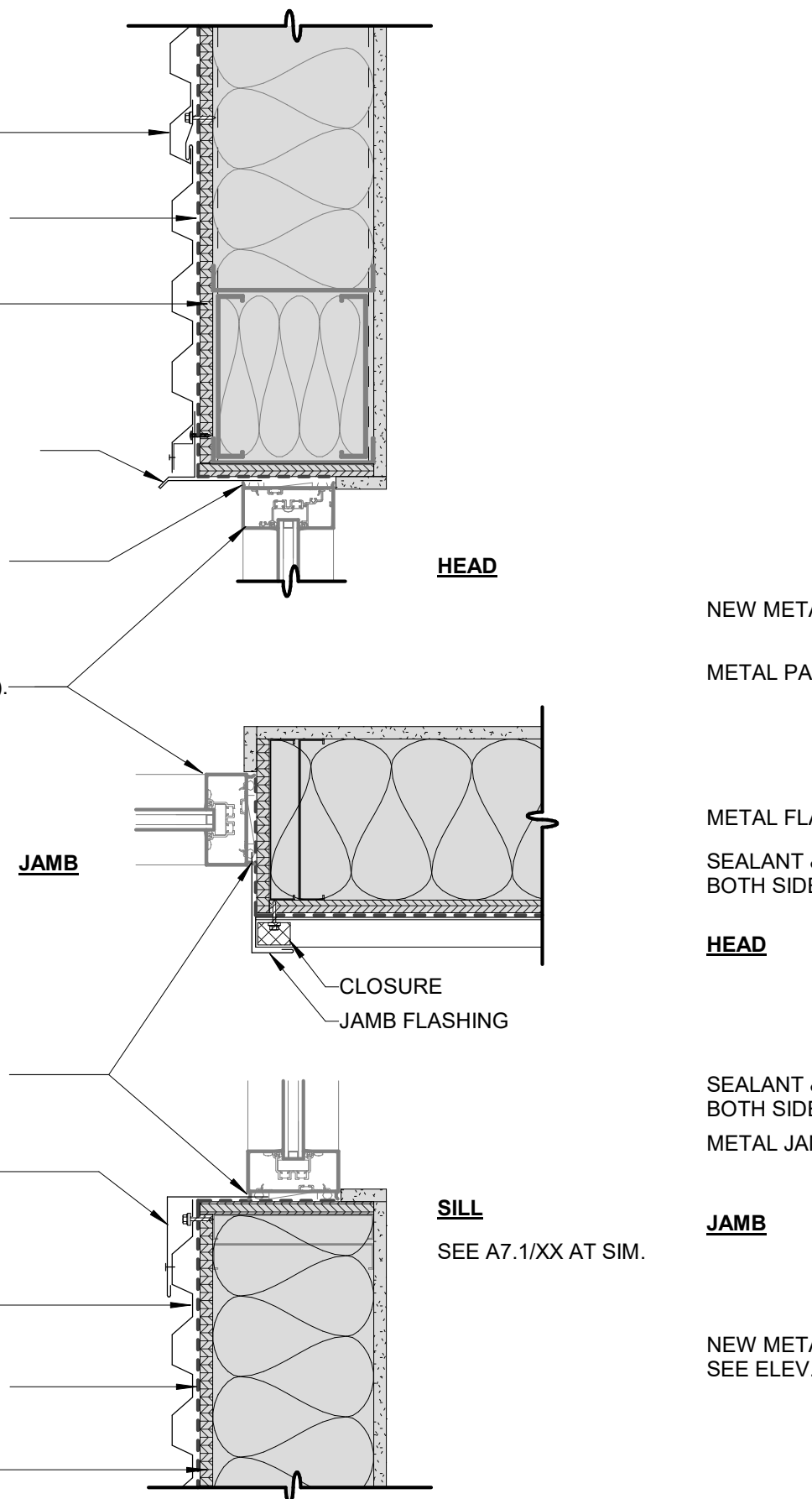
- Mirrored Glass: 1/4" thick clear float, silvered, with copper backing, edges polished and ground smooth.

#### 08 Hardware Schedule

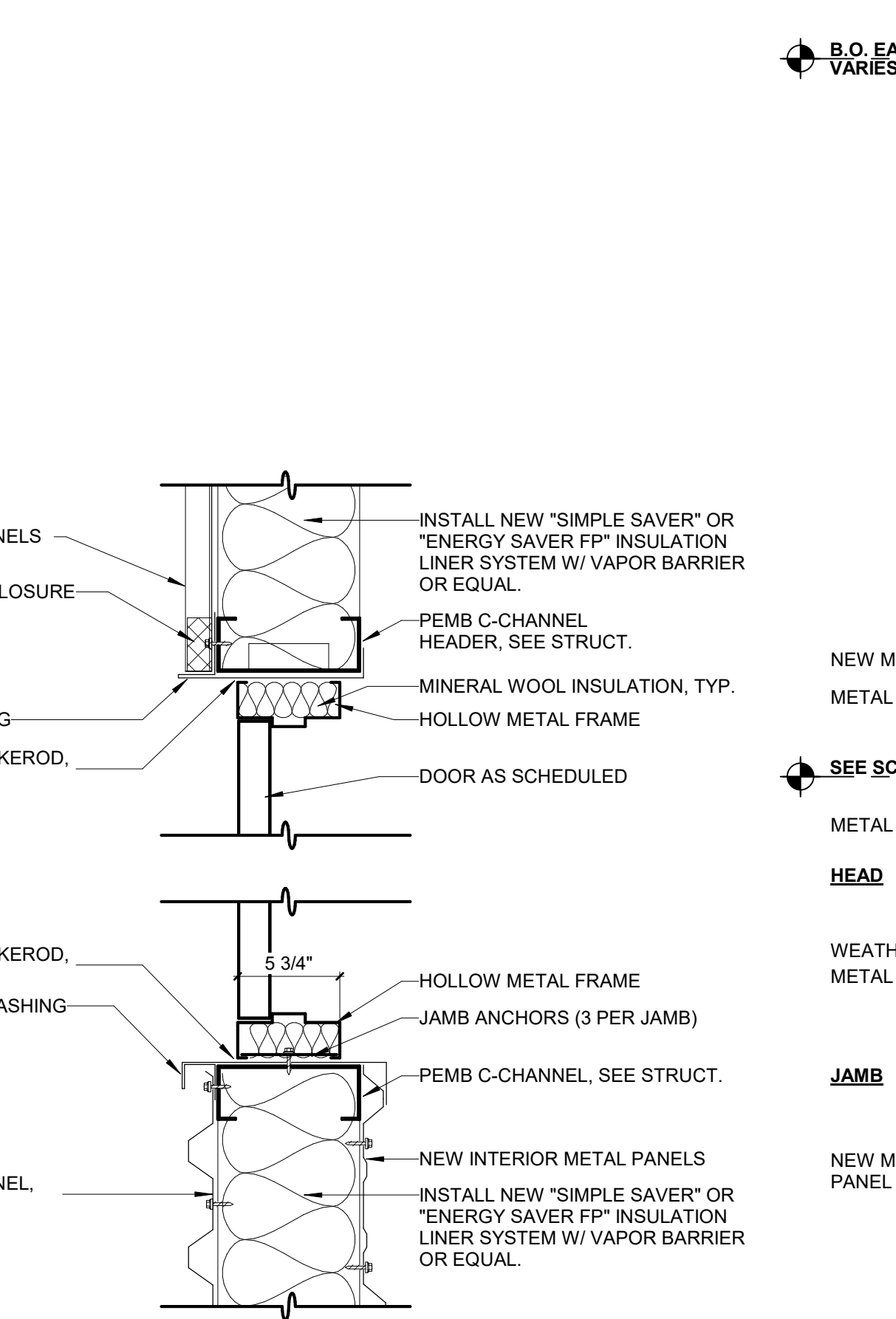
- Hardware Set 1
  - Provided by aluminum door supplier
  - Cylinder
- Hardware Set 2
- Hardware Set 3
  - (3) ea Hinges. New hinges installed with existing door frame.
  - (1) ea Lever Lockset, office function. Corbin Russel CLX3351 or equivalent.
  - (1) ea Kick Plate, 8"
  - (1) ea Wall Stop
- Hardware Set 4
  - (3) ea Hinges
  - (1) ea Pull Plate
  - (1) ea Push Plate
  - (1) ea Closer
  - (1) ea Wall Stop
- Hardware Set 5
  - (3) ea Hinges
  - (1) ea Lever Lockset
  - (1) ea Cylinder
  - (1) ea Sweep
  - (1) ea Door Bottom
  - (1) ea Threshold
  - (1) ea Armor plate, 34" high
  - Perimeter seals.
- Hardware Set 6
  - (3) ea Hinges
  - (1) ea Lever Lockset, storeroom function. Corbin Russel CLX3320 or equivalent.
  - (1) ea Closer
  - (1) ea Wall Stop.
- Hardware Set 7
  - Provided by aluminum door supplier
- Hardware Set 8
  - (3) ea Hinges
  - (1) ea Lever Lockset, privacy function. Corbin Russel CLX3320 or equivalent.
  - (1) ea Closer
  - (1) ea Wall Stop



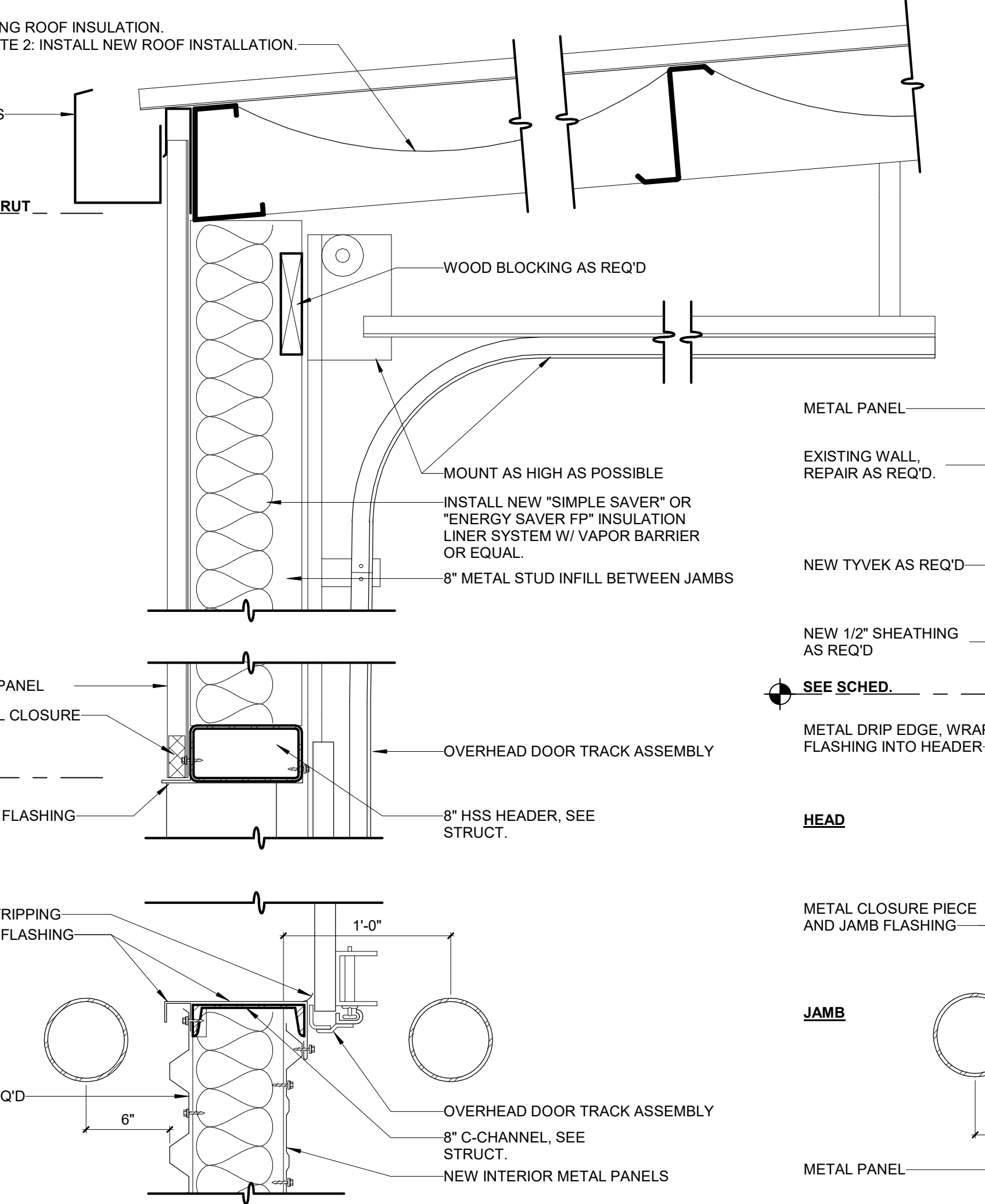
5 DETAIL - TYPICAL HM FRAME IN MTL STUD WALL  
1 1/2" = 1'-0"



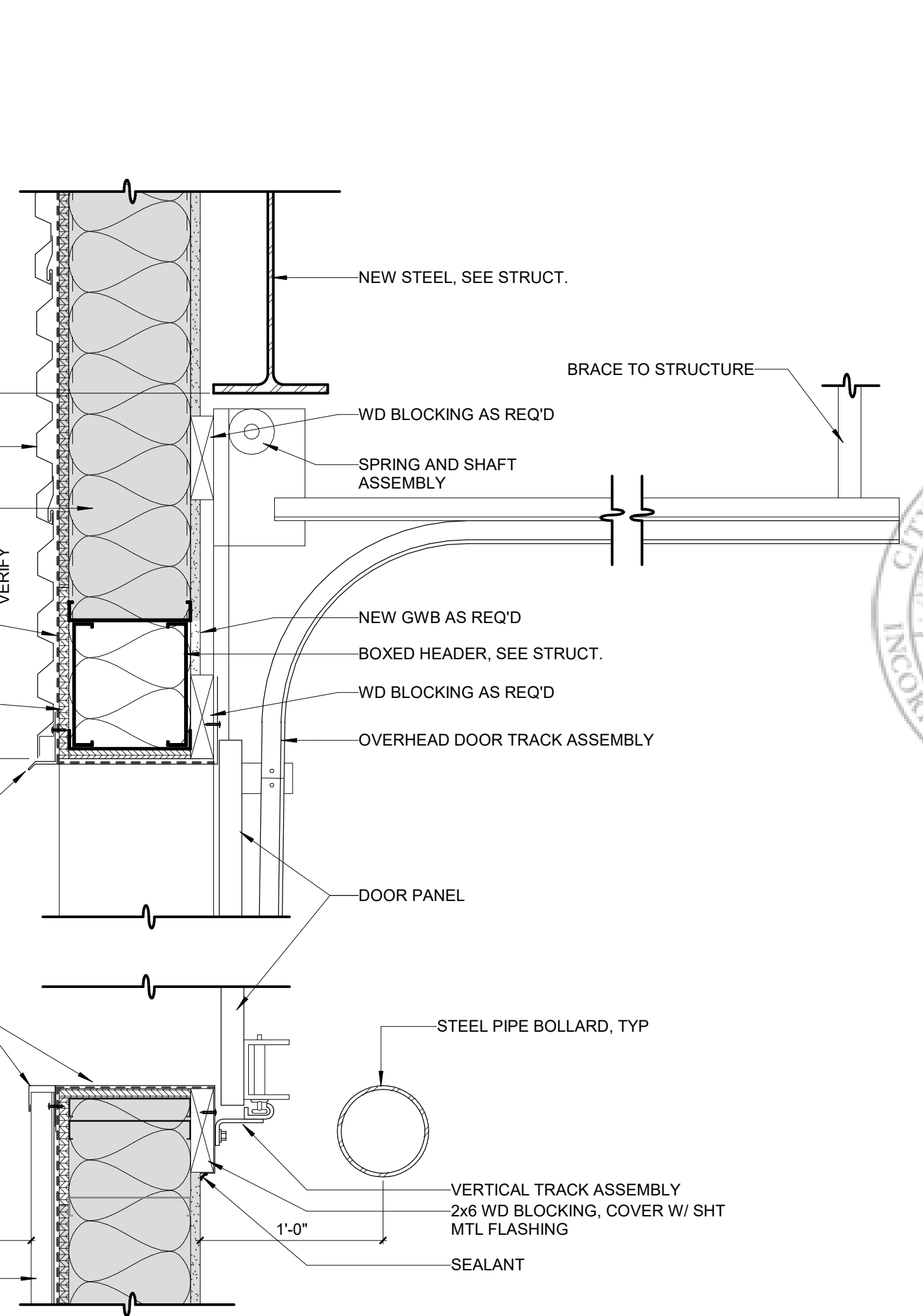
4 ALUM DOOR IN MTL STUD EXT  
1 1/2" = 1'-0"



3 HM DOOR IN MTL BLDG  
1 1/2" = 1'-0"



2 OVHD DOOR DTL IN MTL BLDG  
1 1/2" = 1'-0"



1 OVHD DOOR DTL  
1 1/2" = 1'-0"



## INTERIOR FINISHES SCHEDULE

CODE	DESCRIPTION	MANUFACTURER	SERIES	COLOR	SIZE	FINISH	CONTACT INFO	COMMENTS
AC-1	ACOUSTICAL CEILING TILE	ARMSTRONG	PRELUDE XL	WHITE/ CALLA	24 x 24	PRELUDE XL 15/16" EXPOSED TEE SYSTEM IN WHITE	877-ARMSTRONG	SQUARE EDGE TILE
CB-1	ACOUSTICAL CEILING BAFFLES	ACOUFELT	CEILING BAFFLES	WINE BARREL	12" H x 1"		RONALD TRUAN ronald.truan@acoufelt.com	SEE RCP FOR LOCATION AND DETAILS
CG-1	WALL PROTECTION	INPRO	STAINLESS STEEL CORNER GUARD	ST/STL	2" x 2" x 4"	STAINLESS STEEL	CIARA BENSON 515-333-3707 cbenso@inprocorp.com	SEE FINISH PLAN FOR LOCATIONS. CUT TO HEIGHT ON KNEE WALLS
CG-2	WALL PROTECTION	INPRO	STAINLESS STEEL SURFACE MOUNT END WALL PROTECTOR	ST/STL	F.V. X 4"	STAINLESS STEEL	CIARA BENSON 515-333-3707 cbenso@inprocorp.com	SEE FINISH PLAN FOR LOCATIONS
CPT-1	CARPET TILE	SHAW CONTRACT	COLOR FRAME TILE 5T081	MYSTIC GREY 81515	24 x 24		NICHOLE PIKUR nichole.pikur@shawcontract.com	1/4 TURN INSTALLATION PATTERN
CPT-2	CARPET TILE RUG	SHAW CONTRACT	COLOR FRAME TILE 5T081	MYSTIC GREY 81515	24 x 24		NICHOLE PIKUR nichole.pikur@shawcontract.com	RUG WITH TAPERED RUBBER EDGE BINDING. 1/4 TURN INSTALLATION PATTERN
FRP-1	FIBERGLASS REINFORCED PANELS	MARLITE	PEBBLED FRP	P 470N DARK GRAY	4' X 8'	PEBBLED	WYATT DUNBAR wdunbar@schluter.com	PROVIDE LONGEST LENGTHS POSSIBLE W/O SPLICES
FTS-1	FLOOR TRANSITION STRIP	SCHLUTER	SCHIENE	STAINLESS STEEL	VARIABLES	BRUSHED ST-STL (EBU)	WYATT DUNBAR wdunbar@schluter.com	PROVIDE LONGEST LENGTHS POSSIBLE W/O SPLICES
GR-1	GROUT	MAPEI	KERAPOXY CQ	281 BARDIGLIO GREY			LESLIE HUMPHRIES 800-433-3222 www.wiltonart.com	USE ON T-1 TILE
LAM-1	PLASTIC LAMINATE	WILSONART	WOODGRAINS	LANDMARK WOOD 7981K-12		SOFTGRAIN	DAWN M CENOWA dawn.m.cenowa@sherwin.com 248-660-3067	GENERAL PAINT, UNLESS OTHERWISE NOTED
PT-1	PAINT	SHERWIN WILLIAMS		PURE WHITE SW 7005		EG-SHELL	DAWN M CENOWA dawn.m.cenowa@sherwin.com 248-660-3067	ACCENT PAINT AS NOTED
PT-2	PAINT	SHERWIN WILLIAMS		CUSTOM SW COLOR: FMC001 FORD BLUE 2022		EG-SHELL	DAWN M CENOWA dawn.m.cenowa@sherwin.com 248-660-3067	ACCENT PAINT AS NOTED
PT-3	PAINT	SHERWIN WILLIAMS		MINDFUL GREY SW 7016		EG-SHELL	DAWN M CENOWA dawn.m.cenowa@sherwin.com 248-660-3067	ACCENT PAINT AS NOTED
PT-4	PAINT	SHERWIN WILLIAMS		GAUNTLET GREY SW 7019		EG-SHELL	DAWN M CENOWA dawn.m.cenowa@sherwin.com 248-660-3067	ACCENT PAINT AS NOTED
RF-1	RESINOUS FLOORING	RESUFLOOR	DECO FLAKE BC - 1/4" FLAKE	STAR SEEKER		SEE SPECS	JAMES BERGEVIN james.j.bergevin@sherwin.com, 612-720-9934	ALTERNATE 1. SEE FINISH FLOOR PLAN
SC-1	CONCRETE SEALER	TK PRODUCTS	TK-GAS RESISTANT SEALER 2167	CLEAR		2 COATS MINIMUM AS RECOMMENDED BY MFR		SEE FINISH PLAN FOR LOCATIONS
SS-1	SOLID SURFACE POLYMER	CORIAN		DESIGNER WHITE			SABRINA KASSAB skassab@oldenkamp.com 586-980-2413	
T-1	CERAMIC TILE	VIRGINIA TILE	CAESAR TILES/CLASH SPIRIT	CAESP1224R MATT	12" x 24"	MATT	STEPHAN REING 800-514-8453 www.commercial.tarkett.com	
WB-1	RUBBER BASE	JOHNWHITE	TRADITIONAL DURACOVE	50 WHITE W	6"		WYATT DUNBAR wdunbar@schluter.com	
WTS-1	WALL TRANSITION STRIP	SCHLUTER	JOLLY			VARIABLES	WYATT DUNBAR wdunbar@schluter.com	PROVIDE LONGEST LENGTHS POSSIBLE W/O SPLICES AT ALL TILE EDGES AND OUTSIDE CORNERS IN RESTROOMS

NOTE: FINISHES LISTED WITH REPRESENTATIVE CONTACT INFO ARE REQUIRED. SUBSTITUTIONS ARE NOT PERMITTED. CONTACT LISTED REP FOR FORD PROGRAM PRICING.

### INTERIOR PAINTING:

- PREPARE THE SURFACE AS RECOMMENDED BY THE MANUFACTURER.
- INTERIOR PAINT SYSTEMS:
  - UNPRIMED BARE STEEL:
    - REMOVE RUST, LOOSE MIL SCALE, AND SHOP PRIMER, IF ANY. CLEAN PER MFR OR SSPC-SP 11 AS MINIMUM REQUIREMENT.
    - PRIMER COAT: SHERWIN WILLIAMS: 866310 PRO-CRYL UNIVERSAL PRIMER; APPLIED AT A DRY FILM THICKNESS OF NOT LESS THAN 2.0 MILS.
    - TOP COATS: SHERWIN WILLIAMS: 866 SERIES, DTM ENAMEL; APPLIED AT A DRY FILM THICKNESS OF NOT LESS THAN 2.5 MILS PER COAT; SEMI-GLOSS.
  - SHOP PRIMED STEEL:
    - CLEAN FIELD WELDS, BOLTED CONNECTIONS, AND AREAS WHERE SHOP PAINT IS ABRASED. CLEAN PER SSPC-PA.
    - PRIMER COAT: TOUCH-UP ORIGINAL PRIMER.
    - TOP COATS: SHERWIN WILLIAMS: 866 SERIES, DTM ENAMEL; APPLIED AT A DRY FILM THICKNESS OF NOT LESS THAN 2.0 MILS.
  - STEEL; WATERBORNE DRYFALL FOR EXPOSED STRUCTURE CEILING:
    - PRIMER COAT: SHERWIN WILLIAMS: 866-310 PRO-CRYL UNIVERSAL PRIMER; APPLIED AT A DRY FILM THICKNESS OF NOT LESS THAN 2.0 MILS.
    - TOP COATS: SHERWIN WILLIAMS: 842W00082, WATERBORNE ACRYLIC DRYFALL; APPLIED AT A DRY FILM THICKNESS OF NOT LESS THAN 4.5 MILS. FLAT.
  - GALVANIZED-METAL SUBSTRATES:
    - WATER-BASED DRY-FALL SYSTEM MPI INT 5.3H.
    - PRIME COAT: DRY-FALL, WATER BASED, FOR GALVANIZED STEEL, MATCHING TOPCOAT.
    - TOPCOAT: DRY FALL, WATER BASED, FOR GALVANIZED STEEL, FLAT (MPI GLOSS LEVEL 1), MPI #133.
  - GYPSUM BOARD SUBSTRATES:
    - GYPSUM BOARD (NON-EPOXY)
      - LOCATIONS: ALL GYPSUM BOARD SURFACES UNLESS NOTED OTHERWISE.
      - PRIMER COAT: SHERWIN WILLIAMS: PROMAR 200 ZERO VOC LATEX PRIMER, B28W2600.
      - PRIMER COAT (ALT): WHERE INDICATED ON FINISH PLAN PRIME WALLS WITH SHERWIN WILLIAMS MOISTURE VAPOR BARRIER INTERIOR LATEX PRIMER-SEALER.
      - TOP COATS: PROMAR 200 SERIES HIGH PERFORMANCE ZERO VOC INTERIOR LATEX PAINT, EG-SHEL. PROVIDE FLAT FINISH AT GYPSUM BOARD CEILING.
    - GYPSUM BOARD: EG-SHEL EPOXY.
      - PRIMER: SHERWIN WILLIAMS PROMAR 200 ZERO VOC LATEX PRIMER, B28W2600.
      - FINISH: TWO COATS SHERWIN WILLIAMS PRO INDUSTRIAL PRE-CATALYZED WATERBASED EPOXY, EG-SHEL, K45 SERIES. APPLY AT RATES AS RECOMMENDED BY MANUFACTURER.

### PAINT THE FOLLOWING WORK WHERE EXPOSED IN OCCUPIED SPACES:

- EQUIPMENT, INCLUDING PANELBOARDS.
- UNINSULATED METAL PIPING.
- UNINSULATED PLASTIC PIPING.
- PIPE HANGERS AND SUPPORTS.
- METAL CONDUIT.
- PLASTIC CONDUIT.
- DUCT, EQUIPMENT, AND PIPE INSULATION HAVING COTTON OR CANVAS INSULATION COVERING OR OTHER PAINTABLE JACKET MATERIAL.
- OTHER ITEMS AS DIRECTED BY ARCHITECT.

### PAINT PORTIONS OF INTERNAL SURFACES OF METAL DUCTS, WITHOUT LINER, BEHIND AIR INLETS AND OUTLETS THAT ARE VISIBLE FROM OCCUPIED SPACES.

### 090561 COMMON WORK RESULTS FOR FLOORING PREPARATION

- CONCRETE SLAB TESTING SHALL BE CONDUCTED BY A THIRD PARTY TESTING AGENCY.
- TESTING SHALL BE CONDUCTED ON ALL FLOORS TO RECEIVE ADHESIVELY APPLIED FLOOR FINISHES INCLUDING CARPET, RESINOUS FLOORING AND RESILIENT FLOORING. ADDITIONAL TESTING REQUIREMENTS:
  - FLOOR COATINGS WHERE MOISTURE AND ALKALINITY (PH) TESTING ARE REQUIRED BY THE MANUFACTURER PRIOR TO INSTALLATION.
  - ANY OTHER FLOORING MATERIAL THAT REQUIRES TESTING BY THE MANUFACTURER.
- REQUIRED TESTS:
  - MOISTURE VAPOR EMISSION TESTING IN ACCORDANCE WITH ASTM F1869.
  - INTERNAL RELATIVE HUMIDITY TEST IN ACCORDANCE WITH ASTM F2170 PROCEDURE A.
  - ALKALINITY TESTING ACCORDING TO ASTM F710.
  - ADHESIVE BOND AND COMPATIBILITY TESTING. PER MANUFACTURER'S STANDARD TEST PROCEDURES.

### RESINOUS FLOORING SPECIFICATIONS (ALTERNATE 1):

- VERIFY MOISTURE-VAPOR EMISSIONS ARE WITHIN ACCEPTABLE LEVELS ACCORDING TO MFR'S WRITTEN INSTRUCTIONS. (SEE COMMON WORK RESULTS FOR FLOORING PREPARATION)
- INSTALL RESINOUS FLOOR OVER PROPERLY PREPARED CONCRETE SURFACE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS.
- APPLY COMPONENTS OF RESINOUS FLOORING SYSTEM ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS TO PRODUCE A UNIFORM, MONOLITHIC WEARING SURFACE OF THICKNESS INDICATED.
- SEALANT: SAW CUT RESINOUS FLOOR TOPPING AT EXPANSION JOINTS IN CONCRETE SLAB. FILL SAWCUTS WITH SEALANT PRIOR TO FINAL SEAL COAT APPLICATION. FOLLOW MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- CLEANING: UPON COMPLETION OF THE WORK, CLEAN UP AND REMOVE FROM THE PREMISES SURPLUS MATERIALS, TOOLS, APPLIANCES, EMPTY CANS, CARTONS AND RUBBISH RESULTING FROM THE WORK. CLEAN OFF ALL SPATTERING AND DRIPPINGS, AND ALL RESULTING STAINS.
- PROTECTION: PROTECT WORK IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS FROM DAMAGE AND WEAR DURING THE REMAINDER OF THE CONSTRUCTION PERIOD. USE PROTECTIVE METHODS AND MATERIALS, INCLUDING TEMPORARY COVERING, RECOMMENDED IN WRITING BY RESINOUS FLOORING MANUFACTURER.
- CONTRACTOR SHALL INSURE THAT COATING IS PROTECTED FROM ANY TRAFFIC UNTIL IT IS FULLY CURED TO THE SATISFACTION OF THE COATING MANUFACTURER.

### SERVICE DRIVE WITH DECORATIVE ACRYLIC FLAKE:

- Resufloor Aqua Deco Flake BC, 20-30 mils nominal thickness. See finish schedule for color selection.
- Primer: Resufloor Aqua 3479 at 200-300 sq. ft. per gallon.
- Body coat: Resufloor Aqua 3479 at 200-250 sq. ft. per gallon.
- Broadcast: Decorative flakes 6750 or 6755 to excess at 100-200 lbs. per 1,000 sq. ft.
- GROUT: Resufloor Aqua 3461 at 125-250 sq. ft. per gallon.
- Striping: Line striping via stencil 856 Series Macrocopy 646 FC/RC Polyamide Epoxy to color (yellow) and pattern as indicated on the drawings.
- Seal coat: Resufloor HTS 100 kit with high wear additive.

### GENERAL NOTES:

- INTERIOR FINISH LEGEND IS FOR MATERIAL AND FINISH DESCRIPTION AND LOCATION ASSIGNMENT. SEE SPECIFICATIONS FOR ALL MATERIAL QUALITY AND PERFORMANCE REQUIREMENTS.
- COORDINATE THE INSTALLATION OF ALL FINISHED MATERIALS WITH OTHER CONSTRUCTION TRADES. ALIGN FINISHED MATERIALS WITH BUILT-IN COMPONENTS, EQUIPMENT, CASEWORK, CORNERS, TRANSITIONS, ETC WHETHER NOTED OR NOT FOR A CLEAN AND ORDERED APPEARANCE. CONSULT WITH ARCHITECT WHERE REQUIRED.
- SUBSTITUTION REQUESTS OF EQUAL OR BETTER PRODUCTS SHALL BE SUBMITTED PRIOR TO BIDDING IN ACCORDANCE WITH THE SPECIFICATIONS. PRODUCT SUBSTITUTION REQUESTS ARE NOT ALLOWED AFTER PROJECT AWARD.

### TYPICAL FINISHES:

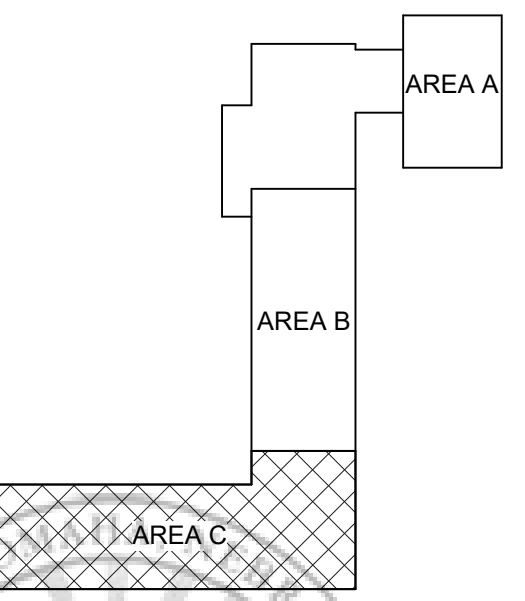
- BASE TO BE WB-1 UNLESS NOTED OTHERWISE.
  - BASE NOT REQUIRED IN SERVICE DEPARTMENT 18 & 32 EXCEPT AT NEW FRP-1 PANELS.
- GYPSUM WALL BOARD WALLS TO BE PAINTED PT-1 UNLESS NOTED OTHERWISE.
  - GW3 COLUMNS AND PLASTERS TO MATCH ADJACENT WALLS.
- SUSPENDED GYPSUM BOARD CEILINGS TO BE PAINTED PT-1 UNLESS NOTED OTHERWISE.
- EXPOSED CEILING STRUCTURE TO BE PAINTED PT-4 UNLESS NOTED OTHERWISE.
- GYPSUM WALL BOARD SOFFITS TO MATCH ADJACENT WALLS UNLESS NOTED OTHERWISE.
- PROVIDE TILE TRANSITION STRIPS WTS-1 AND FTS-1 AT ALL TILE TRANSITIONS UNLESS NOTED OTHERWISE.
- GRILLES, DIFFUSERS, ELECTRICAL PANELS, ACCESS PANELS, AND SIMILAR EXPOSED AT FINISHED SPACES SHALL BE PAINTED TO MATCH THE WALL.
  - CONSULT WITH ARCHITECT WHERE PREFINISHED METALS, OR FACTORY PAINTED EQUIPMENT IS SPECIFIED.

### TILE NOTES:

- INSTALL TILE AND GROUT IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF ANSI A108.1 THROUGH A108.13, MANUFACTURER'S INSTRUCTIONS, AND THE TILE COUNCIL OF NORTH AMERICA HANDBOOK-CURRENT EDITION, RECOMMENDATIONS.
  - AT CHANGES IN PLANE AND TILE-TO-TILE CONTROL JOINTS, USE TILE SEALANT INSTEAD OF GROUT, WITH EITHER BOND BREAKER TAPE OR BACKER ROD AS APPROPRIATE TO PREVENT THREE-SIDED BONDING.
  - SEAL JOINTS BETWEEN TILE WORK AND OTHER WORK INCLUDING PLUMBING FIXTURES, WITH SILICONE SEALANT.
  - INSTALLATION - FLOORS, THIN-SET METHODS: FOR TYPICAL INSTALLATION OVER INTERIOR CONCRETE SUBSTRATES, INSTALL IN ACCORDANCE WITH TCNA HANDBOOK METHOD F125-FULL-19, WITH SPECIFIED MORTAR, GROUT, AND WATERPROOFING / CRACK ISOLATION MEMBRANE. (NOTE: TCNA METHOD INDICATED IS FOR GENERAL GUIDELINE PURPOSES. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS, INCLUDING ALL RELATED PREP WORK, FOR A COMPLETE INSTALLATION).
  - CERAMIC TILE WALL INSTALLATION: OVER COATED GLASS MAT BACKER BOARD ON METAL STUDS, INSTALL IN ACCORDANCE WITH THE TILE COUNCIL OF NORTH AMERICA HANDBOOK METHOD W245-19, WITH SPECIFIED MORTAR, AND GROUT. (NOTE: TCNA METHOD INDICATED IS FOR GENERAL GUIDELINE PURPOSES. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS, INCLUDING ALL RELATED PREP WORK, FOR A COMPLETE INSTALLATION).
  - SETTING MATERIALS
    - LATEX-PORTLAND CEMENT MORTAR BOND COAT: ANSI A118.15.
    - APPLICATIONS: ALL AREAS - FLOORS AND WALLS.
  - EPOXY GROUT: ANSI A118.3 CHEMICAL RESISTANT AND WATER-CLEANABLE EPOXY GROUT.
  - SILICONE SEALANT: ASTM C-920, SILICONE SEALANT, MOISTURE AND MILDEW RESISTANT TYPE, TYPE S, GRADE NS, CLASS 25; USE FOR CONTROL JOINTS IN TILE WALLS AND FLOORS, TO SEAL JOINTS OF DISSIMILAR MATERIALS TO TILE, BETWEEN PLUMBING FIXTURES AND TILE AND AS OTHERWISE INDICATED.
  - CONCRETE FLOOR SLAB WATERPROOFING AND CRACK ISOLATION MEMBRANE: MATERIAL COMPLYING ANSI A118.12.
    - THICKNESS: TWO COATS, AT A RATE OF 50 SQ. FT PER GALLON, EACH COAT.
    - CRACK RESISTANCE: NO FAILURE AT 18" GAP, MINIMUM.
    - CLOSEOUT: EXTRA TILE 2 PERCENT OF EACH SIZE, COLOR, AND SURFACE FINISH COMBINATION, BUT NOT LESS THAN 1 BOX OF EACH TYPE.

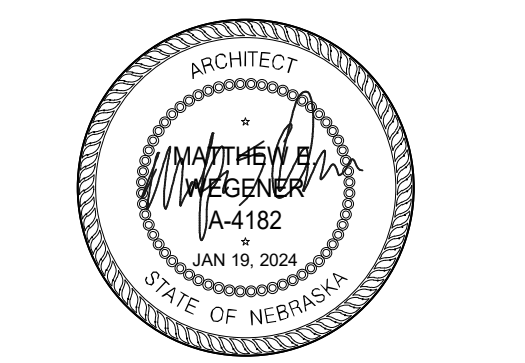
### REVISIONS SCHEDULE

MARK	DATE	DESCRIPTION



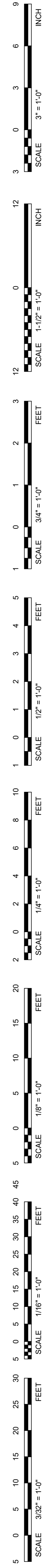
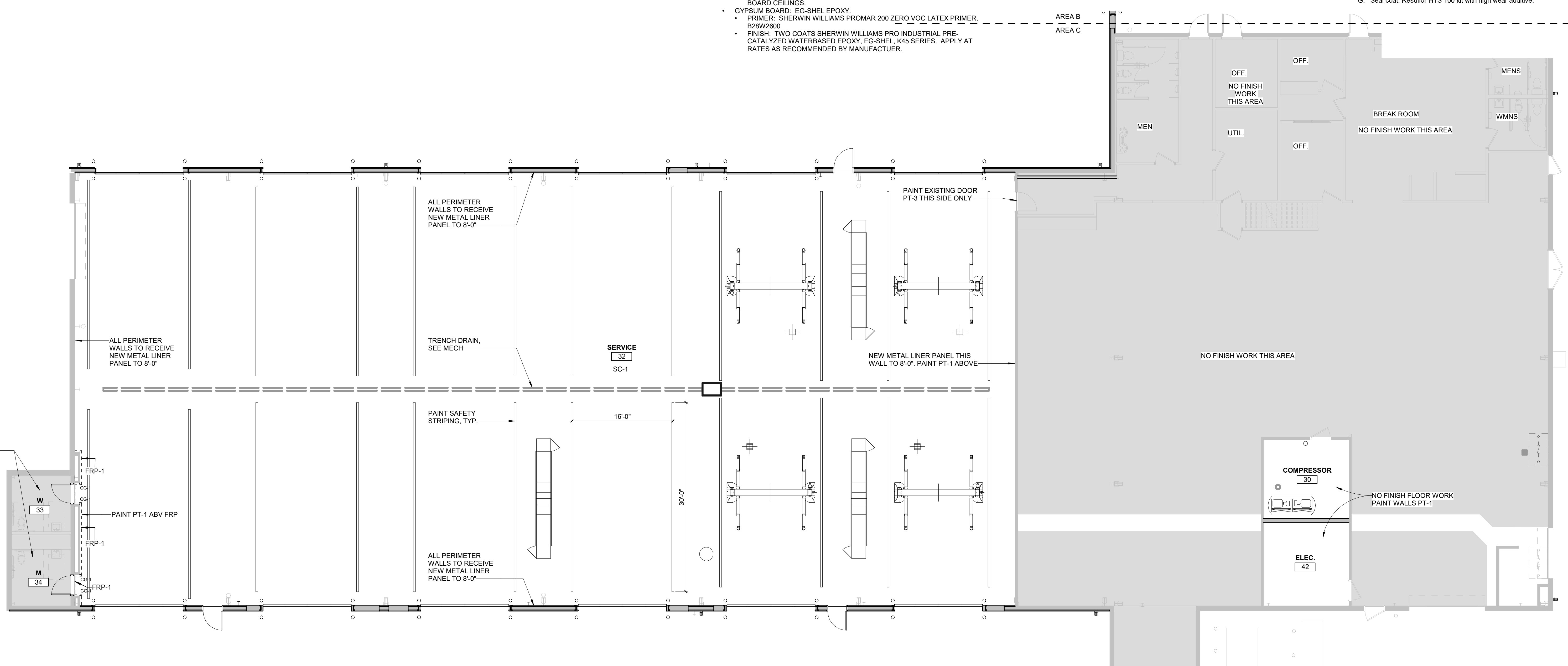
### WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS

PROJECT: 23043 DATE: DEC 19, 2023  
 PROJECT STATUS: CD SUBMITTAL



### FINISH SCHEDULE & FIRST FLOOR FINISH PLAN - AREA C

**1 FIRST FLOOR FINISH PLAN - AREA C**  
 1/8" = 1'-0"



**ARCHITECT**  
 BVH ARCHITECTURE  
 901 JONES STREET  
 OMAHA, NE 68102  
 V 402 345 3090  
 F 402 345 7871  
 bvh.com

**CIVIL ENGINEER**  
 LAMP RYNEARSON  
 14710 W DODGE RD #100  
 OMAHA, NE 68154  
 V 402 496 2498  
 tra-inc.com

**STRUCTURAL ENGINEER**  
 LANGE STRUCTURAL GROUP  
 1919 S 40TH STREET, SUITE 302  
 LINCOLN, NE 68506  
 V 402 421 9540  
 langestructuralgroup.com

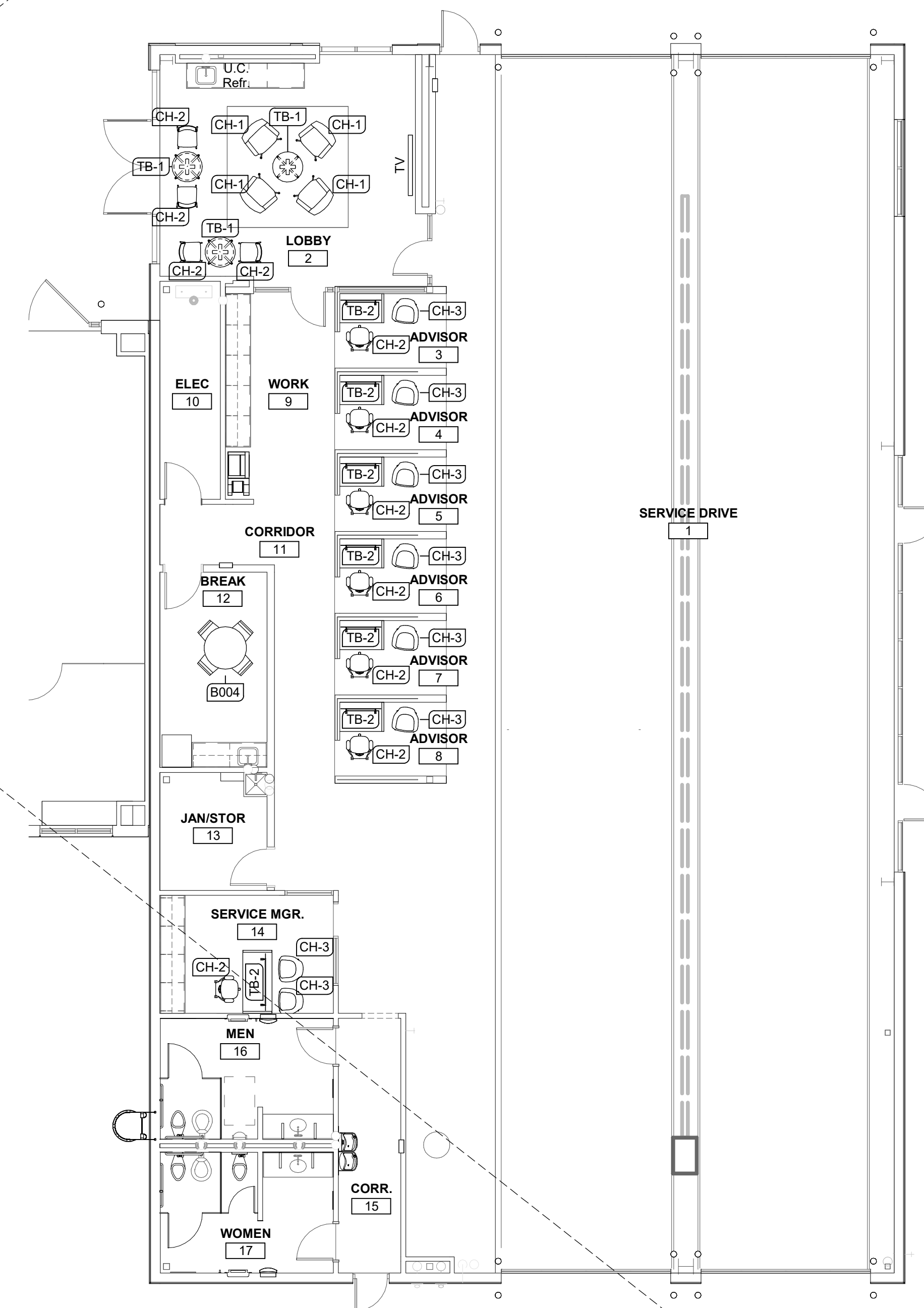
**MEP ENGINEER**  
 MORRISSEY ENGINEERING  
 4940 N 118TH ST  
 OMAHA, NE 68184  
 V 402 491 4144  
 morrisseyengineering.com

FURNITURE SCHEDULE (FOR REFERENCE ONLY)				
QTY	TYPE	DESCRIPTION	FURNITURE DEALER	COMMENTS
1	B004	BREAK ROOM TABLE AND CHAIRS	MARXMODA OR MFG INTERIORS	
4	CH-1	LOUNGE CHAIR	MARXMODA OR MFG INTERIORS	
11	CH-2	TASK CHAIR	MARXMODA OR MFG INTERIORS	
8	CH-3	GUEST CHAIR	MARXMODA OR MFG INTERIORS	
3	TB-1	OCCASIONAL TABLE	MARXMODA OR MFG INTERIORS	
7	TB-2	TASK DESK	MARXMODA OR MFG INTERIORS	

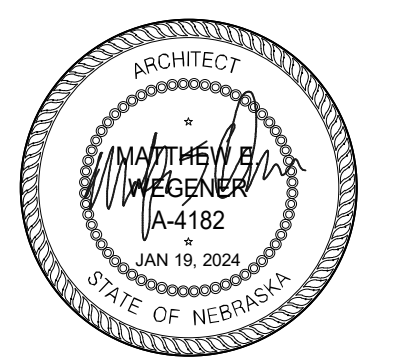
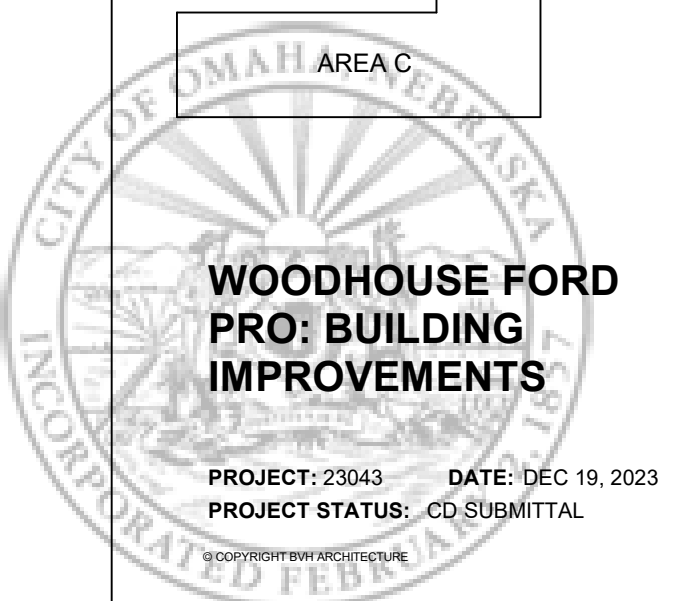
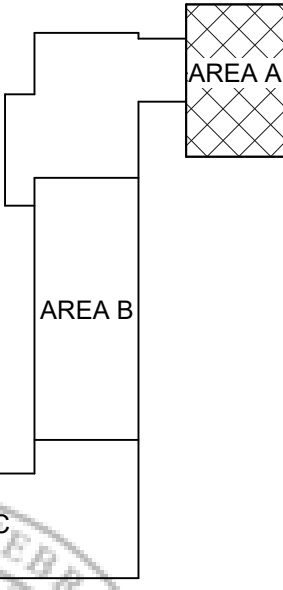
**MARXMODA:**  
 751 GRISWOLD STREET  
 DETROIT, MI 48226  
 c: 989 277 9094  
 MELINDA WIMMER  
 fordretail@marxmoda.com

**MFG INTERIORS:**  
 39255 COUNTRY CLUB DRIVE, STE. B-11  
 FARMINGTON HILLS, MI 48331  
 orders@mfgint.com

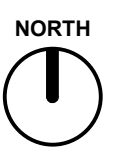
FOR REFERENCE ONLY  
 FURNITURE BY OWNER



REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION

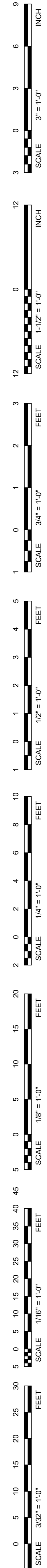


**FIRST FLOOR  
 FURNITURE PLAN -  
 AREA A (FOR  
 REFERENCE ONLY)**



**A9.3**

**1 FIRST FLOOR FURNITURE PLAN**  
 1/8" = 1'-0"





**ARCHITECT**  
 BVH ARCHITECTURE  
 901 JONES STREET  
 OMAHA, NE 68102  
 V 402 345 3090  
 F 402 345 7871  
 bvh.com

**CIVIL ENGINEER**  
 LAMP RYNEARSON  
 14710 W DODGE RD #100  
 OMAHA, NE 68154  
 V 402 496 2498  
 tra-inc.com

**STRUCTURAL ENGINEER**  
 LANGE STRUCTURAL GROUP  
 1919 S 40TH STREET, SUITE 302  
 LINCOLN, NE 68506  
 V 402 421 9540  
 langestructuralgroup.com

**MEP ENGINEER**  
 MORRISSEY ENGINEERING  
 4940 N 118TH ST  
 OMAHA, NE 68184  
 V 402 491 4144  
 morrisseyengineering.com

**CONSTRUCTION MANAGER**  
 MCL CONSTRUCTION  
 14124 INDUSTRIAL RD  
 OMAHA, NE 68144  
 V 402 339 2221  
 mclconstruction.com

9 INCH  
 6 INCH  
 3 INCH  
 3" = 1'-0"  
 SCALE

12 INCH  
 0 INCH  
 1'-1/2" = 1'-0"  
 SCALE

3 FEET  
 2 FEET  
 1 FEET  
 3/4" = 1'-0"  
 SCALE

5 FEET  
 4 FEET  
 3 FEET  
 2 FEET  
 1 FEET  
 1/2" = 1'-0"  
 SCALE

10 FEET  
 8 FEET  
 6 FEET  
 4 FEET  
 2 FEET  
 1/4" = 1'-0"  
 SCALE

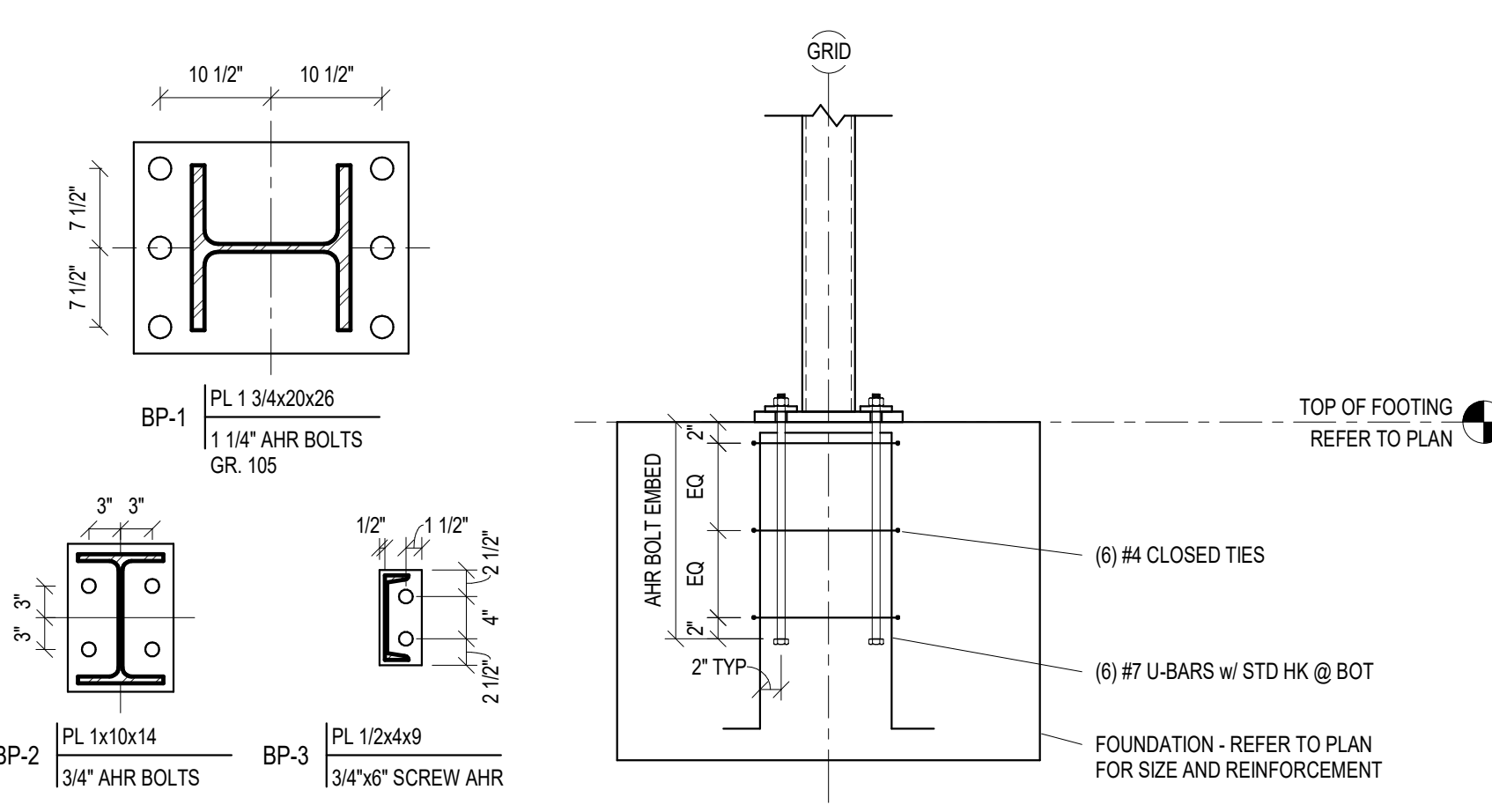
20 FEET  
 15 FEET  
 10 FEET  
 5 FEET  
 1/8" = 1'-0"  
 SCALE

45 FEET  
 35 FEET  
 25 FEET  
 15 FEET  
 10 FEET  
 5 FEET  
 1/16" = 1'-0"  
 SCALE

30 FEET  
 25 FEET  
 20 FEET  
 15 FEET  
 10 FEET  
 5 FEET  
 3/32" = 1'-0"  
 SCALE

BOLT Ø	EMBED	WASHER
5/8"	6"	3/16x1 1/2x1 1/2
3/4"	6"	1/4x2x2
7/8"	12"	5/16x2 1/2x2 1/2
1"	15"	3/8x3x3
1 1/4"	22"	1/2x3x3
1 1/2"	30"	1/2x3 1/2x3 1/2

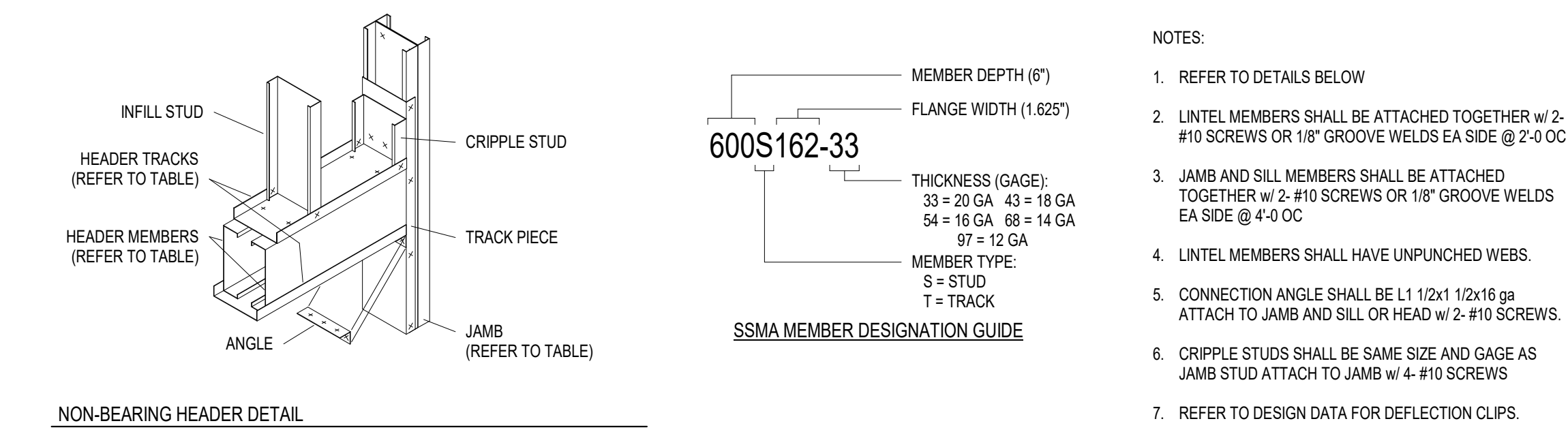
- NOTES:**
- ANCHOR BOLTS SHALL BE ASTM F1554, GR 55 STRAIGHT THREADED ROD w/ NUT TACK WELDED TO EMBED END
  - ADD 4" OF EMBEDMENT TO BOLTS IN WALLS OR PIERS
  - PROVIDE 6" OF PROJECTION ON ANCHOR BOLTS
  - PRE-ENG MTL BLDG. REFER TO METAL BLDG ANCHOR BOLT SCHDL



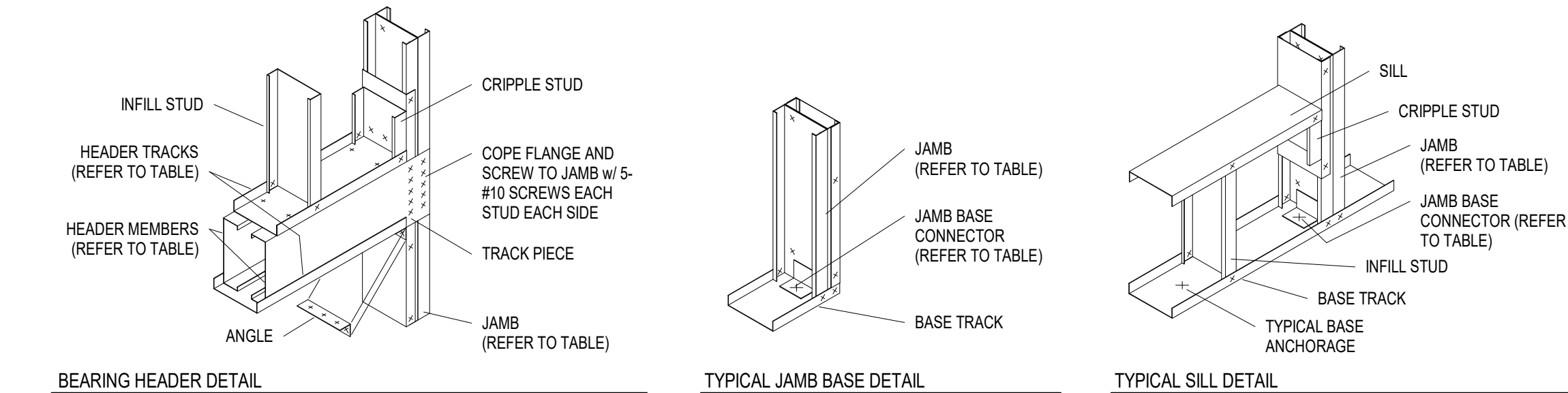
**BASE PLATE & ANCHOR BOLT SCHEDULE**

**UPLIFT FOOTING (TYPE U)**

CFS LINTEL SCHEDULE					
MARK	HEAD	SILL	JAMB	JAMB CONNECTORS	NOTE
L-1	(1) 600S162-43	NA	(1) 600S162-43 & (1) 600T125-43	SIMPSON SSC4.25 @ BASE & SIMPSON SSC4.25 @ GIRT	
L-2	(2) 800S162-68 & (2) 800T125-68	NA	(2) 800S162-68 & (1) 800T125-68	(2) SIMPSON SSC4.25 @ BASE & (2) SIMPSON SCB @ UPPER BEAM	

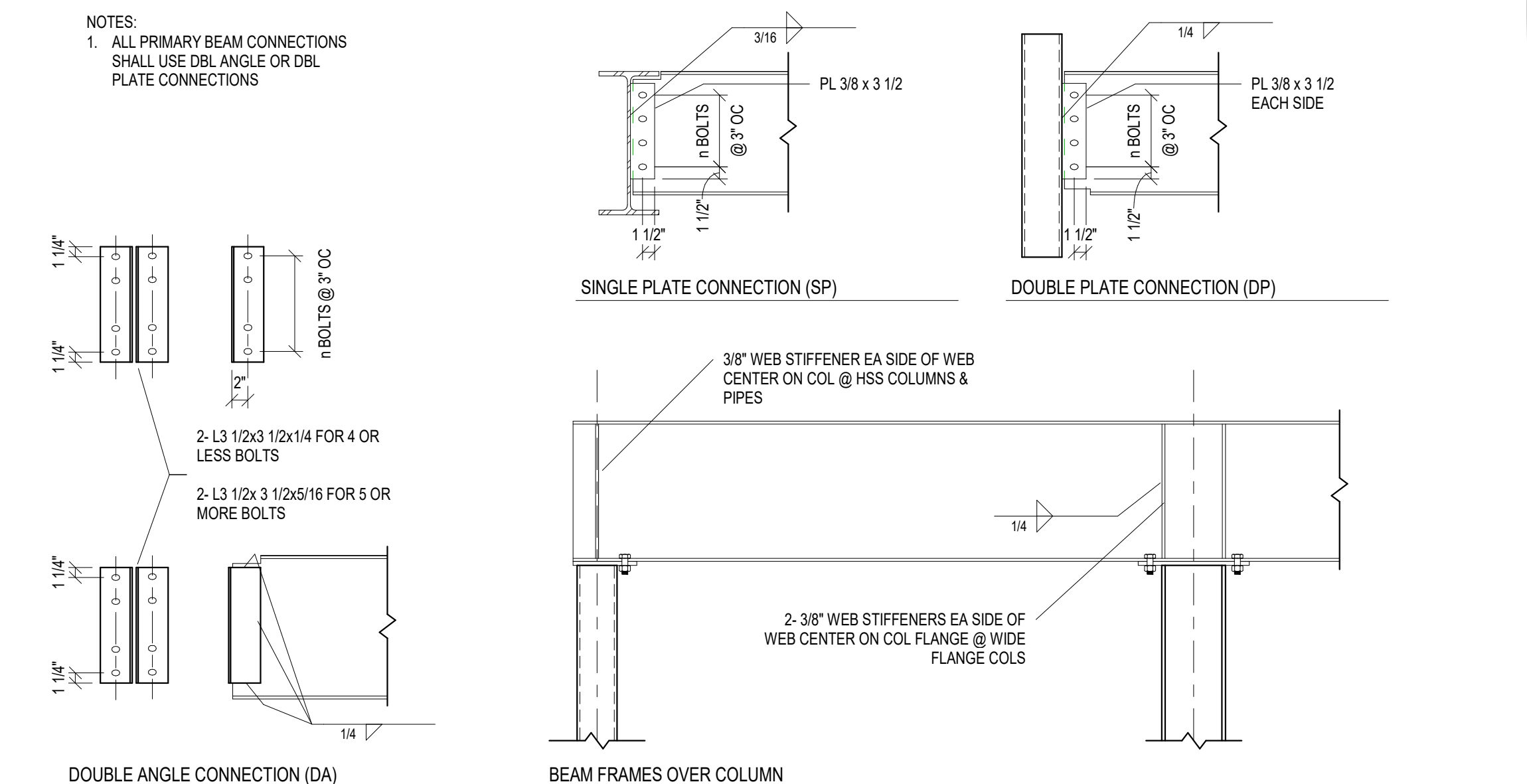


**NON-BEARING HEADER DETAIL**



**METAL STUD LINTEL SCHEDULE AND TYPICAL FRAMING DETAILS**

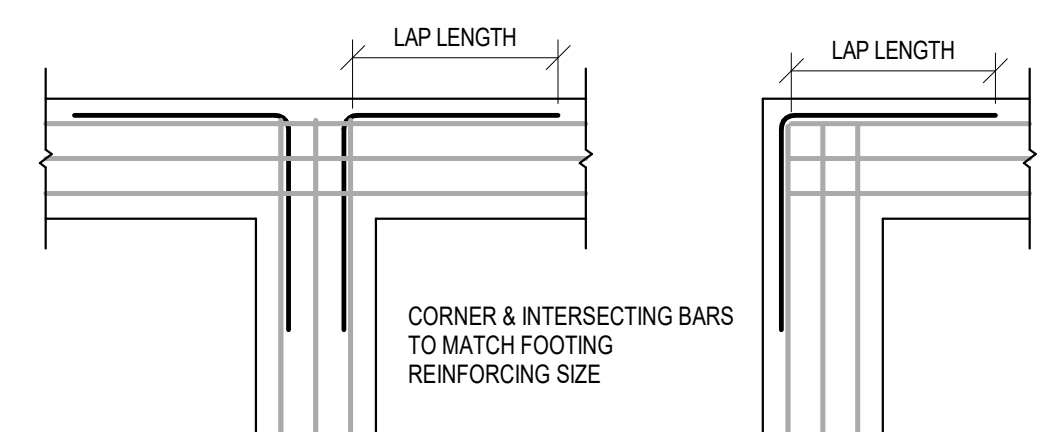
BEAM SIZE	NUMBER OF 3/4" A325 BOLTS REQ'D PER BEAM CONNECTION											
	W8	W10	W12	W14	W16	W18	W21	W24	W27	W30	W33	W36
2" COPE	2	2	3	3	4	5	5	6	6	7	8	9
4 1/2" COPE	-	-	2	2	3	4	5	6	6	7	8	9



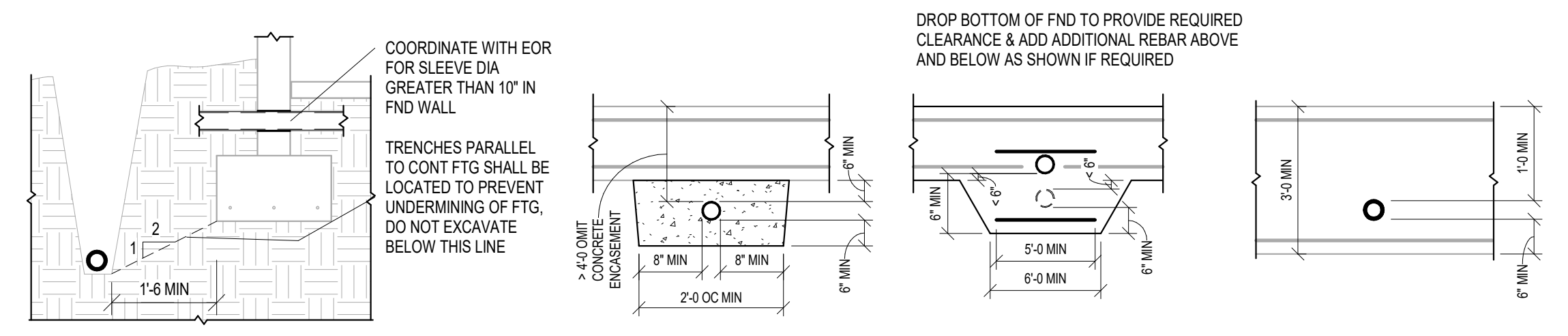
**BEAM CONNECTION SCHEDULE AND TYPICAL DETAILS**

CONTINUOUS FOOTING SCHEDULE			
MARK	WIDTH	DEPTH	REINFORCING
CF-1	1'-0"	3'-4"	(2) #5 TOP & BOTTOM

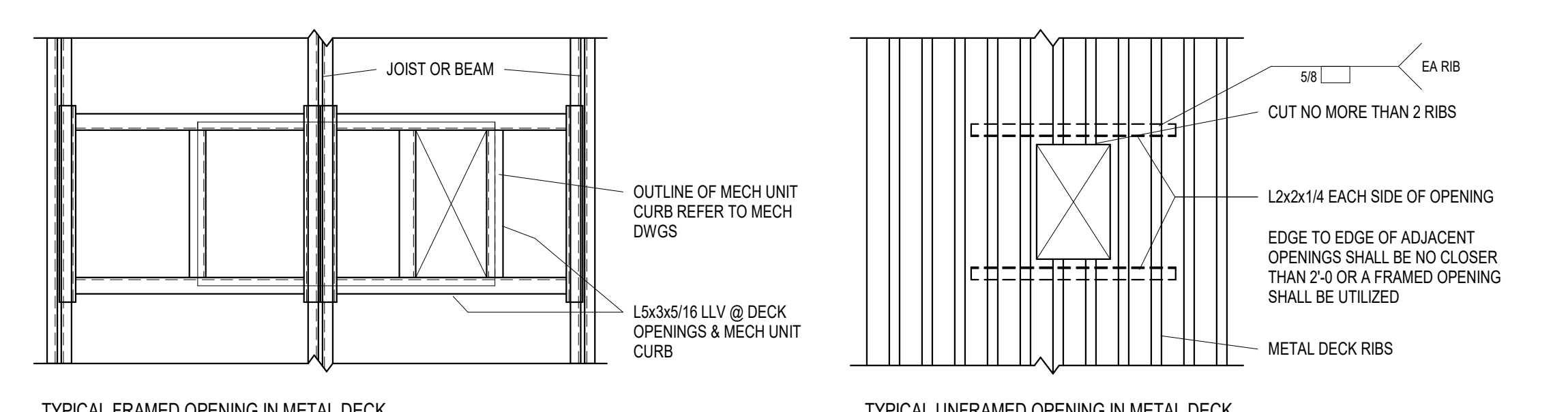
PAD FOOTING SCHEDULE				
MARK	WIDTH	LENGTH	DEPTH	REINFORCING
F-1	3'-0"	3'-0"	3'-4"	(5) #5 EA WAY TOP & BOTTOM
F-2	4'-0"	4'-0"	3'-4"	(6) #5 EA WAY TOP & BOTTOM
F-3	9'-0"	9'-0"	3'-4"	(11) #6 EA WAY TOP & BOTTOM
F-4	10'-0"	10'-0"	3'-4"	(12) #6 EA WAY TOP & BOTTOM



**FOOTING SCHEDULES**

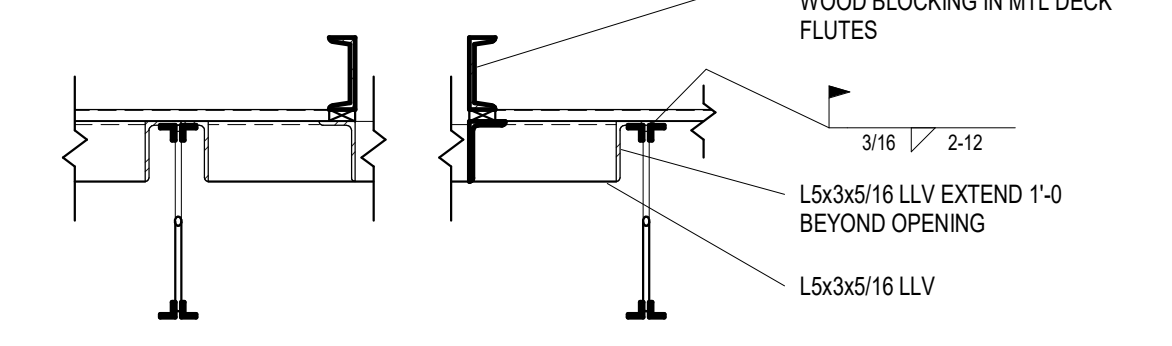


**TYPICAL FOOTING DETAILS @ UNDERGROUND PLUMBING**

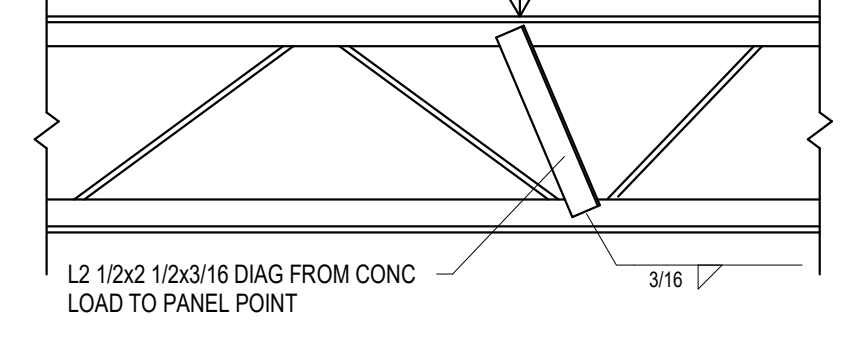


**TYPICAL FRAMED OPENING IN METAL DECK**

**TYPICAL UNFRAMED OPENING IN METAL DECK**



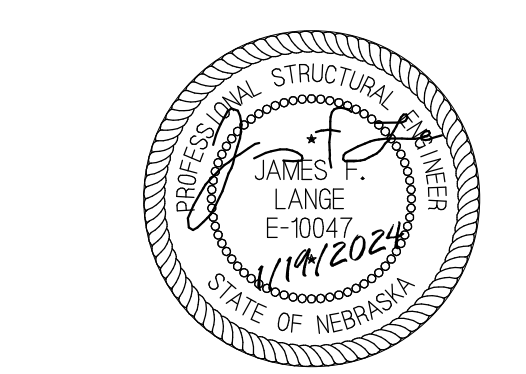
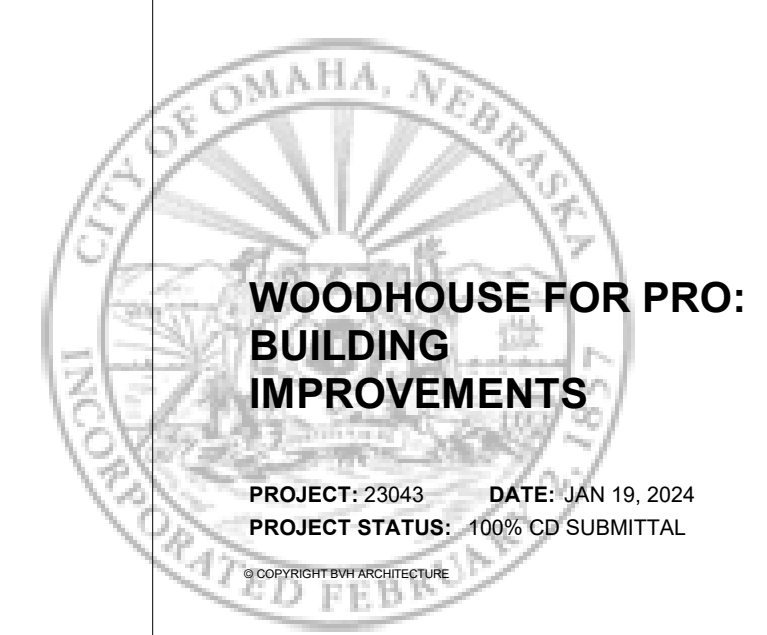
**TYPICAL FRAMED OPENING SECTION**



**JOIST REINFORCING FOR OFF PANEL CONCENTRATED LOADS**

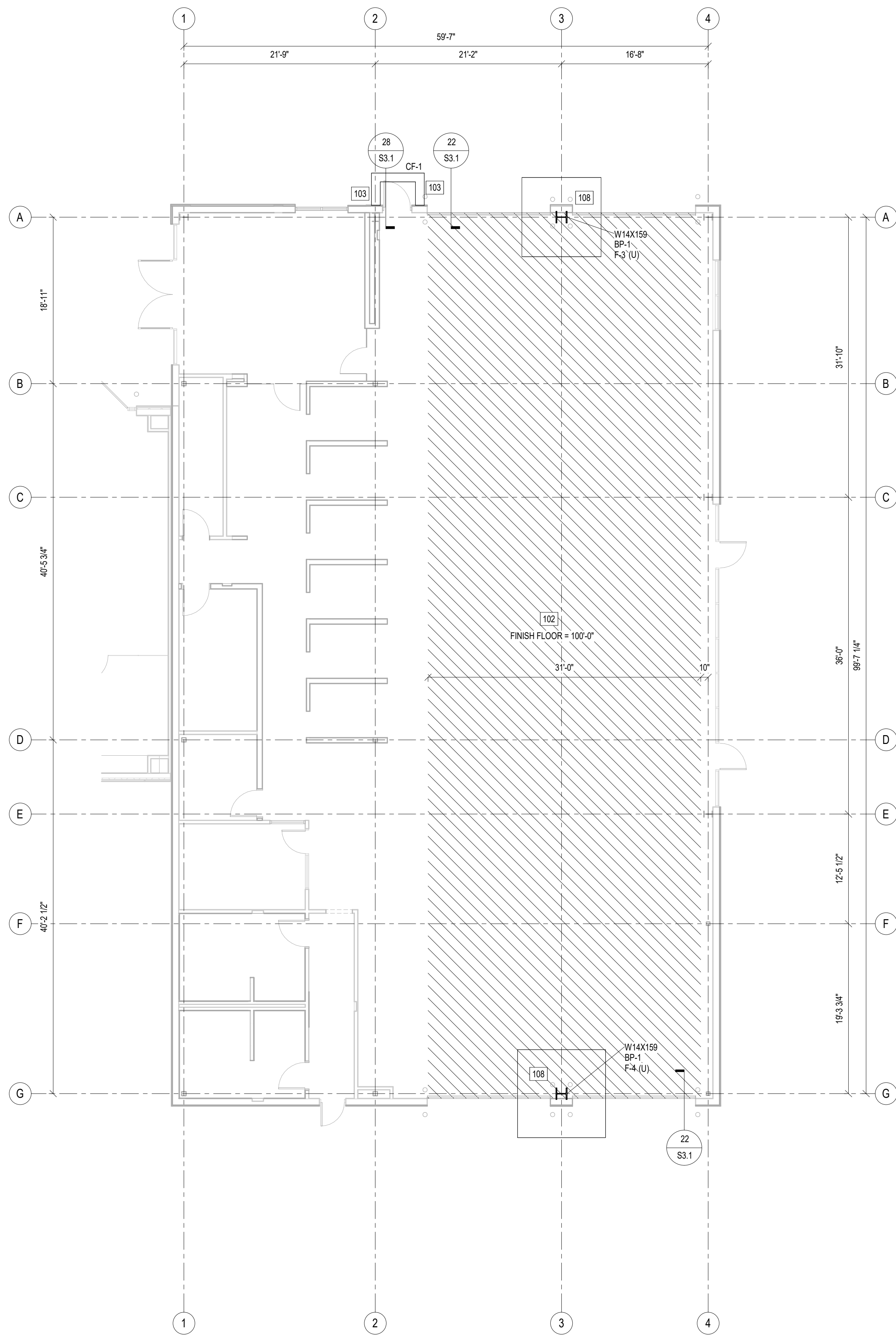
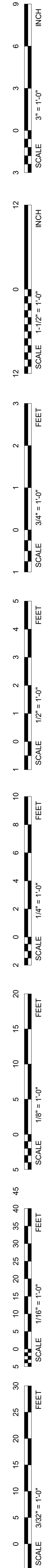
**METAL DECK OPENING STANDARD DETAILS**

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION



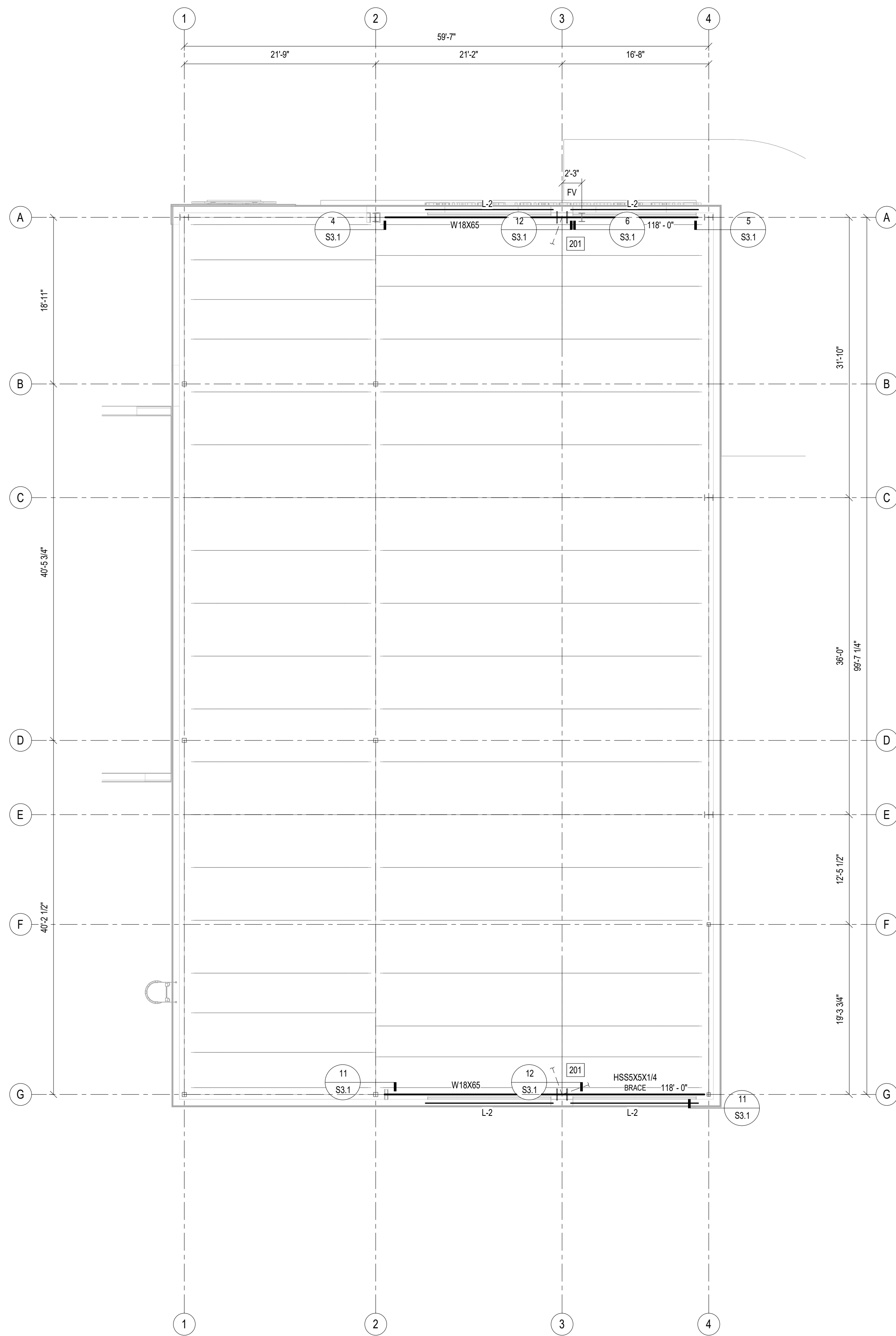
**STRUCTURAL SCHEDULES**





1 FOUNDATION PLAN - AREA A  
 1/8" = 1'-0"

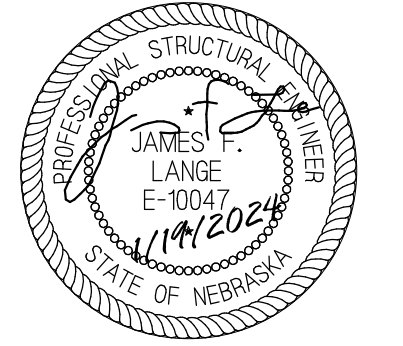
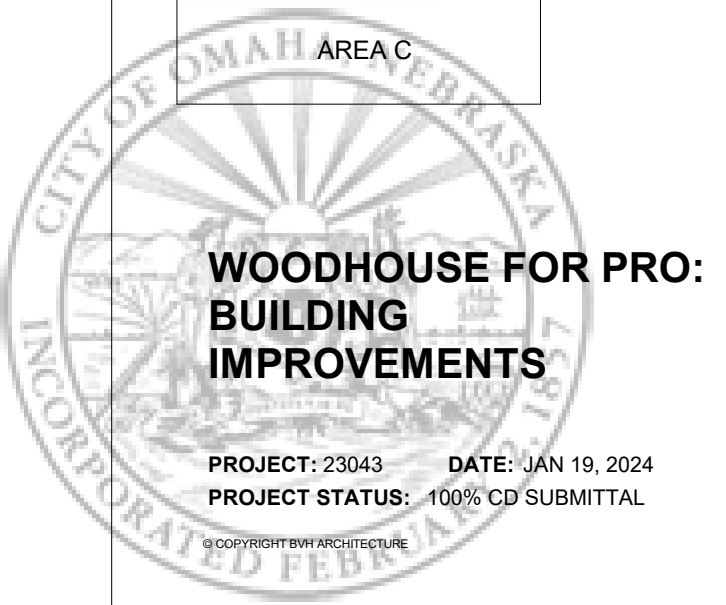
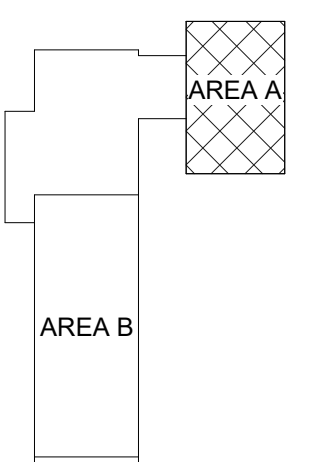
- GENERAL FOUNDATION PLAN NOTES**
- REFER TO DESIGN DATA, SCHEDULES & TYP DETAILS
  - INDICATES KEYNOTE REFER TO PLAN FOR LOCATION
  - TOP = 99'-4" UNLESS NOTED OTHERWISE
  - COLUMN SCHEDULE GUIDE:  
 C-X COLUMN MARK  
 B-P-X BASE PLATE MARK  
 P-X PIER MARK  
 F-X FOOTING MARK  
 X-X-X TOP OF FOOTING
  - FIELD VERIFY ALL DIMENSIONS TO EXISTING BUILDING STRUCTURE
  - VERIFY EXISTING SLAB THICKNESS PRIOR TO DEMOLITION
- FOUNDATION KEYNOTES**
- REFER TO PLAN FOR LOCATION NOT ALL NOTES OCCUR ON EA SHEET
  - 8" CIP SLAB ON PROPERLY PREPARED SUBGRADE REFER TO SOILS REPORT. REINFORCE W/ #4 @ 12" OC EA WAY. REFER TO ARCH FOR VAPOR BARRIER. SLOPE TO DRAIN REFER TO ARCH & MECH.
  - DOWEL TOP & BOTTOM REIN INTO EXISTING FOUNDATIONS. DRILL & ADHERE W/ HILTI HIT-HY 200 W/ 9" EMBED.
  - DEMO EXISTING FOUNDATION @ NEW PAD FOOTING. DOWEL #5@9" @ 9" OC INTO EXISTING FOUNDATION. DRILL & ADHERE W/ HILTI HIT-HY 200 W/ 9" EMBED.



2 ROOF FRAMING - AREA A  
 1/8" = 1'-0"

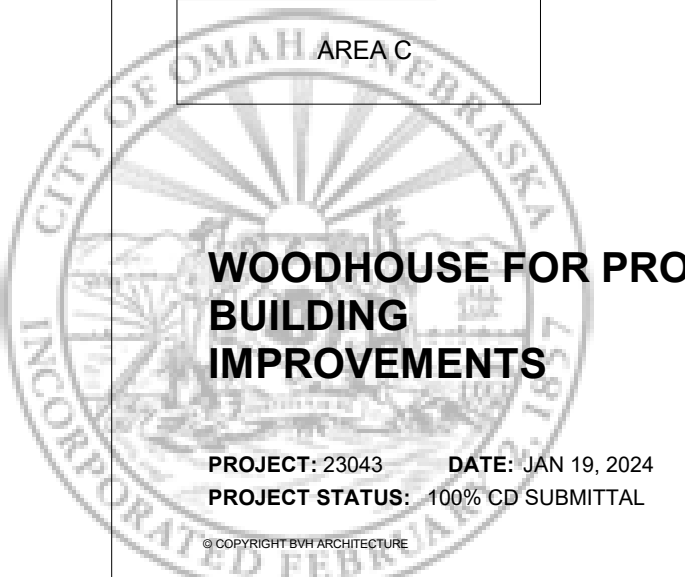
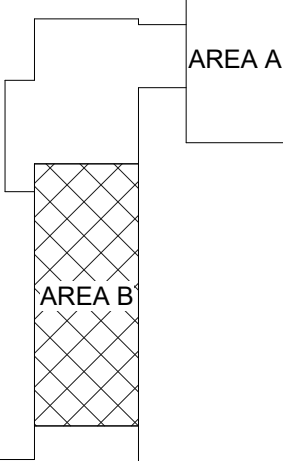
- GENERAL ROOF PLAN NOTES**
- REFER TO DESIGN DATA, SCHEDULES & TYP DETAILS
  - INDICATES KEYNOTE REFER TO PLAN FOR LOCATION
  - UNLESS NOTED OTHERWISE ALL DIMENSIONS ARE TO FACE OF WALL FRAMING OR CENTERLINE OF COLUMN
  - FRAMING KEY:  
 BEAR ON COLUMN  
 FRAME INTO COLUMN  
 DUAL END REACTIONS  
 T # # TOP OF STEEL  
 B # # BOTTOM OF STEEL
  - FIELD VERIFY ALL DIMENSIONS TO EXISTING BUILDING STRUCTURE
- ROOF KEYNOTES**
- REFER TO PLAN FOR LOCATION NOT ALL NOTES OCCUR ON EA SHEET
  - PROVIDE L4x4x1/4 KICKER @ BOTTOM & TOP FLANGE OF W18x65. KICK UP TO JOISTS @ -45"

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION



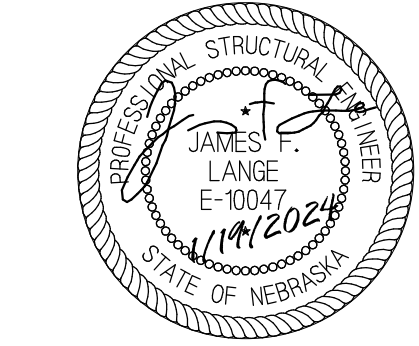
STRUCTURAL PLANS  
 AREA A

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION

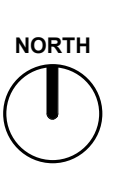


**WOODHOUSE FOR PRO:  
BUILDING IMPROVEMENTS**

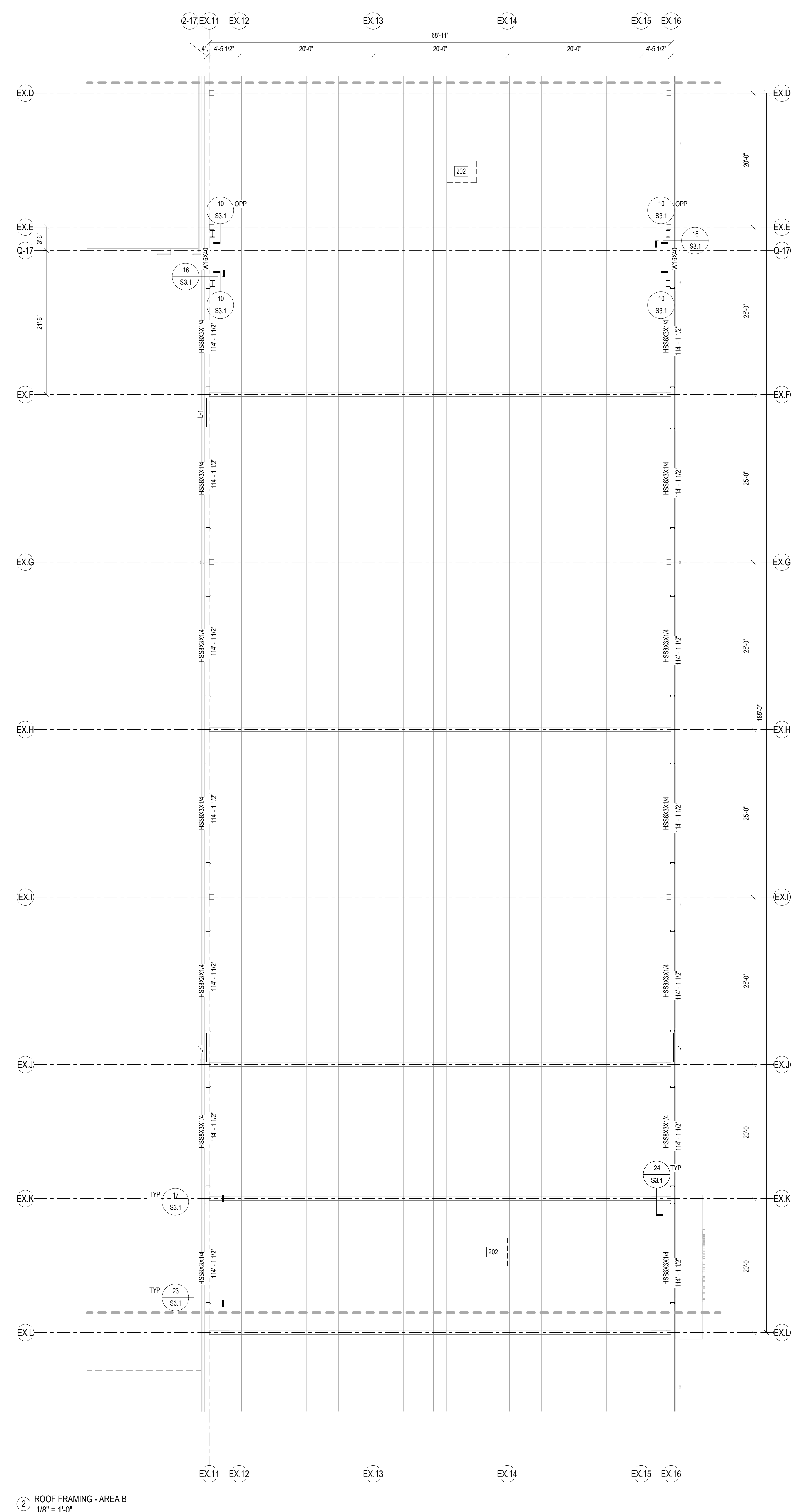
PROJECT: 23043 DATE: JAN 19, 2024  
PROJECT STATUS: 100% CD SUBMITTAL



**STRUCTURAL PLANS  
AREA B**



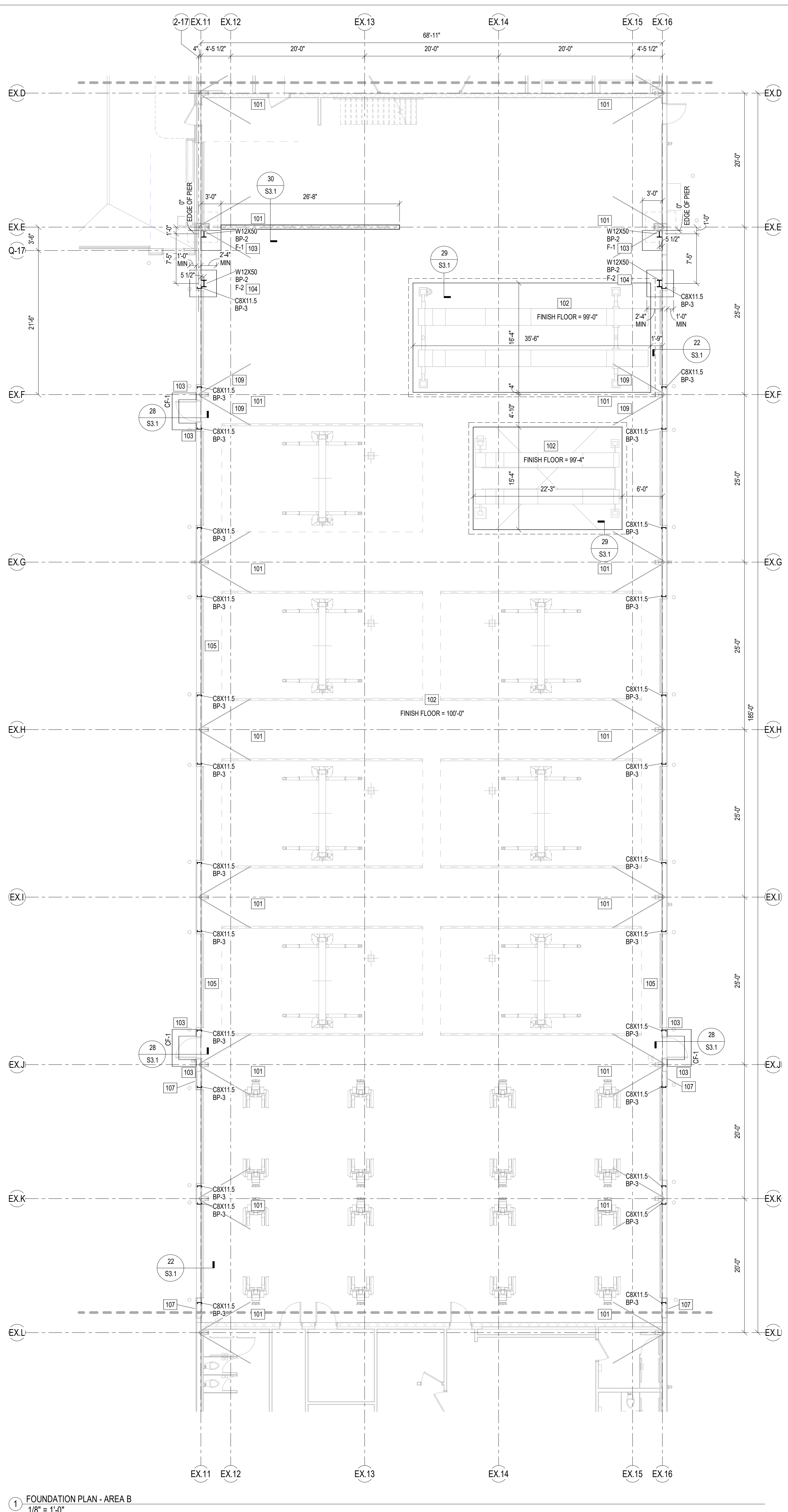
**S2.2**



- GENERAL ROOF PLAN NOTES**
- REFER TO DESIGN DATA, SCHEDULES & TYP DETAILS
  - INDICATES KEYNOTE REFER TO PLAN FOR LOCATION
  - UNLESS NOTED OTHERWISE ALL DIMENSIONS ARE TO FACE OF WALL FRAMING OR CENTERLINE OF COLUMNS
  - FRAMING KEY  
 ○ BEAR ON COLUMN  
 ○ FRAME INTO COLUMN  
 ○ DULL END REACTIONS  
 T### TOP OF STEEL  
 B### BOTTOM OF STEEL
  - FIELD VERIFY ALL DIMENSIONS TO EXISTING BUILDING STRUCTURE

- ROOF KEYNOTES**
- REFER TO PLAN FOR LOCATION NOT ALL NOTES OCCUR ON EA SHEET
  - PROVIDE RTU CURB SUPPORT, FRAME REFER TO TYPICAL SCHEDULE.

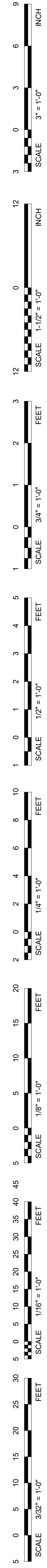
2. ROOF FRAMING - AREA B  
1/8" = 1'-0"



- GENERAL FOUNDATION PLAN NOTES**
- REFER TO DESIGN DATA, SCHEDULES & TYP DETAILS
  - INDICATES KEYNOTE REFER TO PLAN FOR LOCATION
  - TOP = 99'-4 UNLESS NOTED OTHERWISE
  - COLUMN SCHEDULE GUIDE:  
 C-X COLUMN MARK  
 BP-X BASE PLATE MARK  
 P-X PIER MARK  
 F-X FOOTING MARK  
 XX-X TOP OF FOOTING
  - FIELD VERIFY ALL DIMENSIONS TO EXISTING BUILDING STRUCTURE
  - VERIFY EXISTING SLAB THICKNESS PRIOR TO DEMOLITION

- FOUNDATION KEYNOTES**
- REFER TO PLAN FOR LOCATION  
 NOT ALL NOTES OCCUR ON EA SHEET
  - DEMO EXISTING SLAB TO EXTENTS SHOWN BY ARCH. V-BARS @ PEMB FRAMES TO REMAIN. CARE SHALL BE TAKEN TO NOT DAMAGE BARS.
  - 8" CIP SLAB ON PROPERLY PREPARED SUBGRADE REFER TO SOILS REPORT. REINFORCE W/ #4 @ 12" OC EA WAY. REFER TO ARCH FOR VAPOR BARRIER. SLOPE TO DRAIN. REFER TO ARCH & MECH.
  - DOWEL TOP & BOTTOM REINF INTO EXISTING FOUNDATIONS. DRILL & ADHERE W/ HILTI HIT-HY 200 W/ 9" EMBED.
  - DOWEL TOP REINF THROUGH EXISTING FOUNDATIONS. DOWEL BOTTOM INTO EXISTING FOUNDATIONS DRILL & ADHERE W/ HILTI HIT-HY 200 W/ 9" EMBED.
  - REMOVE EXISTING ROD BRACING AFTER MOMENT FRAMES ARE INSTALLED.
  - LEAVE EXISTING DOOR JAMB. INFILL BETWEEN JAMBS W/ 6 1/2" Z GIRTS TO MATCH EXISTING.
  - EXPOSE EXISTING V-BAR LEGS BACK TO COLUMN BASEPLATE & BEND TO ALIGN W/ GRID. LAP W/ #6CONT BETWEEN COLUMNS. PROVIDE #3 TIES @ 9" OC @ LAP SPLICES.

1. FOUNDATION PLAN - AREA B  
1/8" = 1'-0"



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**MEP ENGINEER**  
**MORRISSEY ENGINEERING**  
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 morrisseyengineering.com

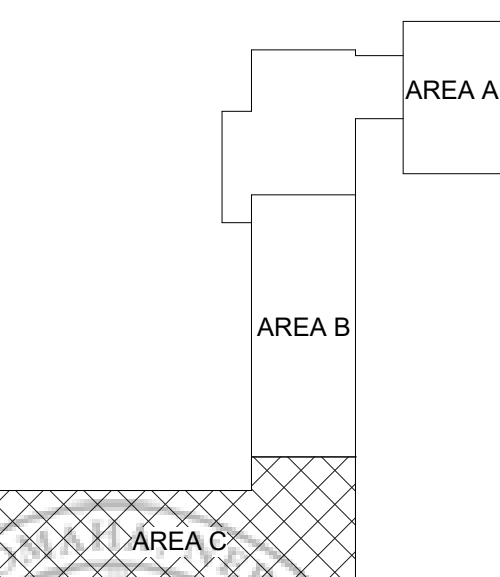
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**MCL CONSTRUCTION**  
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 OMAHA, NE 68144  
 V 402 339 2221  
 mclconstruction.com

- GENERAL FOUNDATION PLAN NOTES**
- REFER TO DESIGN DATA, SCHEDULES & TYP DETAILS
  - # INDICATES KEYNOTE REFER TO PLAN FOR LOCATION
  - TOF = 99'-4 UNLESS NOTED OTHERWISE
  - COLUMN SCHEDULE GUIDE:  
 C-X COLUMN MARK  
 BP-X BASE PLATE MARK  
 P-X PIER MARK  
 F-X FOOTING MARK  
 XX-XX TOP OF FOOTING
  - FIELD VERIFY ALL DIMENSIONS TO EXISTING BUILDING STRUCTURE
  - VERIFY EXISTING SLAB THICKNESS PRIOR TO DEMOLITION

- FOUNDATION KEYNOTES**
- REFER TO PLAN FOR LOCATION NOT ALL NOTES OCCUR ON EA SHEET
  - 101 DEMO EXISTING SLAB TO EXTENTS SHOWN BY ARCH. V-BARS @ PEMB FRAMES TO REMAIN. CARE SHALL BE TAKEN TO NOT DAMAGE BARS.
  - 102 4" SIP SLAB ON PROPERLY PREPARED SUBGRADE REFER TO SOILS REPORT. REINFORCE W/ #4 @ 12" OC EA WAY. REFER TO ARCH FOR VAPOR BARRIER. SLOPE TO DRAIN REFER TO ARCH & MECH.
  - 103 DOWEL TOP & BOTTOM REINF INTO EXISTING FOUNDATIONS. DRILL & ADHERE W/ HILTI HIT-HY 200 W/ F EMBED.
  - 105 REMOVE EXISTING ROD BRACING AFTER MOMENT FRAMES ARE INSTALLED.
  - 106 INSTALL SIP ROD & BRACING ANCHOR TO EXISTING PEMB FRAMES.
  - 107 LEAVE EXISTING DOOR JAMB, INFILL BETWEEN JAMBS W/ 6 1/2" Z GIRTS TO MATCH EXISTING.

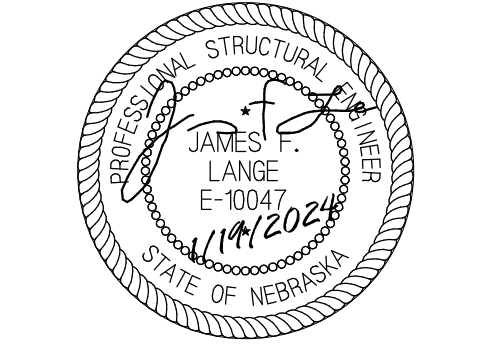
**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION

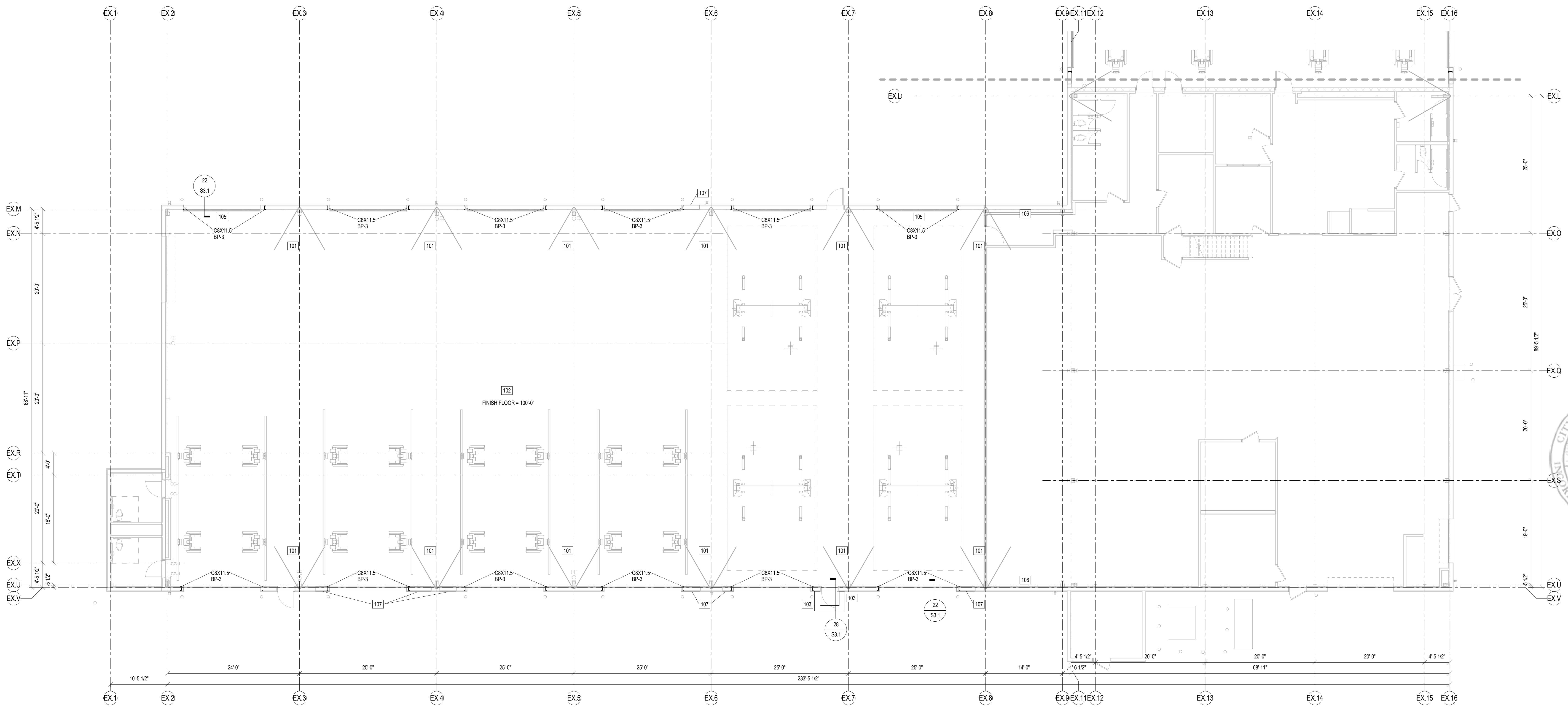
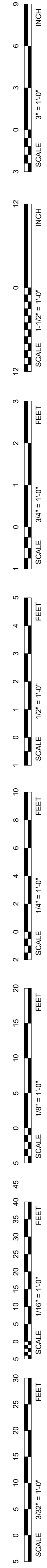


**WOODHOUSE FOR PRO: BUILDING IMPROVEMENTS**

PROJECT: 23043 DATE: JAN 19, 2024  
 PROJECT STATUS: 100% CD SUBMITTAL



**STRUCTURAL FOUNDATION PLAN AREA C**

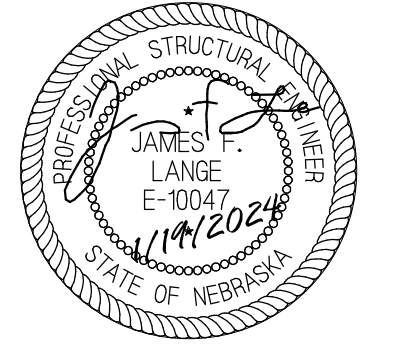
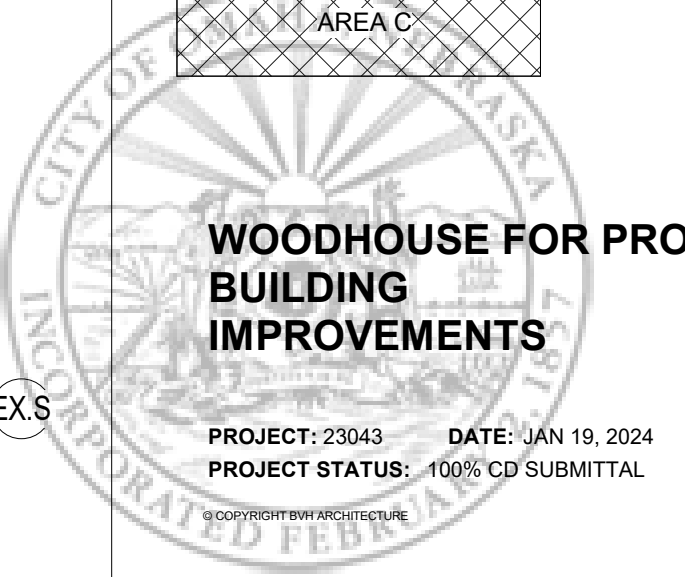
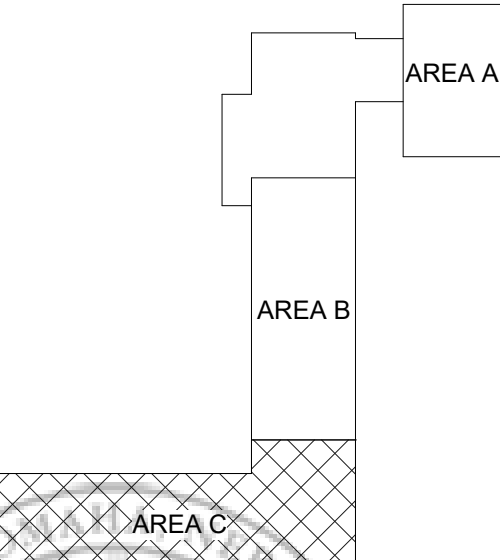


**1 FOUNDATION PLAN - AREA C**  
 1/8" = 1'-0"

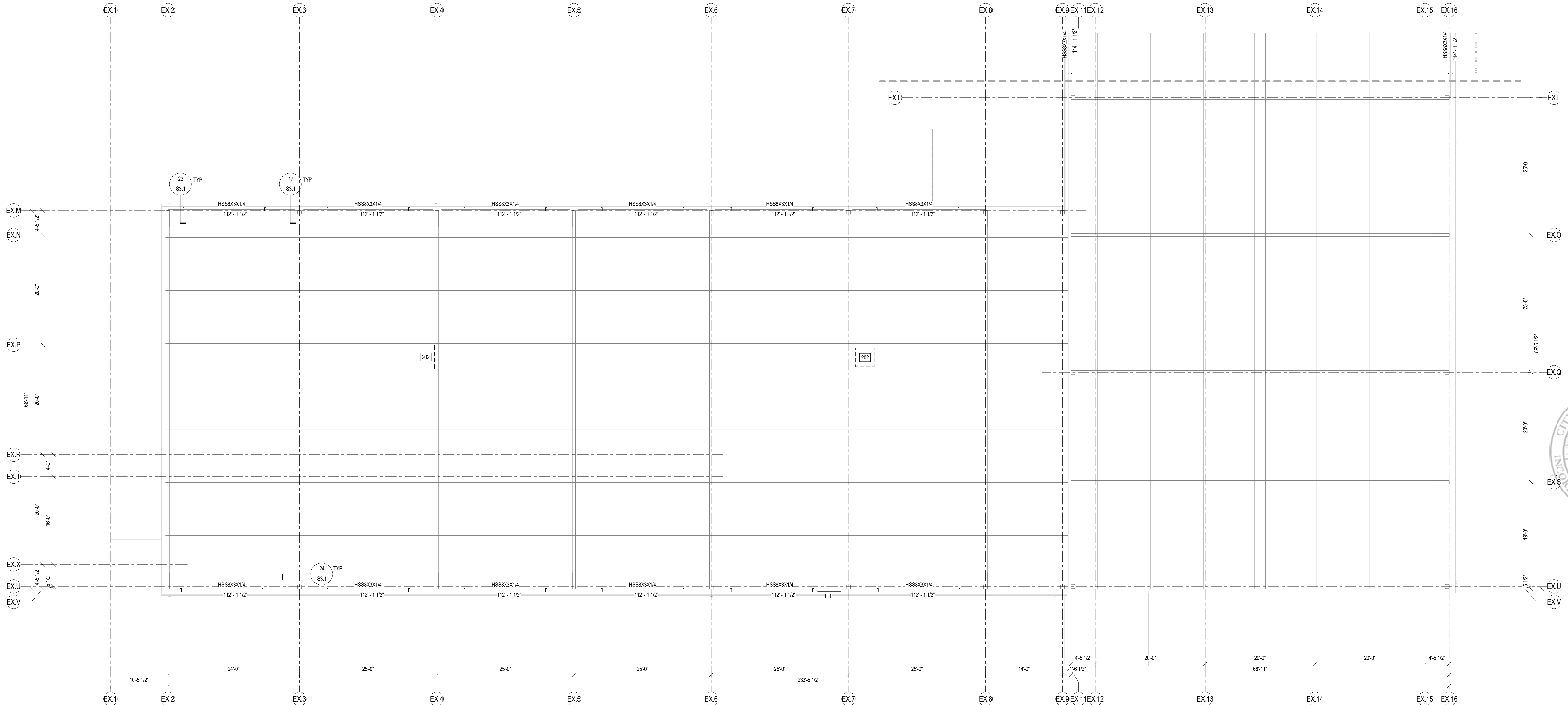
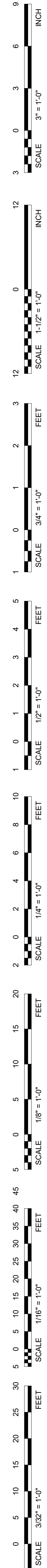
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  - FRAMING KEY
    - BEAR ON COLUMN
    - FRAME INTO COLUMN
    - DUAL END REACTIONS
    - T### TOP OF STEEL
    - B### BOTTOM OF STEEL
  - FIELD VERIFY ALL DIMENSIONS TO EXISTING BUILDING STRUCTURE

- ROOF KEYNOTES**
- REFER TO PLAN FOR LOCATION NOT ALL NOTES OCCUR ON EA SHEET
  - PROVIDE RTU CURB SUPPORT, FRAME REFER TO TYPICAL SCHEDULE.

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION



**STRUCTURAL ROOF FRAMING PLAN AREA C**



1 ROOF FRAMING - AREA C  
 1/8" = 1'-0"

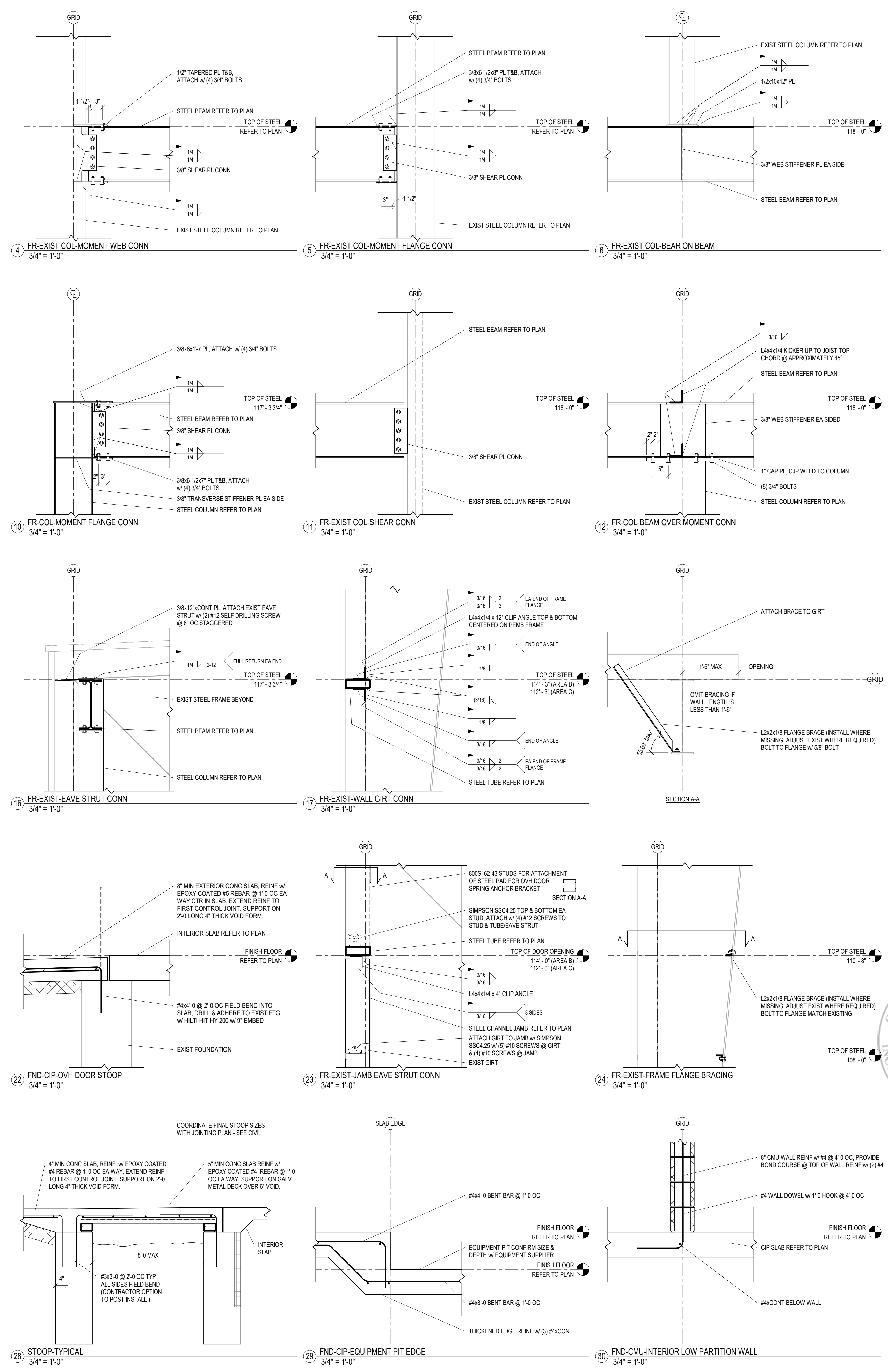
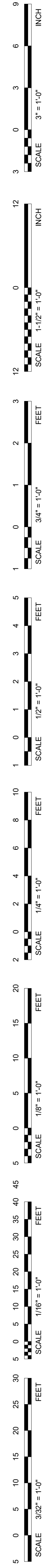
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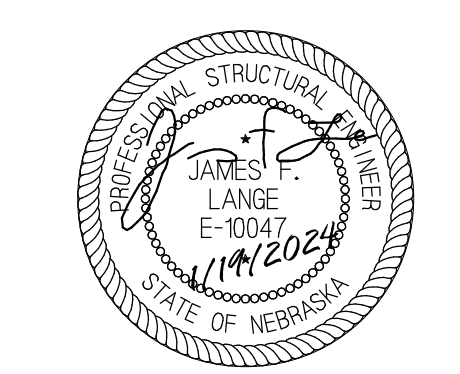
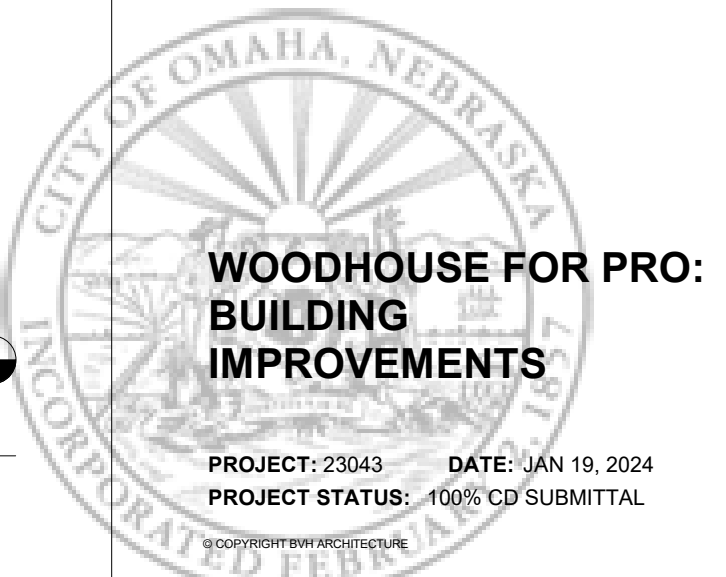
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REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION



**STRUCTURAL DETAILS**

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### GENERAL DEMOLITION NOTES

- ALL MECHANICAL ITEMS SHOWN ARE EXISTING. NOT ALL EXISTING MECHANICAL ITEMS ARE SHOWN. ITEMS MARKED (E) SHALL REMAIN AS IS UNLESS OTHERWISE NOTED. REMOVE ITEMS SHOWN DASHED AND/OR MARKED (D). SALVAGE ITEMS FOR RELOCATION AS NOTED (R).
- EXISTING DRAWINGS ARE BASED ON EXISTING CONSTRUCTION DOCUMENTS AND APPROXIMATIONS FROM FIELD OBSERVATIONS. DRAWINGS ARE SCHEMATIC IN NATURE. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMOLITION AND INSTALLATION OF NEW WORK. CONTACT ARCHITECT/ENGINEER IF EXISTING CONDITIONS SIGNIFICANTLY VARY FROM THOSE SHOWN.
- HOLES CUT IN WALLS, FLOORS, AND CEILINGS TO PERMIT THE REMOVAL OF EQUIPMENT, PIPING, ETC. SHALL BE CAREFULLY MADE AND RESTRICTED TO THE SMALLEST PRACTICAL SIZE. PATCH ALL HOLES NOT REQUIRED FOR NEW WORK TO MATCH EXISTING.
- THE OWNER RESERVES THE FIRST RIGHT OF SALVAGE OF ANY ITEMS REMOVED. CONTRACTOR SHALL REMOVE ALL UNWANTED MATERIALS FROM THE SITE. OWNERS DUMPSTER OR OTHER TRASH RECEPTACLES ARE NOT TO BE UTILIZED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF CEILING GRID AND TILE AS REQUIRED FOR DEMOLITION AND INSTALLATION OF NEW WORK. REPLACE ALL DAMAGED CEILING TILES WITH NEW TO MATCH EXISTING WHERE APPLICABLE. COORDINATE EXTENT OF DEMOLITION WITH NEW WORK.
- COORDINATE PHASING OF DEMOLITION AND REMOVAL WITH GENERAL CONTRACTOR. PLAN ALL WORK TO MINIMIZE SHUT-DOWNS. WHERE APPLICABLE, COORDINATE EXTENT OF DEMOLITION WORK WITH NEW WORK.

### GENERAL MECHANICAL NOTES

- DO NOT ROUTE DUCTWORK ABOVE ELECTRICAL PANELS. MAINTAIN ALL CODE REQUIRED CLEARANCES.
- MAINTAIN MINIMUM 10'-0" CLEARANCE TO EXHAUST FANS FROM ALL FRESH AIR INTAKES.
- MAINTAIN MANUFACTURER'S REQUIRED CLEARANCE AROUND ALL MECHANICAL EQUIPMENT TO ALLOW PROPER OPERATION AND FOR EASY MAINTENANCE AND FILTER ACCESS.
- COORDINATE EXACT LOCATION OF ALL FLOOR, WALL, AND ROOF PENETRATIONS AND WORK TO BE PERFORMED ABOVE THE FLOORS AND ROOF WITH GENERAL CONTRACTOR. SEAL ALL PENETRATIONS OF EXTERIOR ENVELOPE WEATHER TIGHT.
- COORDINATE EXACT DUCTWORK, ROUTING WITH STRUCTURE, LIGHTS, AND ALL OTHER TRADES. PROVIDE NECESSARY OFFSETS, TRANSITIONS, AND EXTENSIONS AS REQUIRED TO COMPLETE INSTALLATION AT NO ADDITIONAL COST TO OWNER.
- PLANS ARE SCHEMATIC IN NATURE. DUCTWORK ROUTING IS SHOWN FOR CLARITY AND FOR GENERAL ROUTING INFORMATION. COORDINATE EXACT ROUTING WITH ALL OTHER TRADES. PROVIDE ALL ADDITIONAL OFFSETS AS REQUIRED TO COMPLETE INSTALLATION.
- INSTALL ALL VOLUME DAMPERS ABOVE ACCESSIBLE CEILINGS OR IN ACCESSIBLE LOCATIONS. PROVIDE ACCESS PANELS WHERE REQUIRED.
- CAULK AROUND ALL DUCTWORK PENETRATIONS THOUGH FULL HEIGHT SOUND WALLS. REFER TO ARCHITECTURAL DRAWINGS FOR WALL CONSTRUCTION.
- CONTRACTOR TO PROVIDE ALL LOW VOLTAGE AND LINE VOLTAGE CONTROL WIRING REQUIRED FOR COMPLETE OPERATION OF ALL MECHANICAL EQUIPMENT.
- FOR GENERAL DUCTWORK FITTINGS, SEE DETAIL 1 ON SHEET M3.1.
- RUN OUTS TO DIFFUSERS AND REGISTERS SHALL MATCH NECK SIZE UNLESS OTHERWISE NOTED. SEE DETAIL 2 ON SHEET M3.1.
- SEE ELECTRICAL DRAWINGS DEVICE ALIGNMENT DETAIL FOR ALL SENSOR AND/OR CONTROL DEVICE INSTALLATION HEIGHTS AND SPACING NOTES UNLESS OTHERWISE NOTED. IF DEVICE ALIGNMENT DETAIL NOT AVAILABLE, MOUNT AT PREFERRED MOUNTING HEIGHT WHERE APPLICABLE. SEE SPECIFICATIONS OR CONFIRM WITH ENGINEER PRIOR TO INSTALLATION.
- ALL ITEMS SHOWN LIGHT OR INDICATED ON PLAN AS (E) ARE EXISTING, AND (R) ARE TO BE RELOCATED. ALL ITEMS SHOWN DARK ARE NEW. NOT ALL MECHANICAL ITEMS ARE SHOWN.
- EXISTING MECHANICAL WORK IS BASED ON ORIGINAL DRAWINGS AND APPROXIMATIONS FROM FIELD OBSERVATIONS. NOT ALL EXISTING MECHANICAL IS INDICATED. CONTACT ARCHITECT/ENGINEER IF EXISTING CONDITIONS SIGNIFICANTLY VARY FROM THOSE SHOWN.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO NEW WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING DUCTWORK AS NECESSARY TO AVOID CONFLICTS WITH EXISTING STRUCTURE AND WITH ALL TRADES OF NEW WORK.
- PLAN WORK TO MINIMIZE SHUT-DOWNS. COORDINATE ALL REQUIRED SHUT-DOWNS WITH OWNER.

### GENERAL PLUMBING NOTES

- DO NOT ROUTE PIPING ABOVE ELECTRICAL PANELS. MAINTAIN ALL CODE REQUIRED CLEARANCES.
- MAINTAIN MINIMUM 10'-0" CLEARANCE TO WASTE VENTS FROM ALL FRESH AIR INTAKES.
- MAINTAIN MANUFACTURER'S REQUIRED CLEARANCE AROUND ALL MECHANICAL EQUIPMENT TO ALLOW PROPER OPERATION AND FOR EASY MAINTENANCE AND FILTER ACCESS.
- COORDINATE EXACT LOCATION OF ALL FLOOR, WALL, AND ROOF PENETRATIONS AND WORK TO BE PERFORMED ABOVE THE FLOORS AND ROOF WITH GENERAL CONTRACTOR. SEAL ALL PENETRATIONS OF EXTERIOR ENVELOPE WEATHER TIGHT.
- UNLESS OTHERWISE NOTED, ROUTE PIPING AS HIGH AS POSSIBLE. UTILIZE JOIST SPACE AND OPEN WEBBING OF JOISTS TO AVOID CONFLICTS. COORDINATE EXACT ROUTING WITH STRUCTURE, LIGHTS, DUCTWORK, AND ALL OTHER TRADES. PROVIDE NECESSARY OFFSETS, TRANSITIONS, AND EXTENSIONS AS REQUIRED TO COMPLETE INSTALLATION AT NO ADDITIONAL COST TO OWNER.
- PLANS ARE SCHEMATIC IN NATURE. PIPE ROUTING IS SHOWN FOR CLARITY AND FOR GENERAL ROUTING INFORMATION. COORDINATE EXACT ROUTING WITH ALL OTHER TRADES. PROVIDE ALL ADDITIONAL OFFSETS AS REQUIRED TO COMPLETE INSTALLATION.
- INSTALL ALL VALVES ABOVE ACCESSIBLE CEILINGS OR IN ACCESSIBLE LOCATIONS. PROVIDE ACCESS PANELS WHERE REQUIRED.
- DO NOT ROUTE WATER PIPING IN EXTERIOR WALLS UNLESS OTHERWISE NOTED. PIPING ROUTED IN EXTERIOR WALLS SHALL BE LOCATED ON THE INTERIOR SIDE OF INSULATION.
- FIRE CAULK ALL PIPE PENETRATIONS THROUGH FIRE RATED WALLS AND ASSEMBLIES. CAULK AROUND ALL PIPE PENETRATIONS THOUGH FULL HEIGHT SOUND WALLS. REFER TO ARCHITECTURAL DRAWINGS FOR WALL CONSTRUCTION. ALL PENETRATIONS OF FIRE-RESISTANT CONSTRUCTION SHALL BE SEALED WITH A LISTED FIRESTOPPING ASSEMBLY BY THE CONTRACTOR RESPONSIBLE FOR THE PENETRATION.
- ALL PLUMBING SHALL BE IN ACCORDANCE WITH THE LOCAL PLUMBING CODE. NOT ALL CLEANOUTS SHOWN. PROVIDE CLEANOUTS AS REQUIRED PER AUTHORITY HAVING JURISDICTION. COORDINATE CLEANOUT LOCATIONS WITH GENERAL CONTRACTOR.
- SEE WASTE AND VENT RISER DIAGRAMS ON SHEET M2.7 FOR COMPLETE PLUMBING SIZES AND CONFIGURATION.
- SEE PLUMBING FIXTURE SCHEDULE SHEET M4.2 FOR PLUMBING FIXTURE CONNECTION REQUIREMENTS.

### FIRE SPRINKLER GENERAL NOTES

- ENTIRE BUILDING SHALL BE PROTECTED BY FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 13 AND THE AUTHORITY HAVING JURISDICTION. FIRE SPRINKLER CONTRACTOR SHALL VERIFY AVAILABLE PRESSURE AND FLOW AND SIZE PIPING TO MEET THE REQUIREMENTS OF NFPA 13 AND THE AUTHORITY HAVING JURISDICTION.
- HYDRAULIC CALCULATIONS AND SPRINKLER PIPING LAYOUT SHALL BE SUBMITTED TO ENGINEER FOR REVIEW. A SECOND SET OF SHOP DRAWINGS SHALL BE SUBMITTED AFTER THE STATE FIRE MARSHAL HAS REVIEWED DESIGN.
- PROVIDE AN AUTOMATIC WET PIPE SPRINKLER SYSTEM THROUGHOUT THE BUILDING. COMPLETE IN ALL ASPECTS AND READY FOR OPERATION INCLUDING ALL TEST AND DRAIN LINES. PRESSURE GAUGES, HANGERS AND SUPPORTS, SIGNS, AND OTHER STANDARD APPURTENANCES. WIRING SHALL BE PROVIDED UNDER THE ELECTRICAL DIVISION.
- PROVIDE FIRE SERVICE ENTRANCE WITH DOUBLE CHECK BACKFLOW PREVENTER. ISOLATION VALVES, CHECK VALVES, FLOW SWITCH, ETC. AS REQUIRED BY NFPA 13, AUTHORITY HAVING JURISDICTION, AND ALL LOCAL CODES.
- PIPING MATERIAL AND SPRINKLER HEADS SHALL MEET THE REQUIREMENTS OF NFPA 13. FINAL PIPE SIZING AND HEAD LAYOUT BY FIRE SPRINKLER CONTRACTOR.
- MINIMIZE EXPOSED PIPING IN AREAS WITHOUT CEILINGS. IN SPACES WITHOUT CEILINGS, SPRINKLER HEADS AND PIPING SHALL BE LOCATED AS HIGH AS POSSIBLE. ROUTE FIRE SPRINKLER MAINS ALONG STRUCTURE TO MINIMIZE VISIBILITY. PAINT EXPOSED PIPING PER ARCHITECTURAL SPECIFICATIONS. DO NOT PAINT HEADS.
- NEW FIRE SPRINKLER HEADS IN ALL AREAS WITH CEILINGS SHALL BE CONCEALED TYPE WITH STANDARD COLOR COVER PLATES SELECTED BY ARCHITECT. FLUSH TO CEILING. FIRE SPRINKLER HEADS SHALL BE CENTERED IN TILE WHERE INSTALLED IN LAY-IN TILE CEILINGS. COORDINATE WITH ELECTRICAL AND MECHANICAL CONTRACTOR.
- DO NOT INSTALL FIRE SPRINKLER PIPING OR FIRE SPRINKLER HEADS ABOVE ELECTRICAL PANELS OR CODE REQUIRED CLEARANCE SPACES. MINIMIZE PIPING ROUTED THROUGH ELECTRICAL AND IT ROOMS. PROVIDE PIPE GUARDS ON ALL HEADS LOCATED IN THESE SPACES.
- COORDINATE ALL WALL AND FLOOR PENETRATIONS WITH GENERAL CONTRACTOR. SEAL PENETRATIONS OF EXTERIOR ENVELOPE WATER TIGHT. FIRE CAULK ALL PIPE PENETRATIONS THROUGH FIRE RATED WALLS AND ASSEMBLIES. CAULK AROUND ALL PIPE PENETRATIONS THOUGH FULL HEIGHT SOUND WALLS. REFER TO ARCHITECTURAL DRAWINGS FOR WALL CONSTRUCTION. ALL PENETRATIONS OF FIRE-RESISTANT CONSTRUCTION SHALL BE SEALED WITH A LISTED FIRESTOPPING ASSEMBLY BY THE CONTRACTOR RESPONSIBLE FOR THE PENETRATION.
- COORDINATE FIRE SPRINKLER PIPE ROUTING AND FIRE SPRINKLER HEAD LOCATIONS WITH DIFFUSERS, REGISTERS, AND GRILLES. FIRE ALARM DETECTORS, LIGHTS AND CEILING PLANS.
- CONTRACTOR SHALL COORDINATE ALL PIPE ROUTING WITH ALL OTHER TRADES. CONTRACTOR SHALL PROVIDE ALL ADDITIONAL OFFSETS AS REQUIRED TO COMPLETE INSTALLATION AND AVOID CONFLICTS. IF CONFLICTS DO OCCUR SUCH THAT LIGHTS, DUCTWORK, OR CEILING SYSTEMS CANNOT BE INSTALLED DUE TO SPRINKLER PIPING INTERFERENCE, THE PIPING SHALL BE RELOCATED AT NO ADDITIONAL EXPENSE TO THE PROJECT.
- INSTALL ALL VALVES IN ACCESSIBLE LOCATIONS.
- MAINTAIN MANUFACTURER'S REQUIRED CLEARANCE AROUND ALL MECHANICAL EQUIPMENT TO ALLOW PROPER OPERATION AND FOR EASY MAINTENANCE.

MECHANICAL SYMBOLS			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
TYPICAL PIPING			
⊕	PIPE TEE / PIPE ELBOW	⊕	UNION
→	ELBOW DN / ELBOW UP	→	STRAINER
↔	ISOLATION VALVE (BALL OR BUTTERFLY)	↔	CHECK VALVE (ARROW INDICATES FLOW)
↔	BALANCING VALVE	↔	AUTOMATIC CONTROL VALVE TWO-WAYTHREE-WAY
↔	GATE VALVE	↔	PRESSURE REGULATING VALVE (PRV)
↔	GLOBE VALVE	↔	PRESSURE GAUGE
↔	PRESSURE/TEMPERATURE TEST PORT	↔	THERMOMETER
TYPICAL PLUMBING			
WC	WATER CLOSET (SEE SPECIFICATIONS FOR TYPE)	→	GAS COCK
UR	URINAL (SEE SPECIFICATIONS FOR TYPE)	⊕	FLOOR DRAIN - SIZE TYPE
L	LAVATORY (SEE SPECIFICATIONS FOR TYPE)	⊕	ROOF DRAIN - SIZE TYPE
S	SINK (SEE SPECIFICATIONS FOR TYPE)	⊕	OVERFLOW DRAIN - SIZE TYPE
EWIC	ELECTRIC WATER COOLER (SEE SPECIFICATIONS FOR TYPE)	↔	HOSE BIBB
MS	MOP SINK (SEE SPECIFICATIONS FOR TYPE)	↔	WALL HYDRANT (NON-FREEZE)
DR	DUCTILE IRON	VTR	VENT THROUGH ROOF
CI	CAST IRON	IE	INVERT ELEVATION
PVC	POLY VINYL CHLORIDE	FL	FLOW LINE
⊕	AIR VENT		
HVAC			
↔	SIDEWALL SUPPLY REGISTER OR GRILLE	⊕	SENSOR
↔	REGISTER OR GRILLE	⊕	THERMOSTAT
↔	SIDEWALL RETURN OR EXHAUST REGISTER OR GRILLE	⊕	HUMIDISTAT
↔	SUPPLY AIR REGISTER	⊕	CARBON DIOXIDE SENSOR
↔	SUPPLY AIR REGISTER	⊕	OCCUPANCY SENSOR
↔	SUPPLY AIR, OUTSIDE AIR OR MIXED AIR DUCT END OR RISER UP RISER DN	↔	MOTORIZED CONTROL DAMPER WITH ACTUATOR
↔	RETURN AIR, EXHAUST AIR OR RELIEF AIR DUCT END OR RISER UP RISER DN	↔	BACKDRIFT DAMPER
↔	RECTANGULAR DUCTWORK (WIDTH/DEPTH)(N) (FIRST NUMBER IS SIDE SHOWN)	↔	VOLUME DAMPER
↔	ROUND DUCTWORK (DIAMETER)(N) (SPIRAL DUCT IN EXPOSED AREAS)	↔	FIRE DAMPER WITH SLEEVE AND ACCESS DOOR
FIRE PROTECTION			
↔	FIRE SPRINKLER PIPING	↔	FIRE HYDRANT
↔	STANDPIPE PIPING	↔	POST INDICATOR VALVE
↔	FIRE HOSE CABINET	↔	SMOKE DAMPER
↔	FIRE VALVE CABINET	↔	SMOKE DAMPER WITH SLEEVE AND ACCESS DOOR
		↔	TURNING VANES

MECHANICAL SHEET LIST	
Sheet Number	Sheet Name
FP1.1	FLOOR PLAN - FIRE PROTECTION PLAN - AREA A
FP1.2	FLOOR PLAN - FIRE PROTECTION PLAN - AREA B
FP1.3	FLOOR PLAN - FIRE PROTECTION PLAN - AREA C
M0.0	MECHANICAL COVERSHEET
M1.1	FLOOR PLAN - HVAC - AREA A
M1.2	FLOOR PLAN - HVAC - AREA B
M1.3	FLOOR PLAN - HVAC - AREA C
M1.4	ROOF PLAN - MECHANICAL - AREA A
M1.5	ROOF PLAN - MECHANICAL - AREA B
M1.6	ROOF PLAN - MECHANICAL - AREA C
M2.1	UNDERGROUND PLAN - PLUMBING - AREA A
M2.2	UNDERGROUND PLAN - PLUMBING - AREA B
M2.3	UNDERGROUND PLAN - PLUMBING - AREA C
M2.4	FLOOR PLAN - PLUMBING - AREA A
M2.5	FLOOR PLAN - PLUMBING - AREA B
M2.6	FLOOR PLAN - PLUMBING - AREA C
M2.7	FLOOR PLAN - PLUMBING - WASTE AND VENT RISER
M3.1	MECHANICAL DETAILS
M3.2	MECHANICAL DETAILS
M4.1	MECHANICAL SCHEDULES
M4.2	MECHANICAL SCHEDULES
MD1.1	DEMOLITION FLOOR PLAN - HVAC - AREA A
MD1.2	DEMOLITION FLOOR PLAN - HVAC - AREA B
MD1.3	DEMOLITION FLOOR PLAN - HVAC - AREA C
MD2.1	DEMOLITION FLOOR PLAN - PLUMBING - AREA A
MD2.2	DEMOLITION FLOOR PLAN - PLUMBING - AREA B
MD2.3	DEMOLITION FLOOR PLAN - PLUMBING - AREA C

PIPING ABBREVIATIONS	
DESCRIPTION	ABBV.
Compressed Air	CA
Condensate	CD
Domestic Cold Water	CW
Domestic Hot Water	HW
Fire Protection Other	F
Fire Protection Wet	F
Natural Gas	G
Oil	OIL
Sanitary	SW
Storm Above Grade	ST
Storm Overflow Above Grade	OF
Vent	V

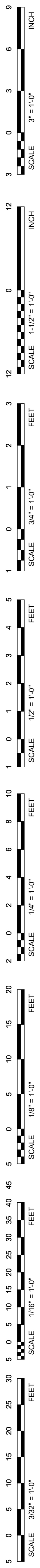
  

DUCT ABBREVIATIONS	
DESCRIPTION	ABBV.
Exhaust Air	EA
Return Air	RA
Supply Air	SA

ENERGY CODE COMPLIANCE		
CODE	2016 IECC	REMARKS
ComCHECK	YES	(1)
COMMISSIONING	NO	(2) (3) (4)
TAB REPORT	YES	(3) (4)
REMARKS:		

- ComCHECK COMPLIANCE REPORT CAN BE FOUND IN THE PROJECT MANUAL.
- REQUIRED DOCUMENTS (REFER TO CODE) SHALL BE PROVIDED TO THE BUILDING OWNER OR OWNER REPRESENTATIVE WITHIN 90 DAYS OF THE DATE OF RECEIPT OF THE CERTIFICATE OF OCCUPANCY.
- SEE RESPECTIVE SPECIFICATION SECTIONS FOR ADDITIONAL INFORMATION.

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION



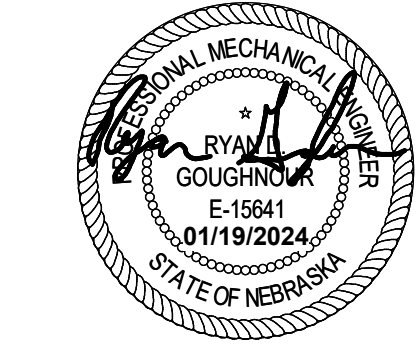
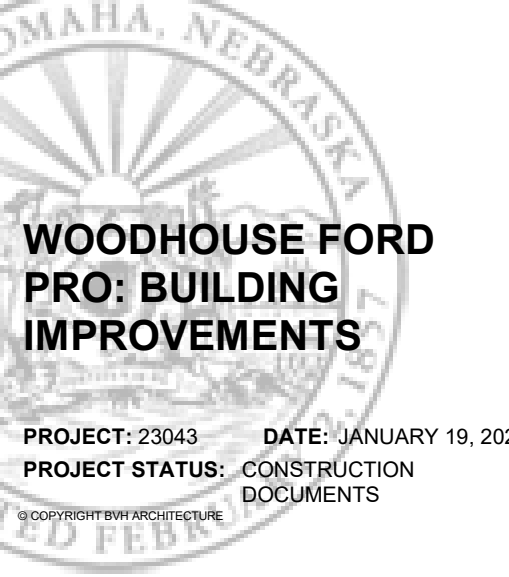
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### MECHANICAL COVERSHEET



M0.0

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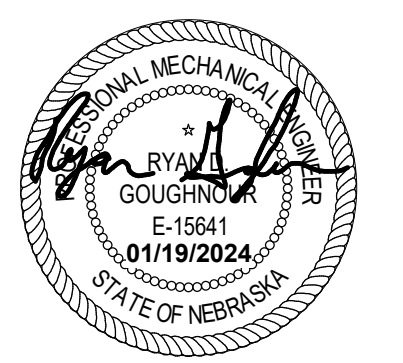
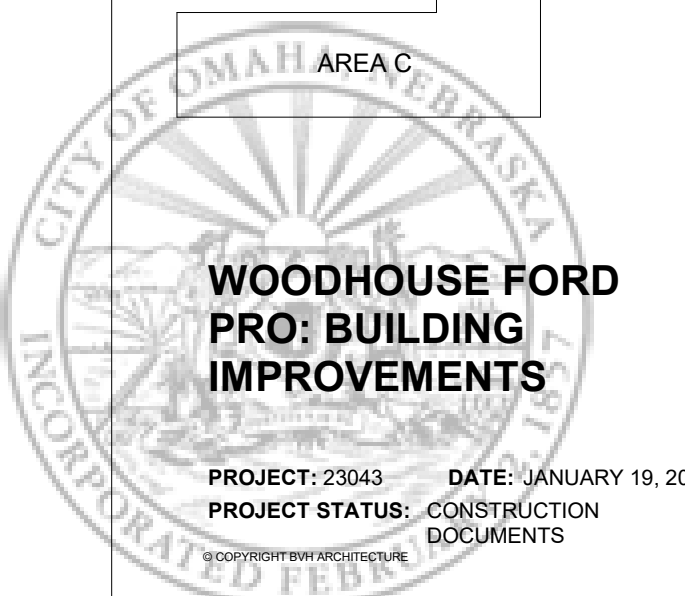
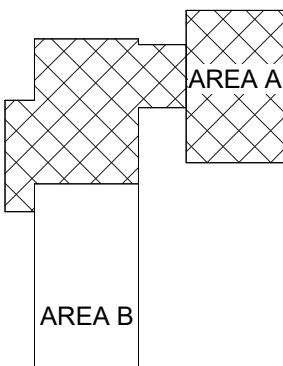
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**KEYNOTES**

NO FIRE SPRINKLER WORK IN AREA A. PLAN SHOWN FOR REFERENCE ONLY. SPRINKLER SYSTEM SERVING AREAS B & C SHALL BE DESIGNED TO ACCOMMODATE FUTURE EXPANSION IN TO AREA A.

**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION
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**FLOOR PLAN - FIRE PROTECTION PLAN - AREA A**



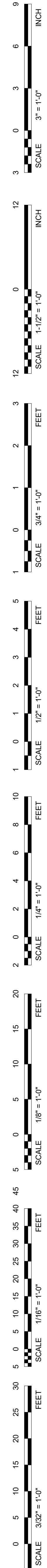
**FP1.1**

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**1 FLOOR PLAN - FIRE PROTECTION PLAN - AREA A**  
 1/8" = 1'-0"



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**KEYNOTES**

- FP101 DO NOT ROUTE PIPING ABOVE ELECTRICAL PANELS. MAINTAIN ALL CODE REQUIRED CLEARANCES.
- FP104 COORDINATE LOCATION OF FIRE SPRINKLER PIPING AND HEADS WITH OVERHEAD GARAGE DOOR. PROVIDE PROTECTIVE CAGE WHERE INSTALLED UNDERNEATH DOORS
- FP105 EXPOSED STRUCTURE. ROUTE FIRE SPRINKLER PIPING AND HEADS AS HIGH AS POSSIBLE. PAINT EXPOSED PIPING - COLOR SELECTED BY ARCHITECT.
- FP112 ROUTE FIRE SPRINKLER PIPING MINIMUM OF 6'-0" FROM OVERHEAD GARAGE DOORS TO MINIMIZE FREEZE POTENTIAL.
- FP117 COORDINATE LOCATION OF FIRE SPRINKLER HEADS WITH THE LOCATION OF UNIT HEATER AND RADIANT TUBE HEATERS.

FIRE SPRINKLER HEAD DESIGNATION SCHEDULE (1)			
PLAN TAG	CEILING TYPE	HEAD TYPE	HEAD COLOR
1	LAY-IN ACOUSTICAL TILE	CONCEALED	WHITE
2	GYP. BOARD	CONCEALED	WHITE
3	EXPOSED STRUCTURE	UPRIGHT	BRASS
4	SIDE WALL	DRY-TYPE	CHROME

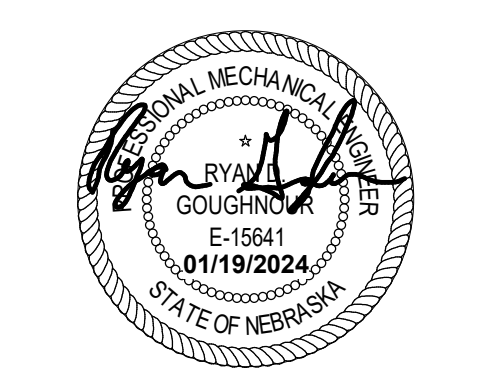
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REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION

AREA A  
 AREA B  
 AREA C

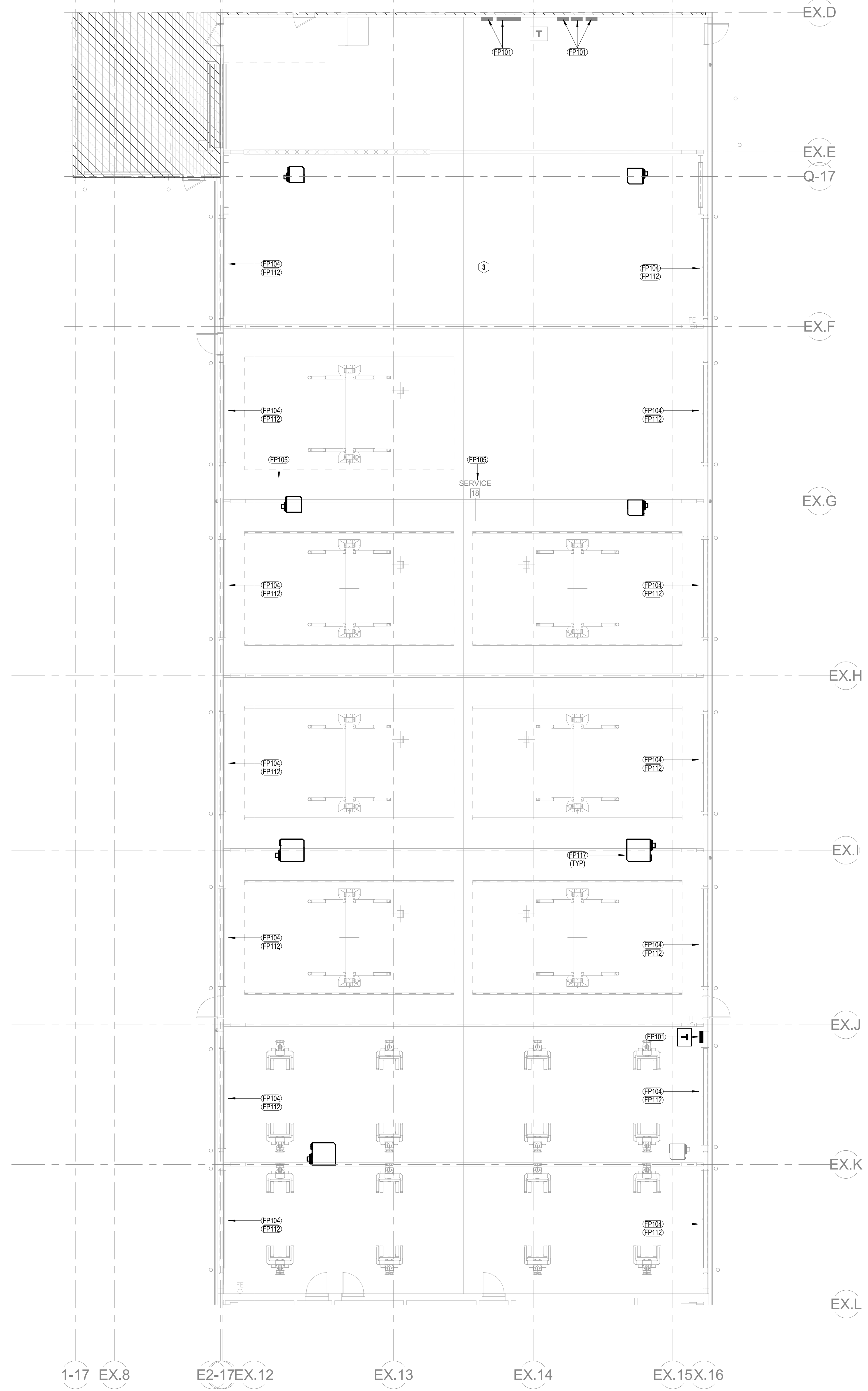
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PROJECT: 23043 DATE: JANUARY 19, 2024  
 PROJECT STATUS: CONSTRUCTION DOCUMENTS



**FLOOR PLAN - FIRE PROTECTION PLAN - AREA B**

**FP1.2**



**1 FLOOR PLAN - FIRE PROTECTION PLAN - AREA B**  
 1/8" = 1'-0"

9 INCH SCALE 3" = 1'-0"

12 INCH SCALE 1'-1/2" = 1'-0"

3 FEET SCALE 3/4" = 1'-0"

5 FEET SCALE 1/2" = 1'-0"

10 FEET SCALE 1/4" = 1'-0"

20 FEET SCALE 1/8" = 1'-0"

30 FEET SCALE 1/16" = 1'-0"

30 FEET SCALE 3/32" = 1'-0"

1/8" = 1'-0"

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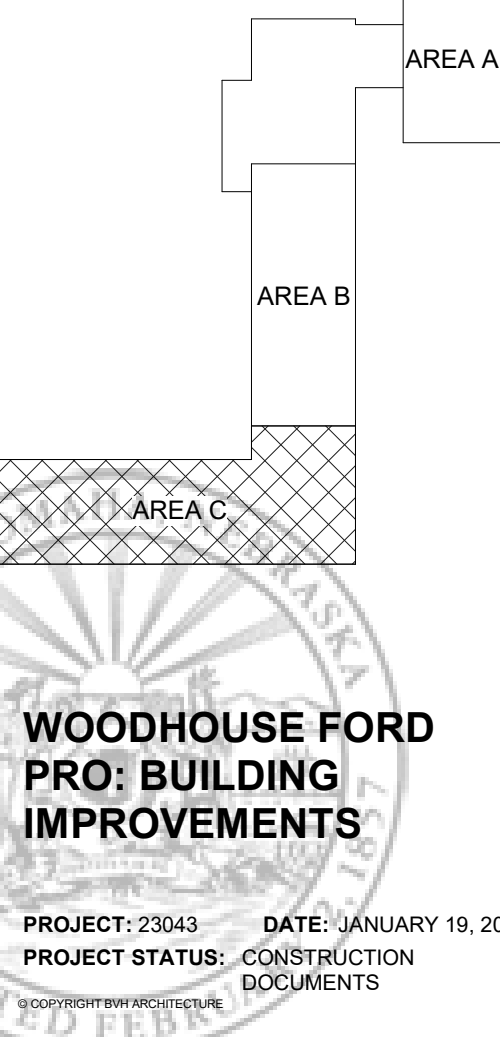
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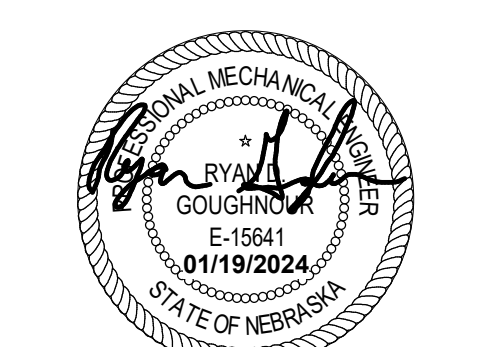
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 PROJECT STATUS: CONSTRUCTION DOCUMENTS



**FLOOR PLAN - FIRE  
 PROTECTION PLAN -  
 AREA C**

**F1.3**

FIRE SPRINKLER HEAD DESIGNATION SCHEDULE (1)			
PLAN TAG	CEILING TYPE	HEAD TYPE	HEAD COLOR
1	LAY-IN ACOUSTICAL TILE	CONCEALED	WHITE
2	GYP. BOARD	CONCEALED	WHITE
3	EXPOSED STRUCTURE	UPRIGHT	BRASS
4	SIDE WALL	DRY-TYPE	CHROME

**KEYNOTES**

FP101 DO NOT ROUTE PIPING ABOVE ELECTRICAL PANELS. MAINTAIN ALL CODE REQUIRED CLEARANCES.

FP104 COORDINATE LOCATION OF FIRE SPRINKLER PIPING AND HEADS WITH OVERHEAD GARAGE DOOR. PROVIDE PROTECTION BELOW DOOR AS REQUIRED BY NFPA. PROVIDE PROTECTIVE CAGE WHERE INSTALLED UNDERNEATH DOORS.

FP105 EXPOSED STRUCTURE. ROUTE FIRE SPRINKLER PIPING AND HEADS AS HIGH AS POSSIBLE. PAINT EXPOSED PIPING - COLOR SELECTED BY ARCHITECT.

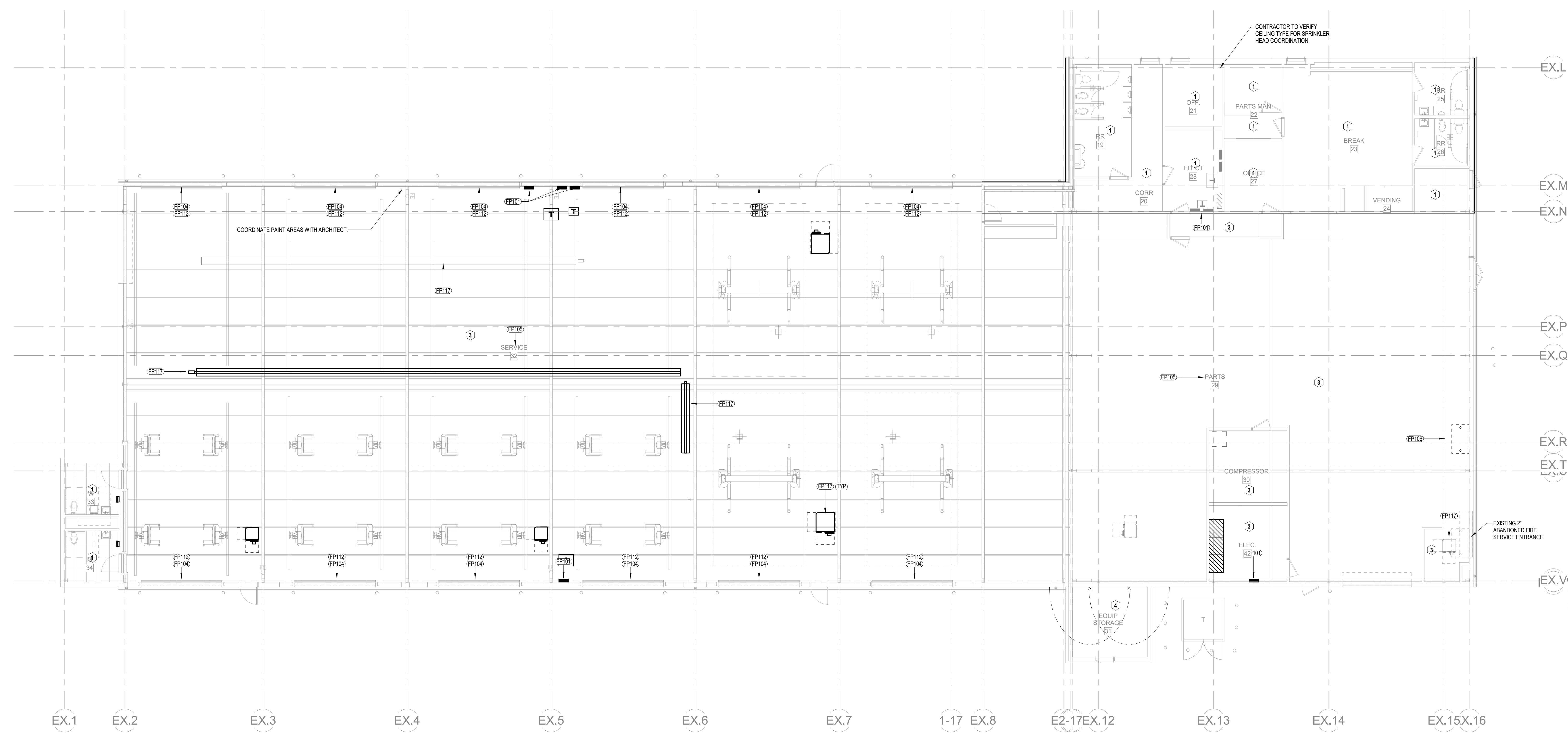
FP108 PROVIDE FIRE SERVICE ENTRANCE WITH DOUBLE CHECK BACKFLOW PREVENTER, ISOLATION VALVES, CHECK VALVES, FLOW SWITCH, ETC. AS REQUIRED BY NFPA 13, LOCAL CODES, AND THE AUTHORITY HAVING JURISDICTION.

FP112 ROUTE FIRE SPRINKLER PIPING MINIMUM OF 6'-0" FROM OVERHEAD GARAGE DOORS TO MINIMIZE FREEZE POTENTIAL.

FP117 COORDINATE LOCATION OF FIRE SPRINKLER HEADS WITH THE LOCATION OF UNIT HEATER AND RADIANT TUBE HEATERS.

**REMARKS:**

1. THIS PLAN IS FOR COORDINATION PURPOSES ONLY. REFER TO ARCHITECTURAL CEILING PLANS FOR SPECIFIC CEILING TYPES AND POTENTIAL OBSTRUCTIONS. PROVIDE ALL HEADS AS REQUIRED FOR DESIGN INTENT AND AN NFPA 13 COMPLIANT SYSTEM. SEE ADDITIONAL FIRE PROTECTION NOTES FOR ADDITIONAL INFORMATION.



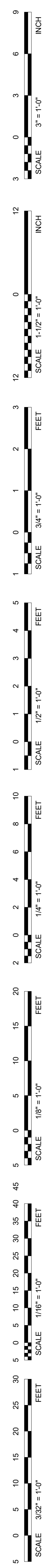
**1 FLOOR PLAN - FIRE PROTECTION PLAN - AREA C**  
 1/8" = 1'-0"

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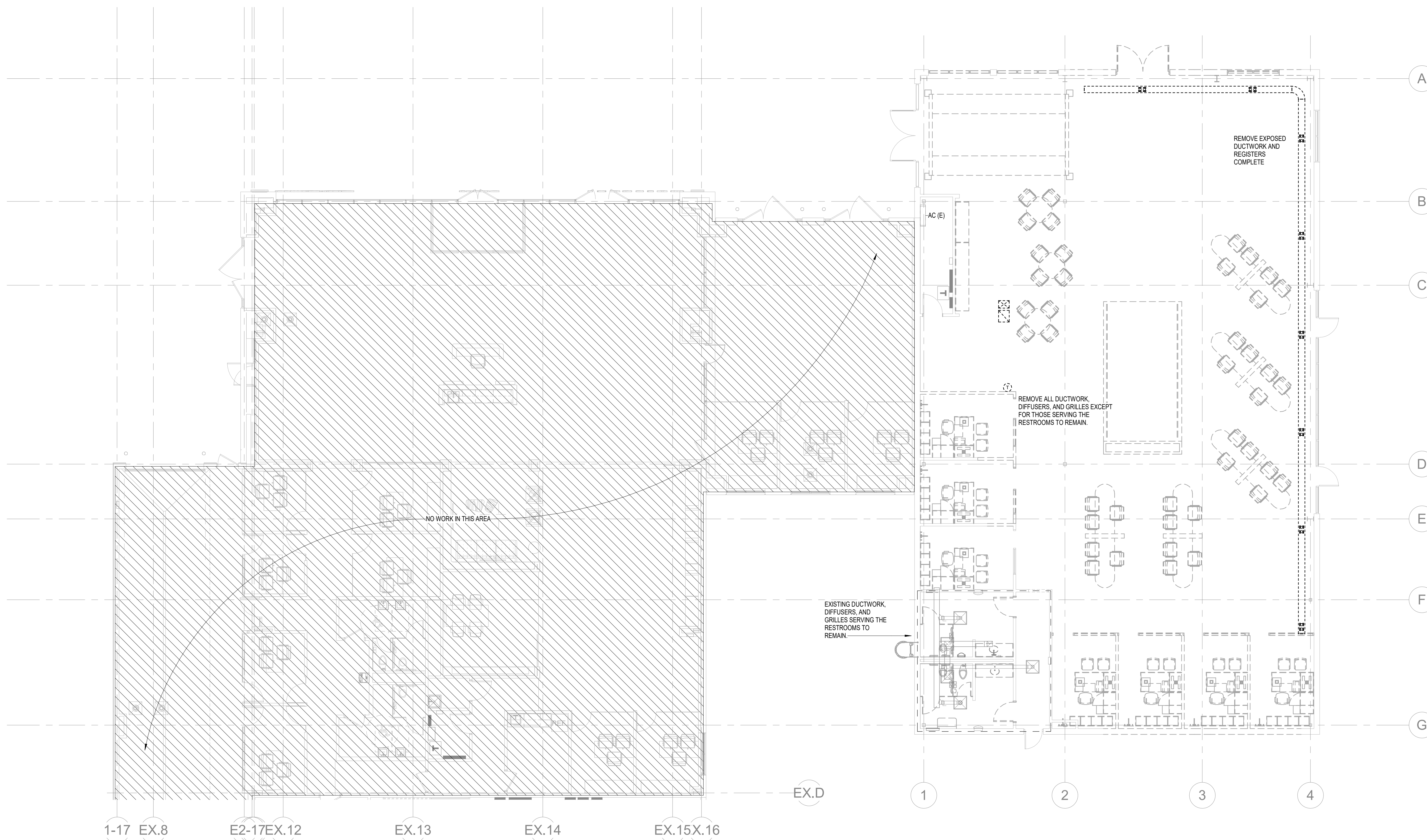
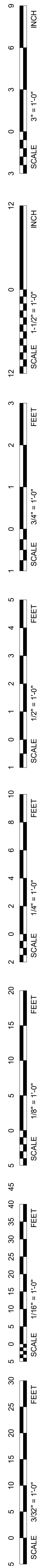
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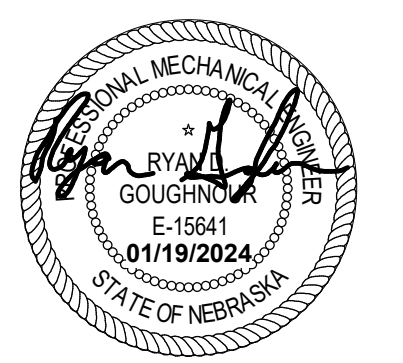
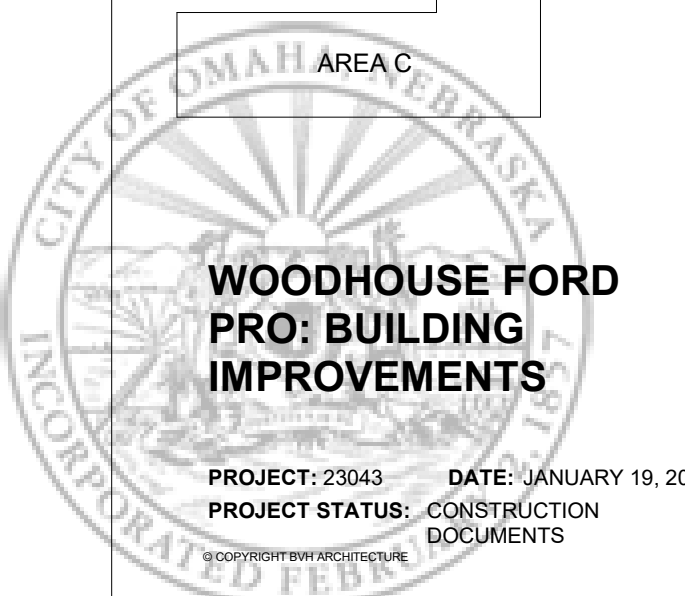
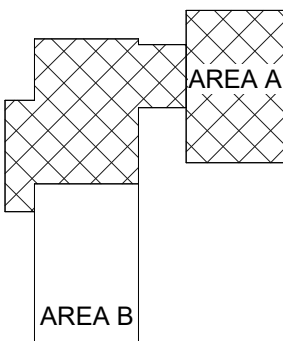
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KEYNOTES



REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION



**1 DEMOLITION FLOOR PLAN - HVAC - AREA A**  
 1/8" = 1'-0"

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**DEMOLITION FLOOR PLAN - HVAC - AREA A**

NORTH  
  
**MD1.1**

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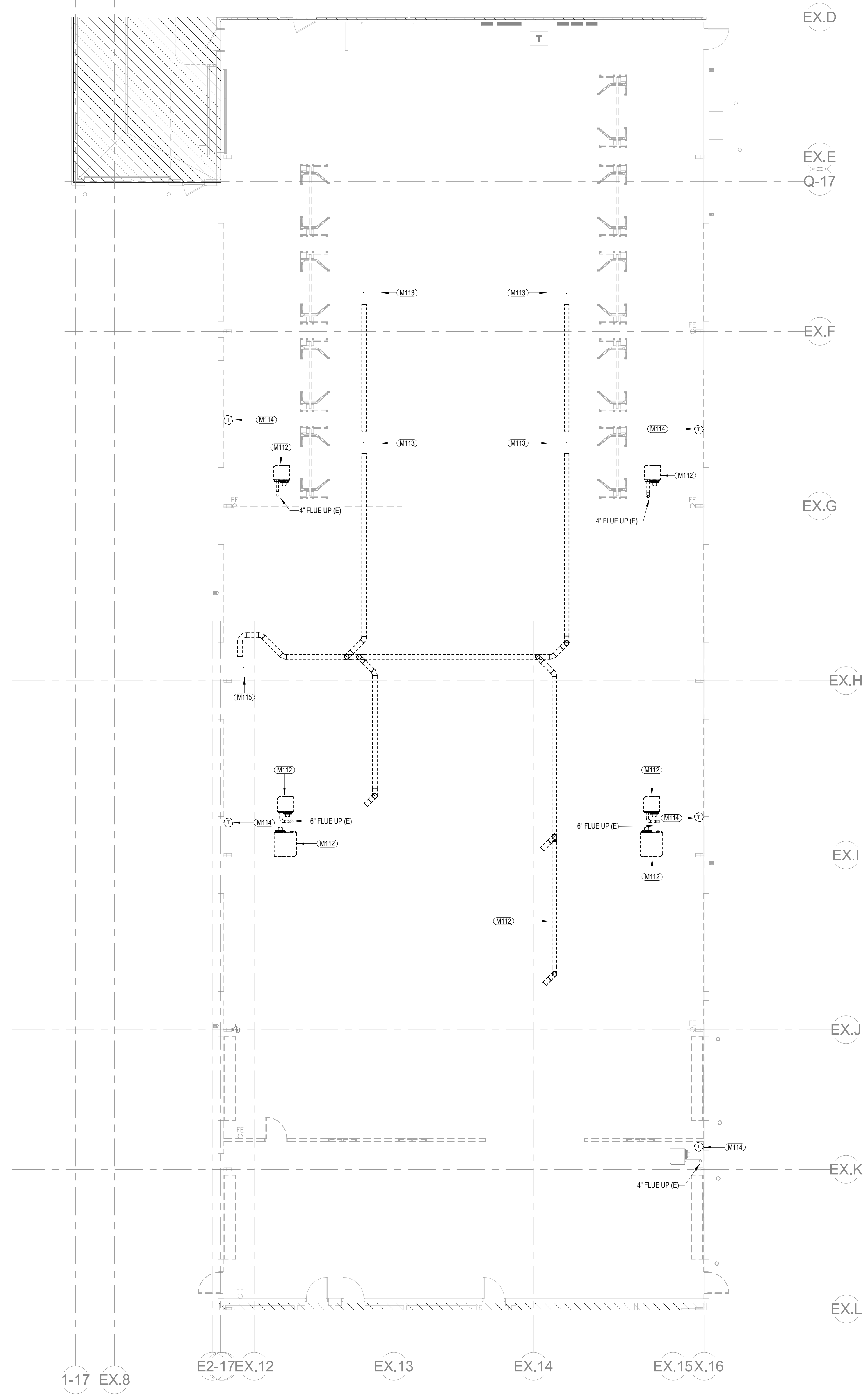
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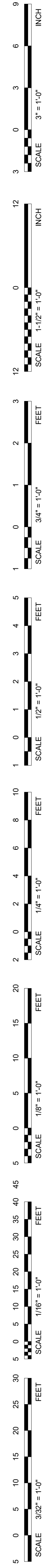
**KEYNOTES**

- M112 SALVAGE GAS LINT HEATER FOR RELOCATION. DISCONNECT EXHAUST FLUE. SEE NEW PLANS FOR CONNECTION TO NEW FLUE PIPING.
- M113 REMOVE EXISTING VEHICLE EXHAUST REELS AND COMPLETE DUCTWORK.
- M114 SALVAGE THERMOSTAT FOR RELOCATION.
- M115 REMOVE VEHICLE EXHAUST FAN AND WALL LOUVER COMPLETE. COORDINATE ALL WALL PATCHING WITH ARCHITECT.



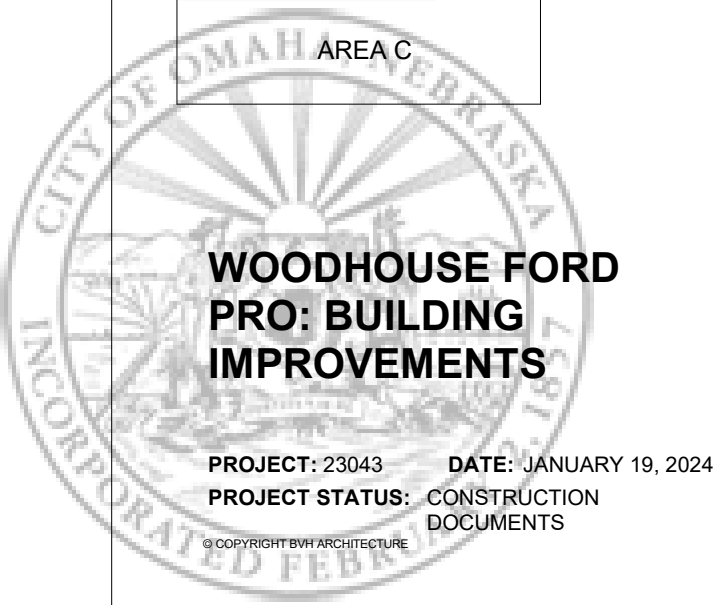
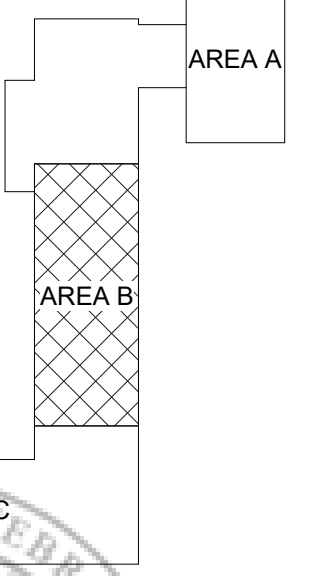
1-17 EX.8 E2-17EX.12 EX.13 EX.14 EX.15X.16

**1 DEMOLITION FLOOR PLAN - HVAC - AREA B**  
 1/8" = 1'-0"



**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION



**DEMOLITION FLOOR PLAN - HVAC - AREA B**

**MD1.2**

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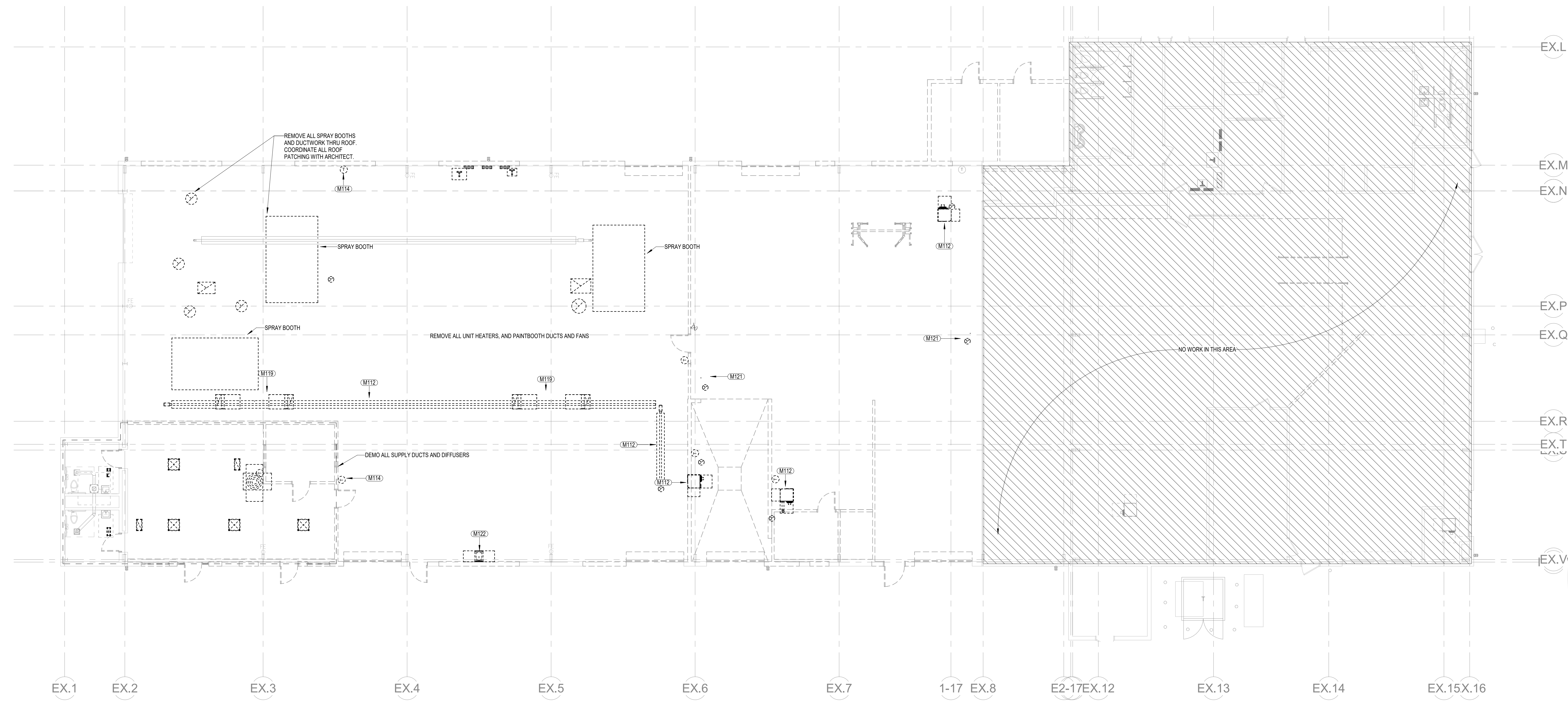
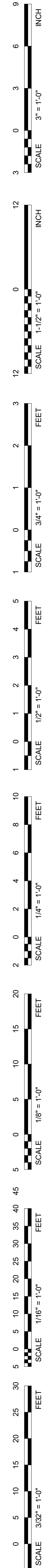
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 V 402 421 9540  
 langestructuralgroup.com

**MEP ENGINEER**  
**MORRISSEY ENGINEERING**  
 4940 N 118TH ST  
 OMAHA, NE 68184  
 V 402 491 4144  
 morrisseyengineering.com

**CONSTRUCTION MANAGER**  
**MCL CONSTRUCTION**  
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 V 402 339 2221  
 mclconstruction.com

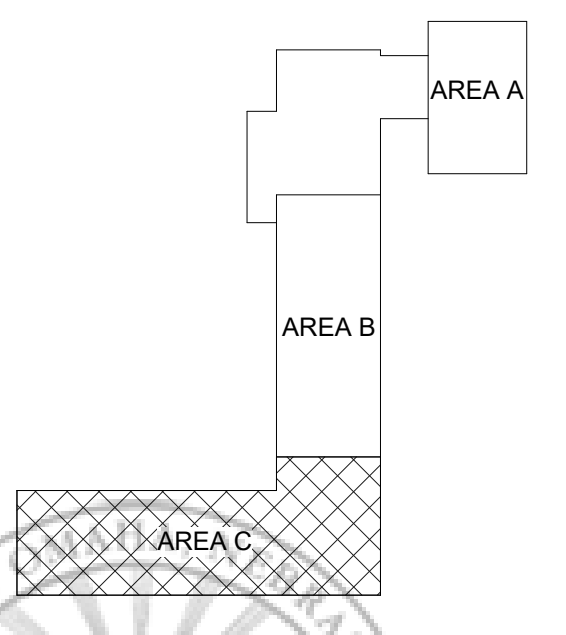
**KEYNOTES**

- M112 SALVAGE GAS UNIT HEATER FOR RELOCATION. DISCONNECT EXHAUST FLUE. SEE NEW PLANS FOR CONNECTION TO NEW FLUE PIPING.
- M114 SALVAGE THERMOSTAT FOR RELOCATION.
- M119 REMOVE ALL MECHANICAL EQUIPMENT ON ROOF AND DUCTWORK. COORDINATE ROOF PATCHING WITH ARCHITECT.
- M121 REMOVE HOIST BOOTH AND EXHAUST DUCT THRU ROOF. COORDINATE ALL ROOF PATCHING WITH ARCHITECT.
- M122 REMOVE WALL FAN. COORDINATE ALL WALL PATCHING WITH ARCHITECT.



**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION



**WOODHOUSE FORD PROJ: BUILDING IMPROVEMENTS**  
 PROJECT: 23043 DATE: JANUARY 19, 2024  
 PROJECT STATUS: CONSTRUCTION DOCUMENTS



**DEMOLITION FLOOR PLAN - HVAC - AREA C**

MEI PROJECT NO. 23416  
**morrissey engineering inc**  
 mechanical | electrical | lighting | technology | sustainability  
 4940 North 118th Street  
 Omaha, NE 68184  
 P: 402.491.4144  
 Nebraska COA Number: CA-0835  
 www.morrisseyengineering.com

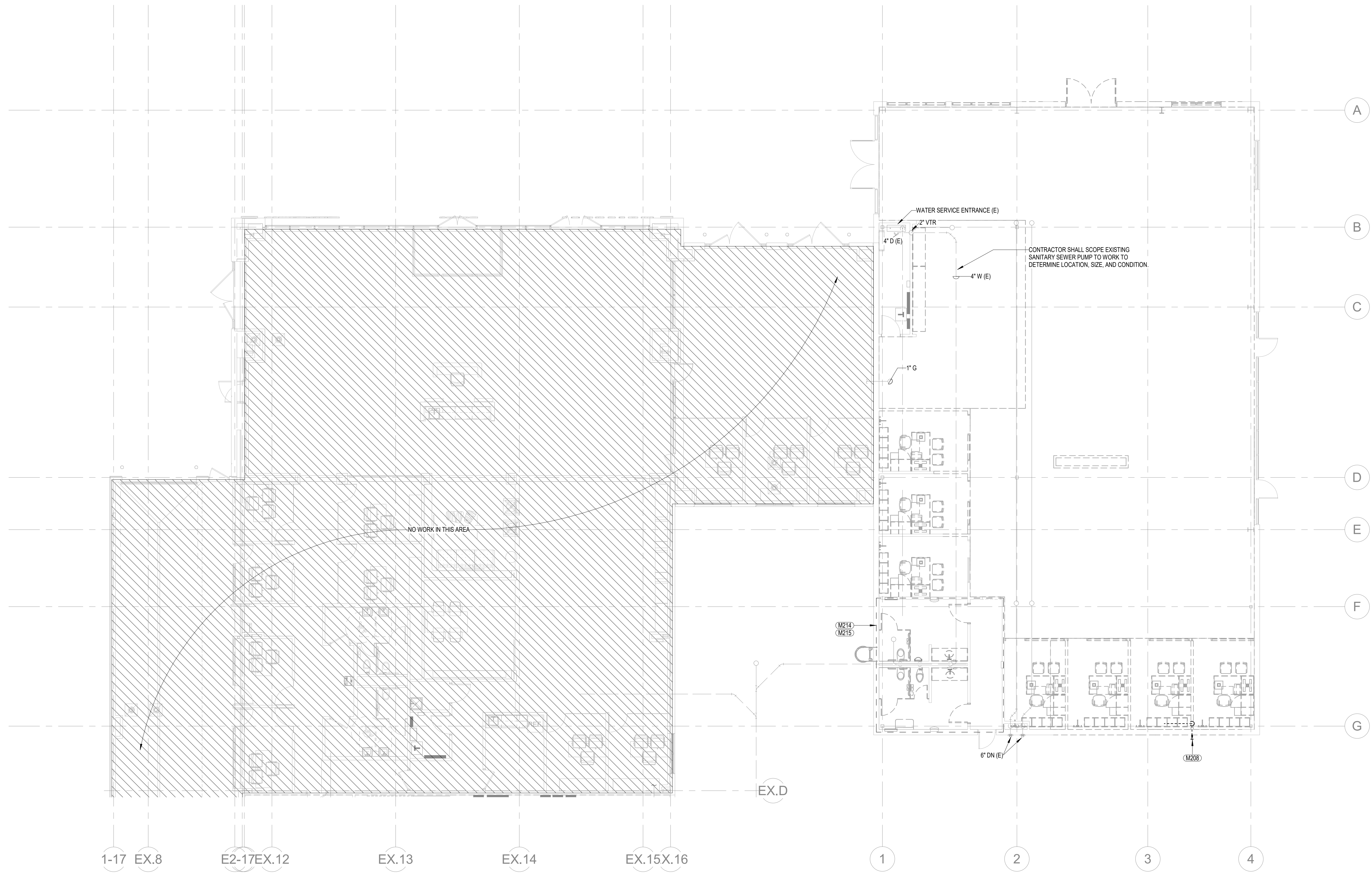
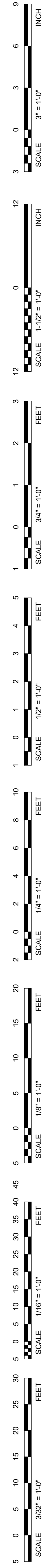
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**NORTH**  
**MD1.3**

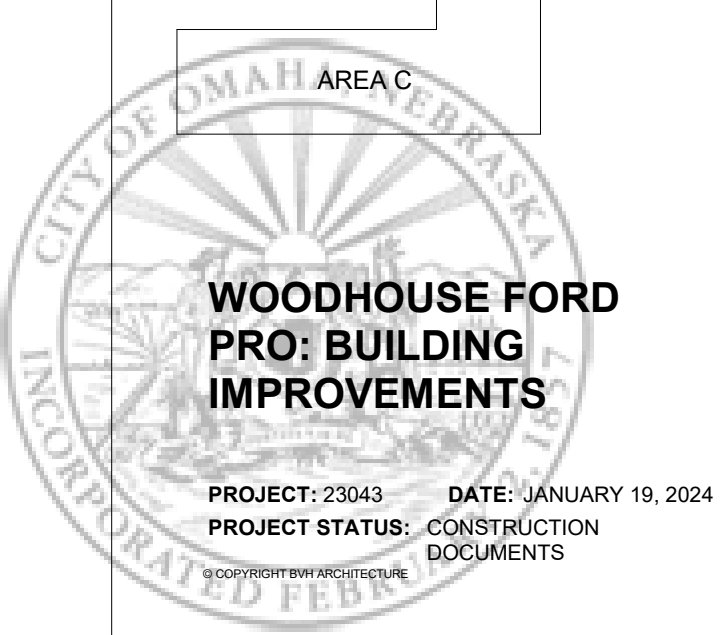
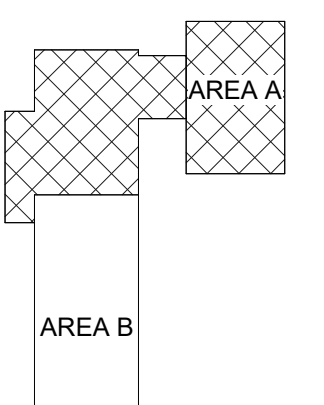
**KEYNOTES**

- M208 REMOVE WALL HYDRANTHOSE BIBB AND ALL ASSOCIATED CWP PIPING.
- M214 REMOVE ALL FLOOR MOUNTED WATER CLOSET/WALL HUNG URINAL AND FLUSH VALVE AND PREPARE PIPING FOR CONNECTION TO NEW FIXTURE. PROVIDE NEW FLOOR MOUNTED WATER CLOSET AND WALL HUNG URINAL AND FLUSH VALVE IN SAME LOCATION AND CONNECT TO EXISTING CARRIER.
- M215 REMOVE EXISTING LAVATORY, P-TRAP, AND SUPPLY STOPS AND PROVIDE NEW LAVATORY, P-TRAP, AND SUPPLY STOPS AND CONNECT TO EXISTING PIPING.



**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION



**DEMOLITION FLOOR PLAN - PLUMBING - AREA A**

**MD2.1**

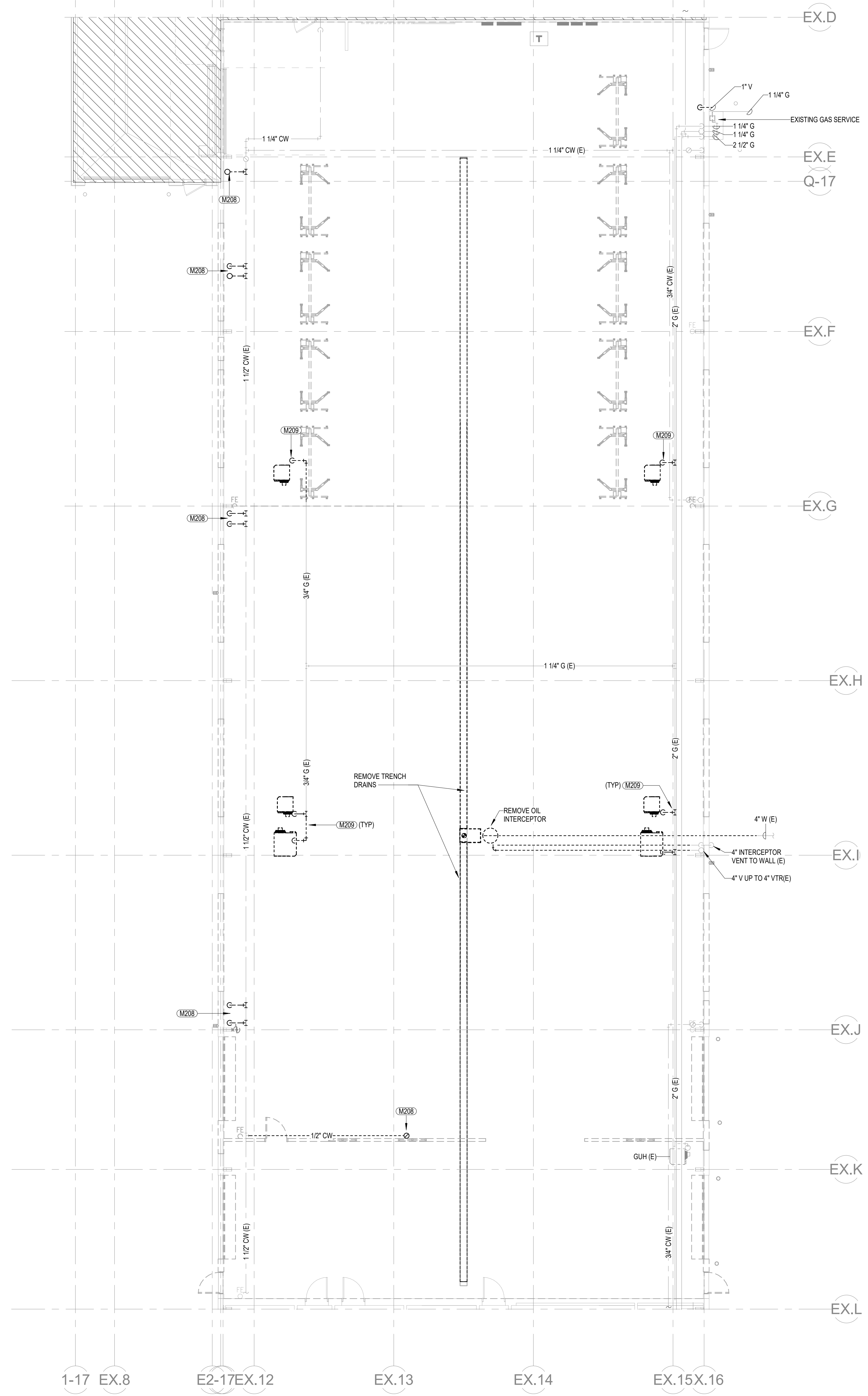
**1 DEMOLITION FLOOR PLAN - PLUMBING - AREA A**  
 1/8" = 1'-0"

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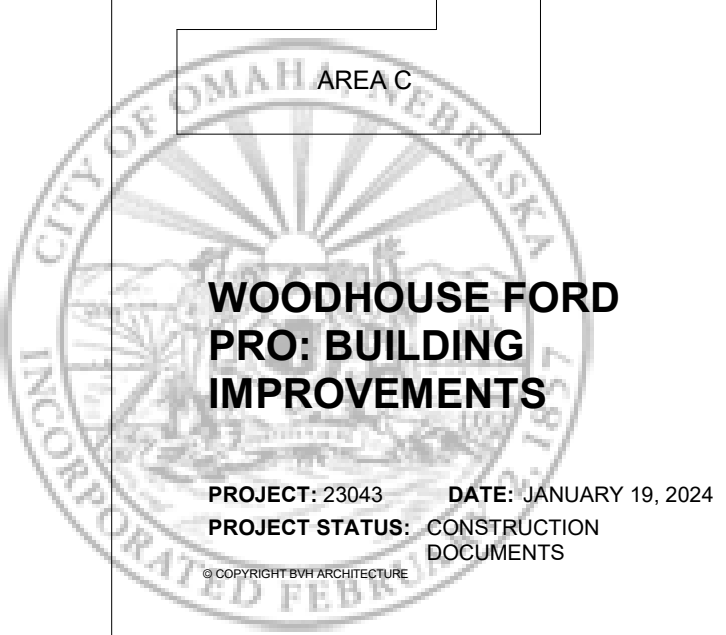
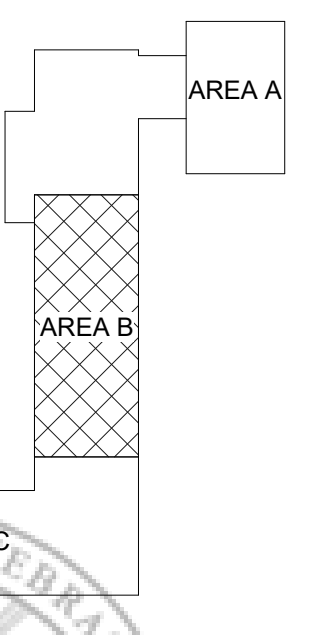
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**KEYNOTES**  
 M208 REMOVE WALL HYDRANT HOSE BIBB AND ALL ASSOCIATED CW PIPING.  
 M209 DISCONNECT EXISTING GAS PIPING FOR UNIT HEATER RELOCATION. SEE NEW PLANS FOR CONNECTION TO NEW GAS PIPING.



REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION



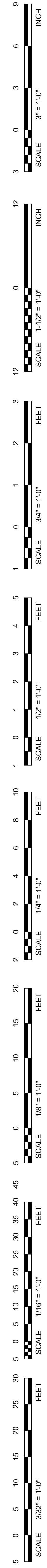
**DEMOLITION FLOOR PLAN - PLUMBING - AREA B**

**MD2.2**

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**1 DEMOLITION FLOOR PLAN - PLUMBING - AREA B**  
 1/8" = 1'-0"

**KEYNOTES**

M209 DISCONNECT EXISTING GAS PIPING FOR UNIT HEATER RELOCATION. SEE NEW PLANS FOR CONNECTION TO NEW GAS PIPING.

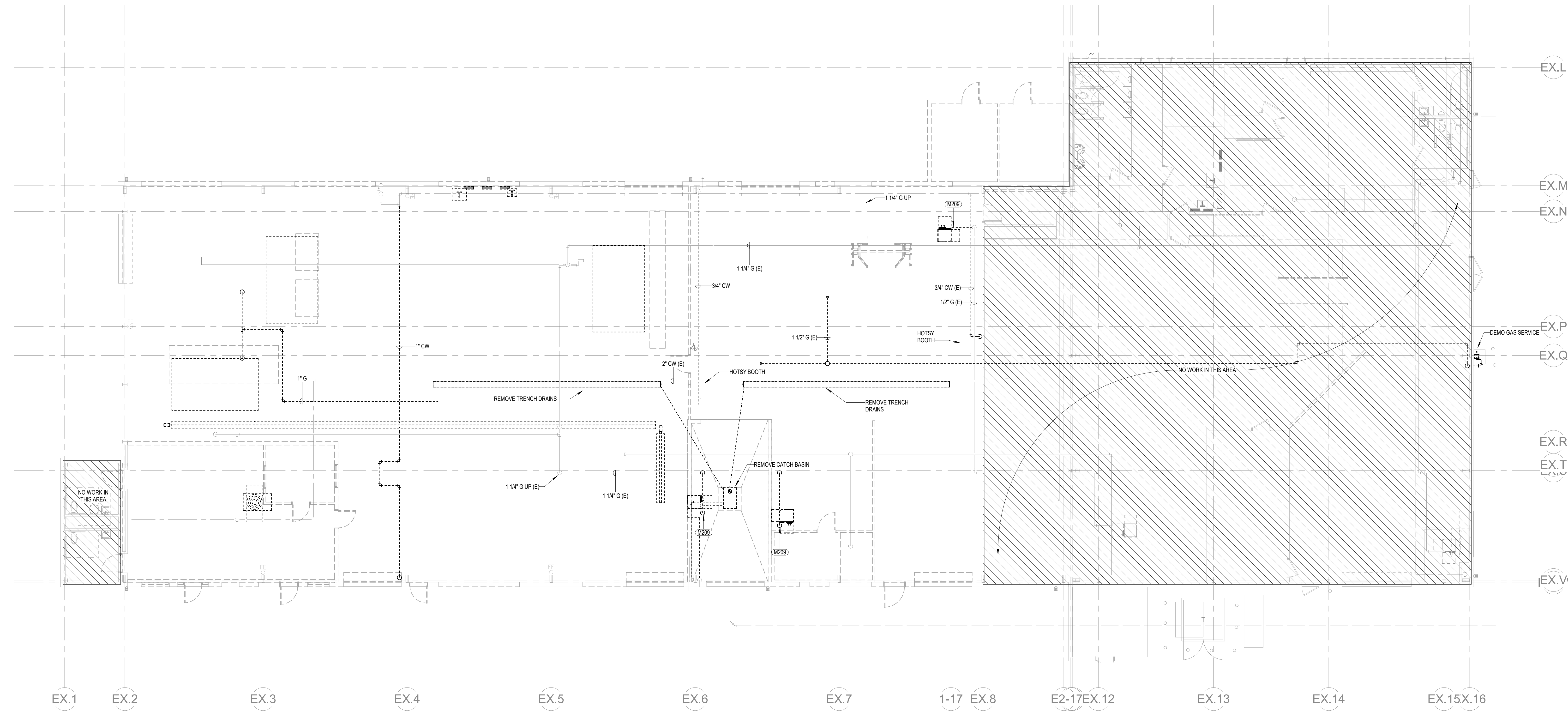
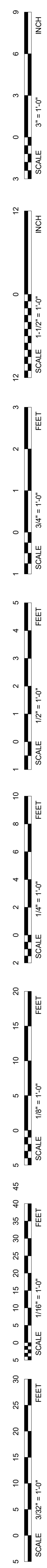
**ARCHITECT**  
**BVH ARCHITECTURE**  
 901 JONES STREET  
 OMAHA, NE 68102  
 V 402 345 3090  
 F 402 345 7871  
 bvh.com

**CIVIL ENGINEER**  
**LAMP RYNEARSON**  
 14710 W DODGE RD #100  
 OMAHA, NE 68154  
 V 402 496 2498  
 tra-inc.com

**STRUCTURAL ENGINEER**  
**LANGE STRUCTURAL GROUP**  
 1919 S 40TH STREET, SUITE 302  
 LINCOLN, NE 68506  
 V 402 421 9540  
 langestructuralgroup.com

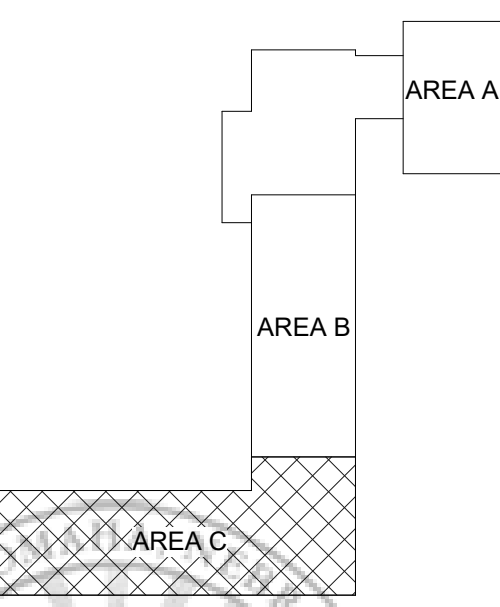
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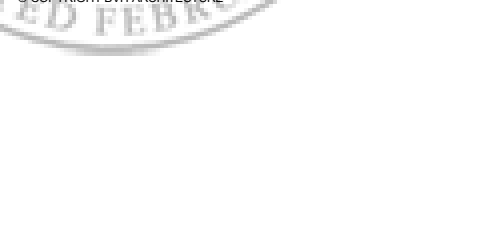
**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION



**WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS**

PROJECT: 23043 DATE: JANUARY 19, 2024  
 PROJECT STATUS: CONSTRUCTION DOCUMENTS



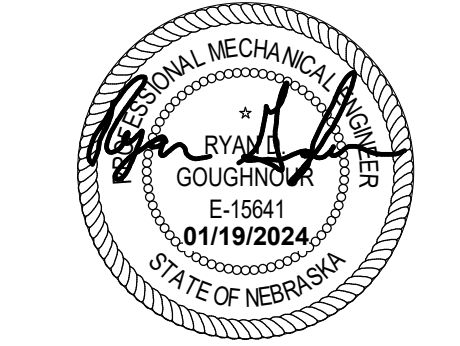
**1 DEMOLITION FLOOR PLAN - PLUMBING - AREA C**  
 1/8" = 1'-0"

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**DEMOLITION FLOOR PLAN - PLUMBING - AREA C**

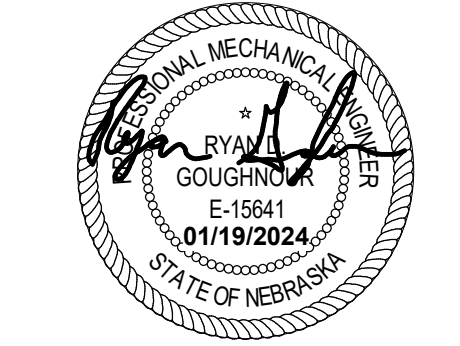
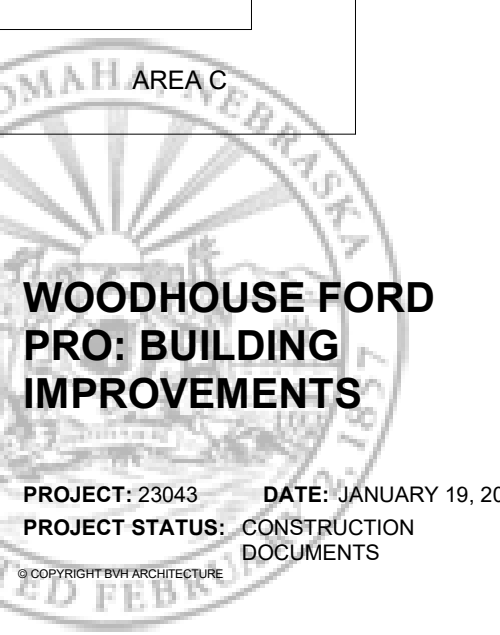
**KEYNOTES**

- M101 DO NOT ROUTE DUCTWORK OVER ELECTRICAL PANELS. MAINTAIN ALL CODE REQUIRED CLEARANCES
- M105 FLUE UP THROUGH ROOF TO VENT CAP FROM RADIANT TUBE HEATERS. UNIT HEATERS. SIZE AND TERMINATE PER MANUFACTURER'S RECOMMENDATIONS. SEAL PENETRATION WATER TIGHT. COORDINATE EXACT LOCATION OF ROOF PENETRATIONS WITH STRUCTURE AND GENERAL CONTRACTOR. MAINTAIN REQUIRED CLEARANCES BETWEEN AIR INTAKE AND EXHAUST.
- M106 COMBUSTION AIR UP THROUGH ROOF TO VENT CAP FROM RADIANT TUBE HEATERS. SIZE AND TERMINATE PER MANUFACTURER'S RECOMMENDATIONS. SEAL PENETRATION WATER TIGHT. COORDINATE EXACT LOCATION OF ROOF PENETRATIONS WITH STRUCTURE AND GENERAL CONTRACTOR. MAINTAIN REQUIRED CLEARANCES BETWEEN COMBUSTION AIR INTAKE AND EXHAUST.
- M108 LOCAL CONTROL PANEL FOR GAS DETECTION SYSTEM CONTROLS WITH CARBON MONOXIDE AND NITROGEN DIOXIDE DETECTORS AS SHOWN ON PLANS. CONTROL PANEL SHALL HAVE CAPABILITY FOR MANUAL OVERRIDE OF FANS. ALL LOW VOLTAGE CONTROL WIRING FOR GAS DETECTION SYSTEM SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR. COORDINATE INSTALLATION OF THE CONTROL WIRING WITH THE ELECTRICAL CONTRACTOR. COORDINATE WITH ELECTRICAL CONTRACTOR AND TEMPERATURE CONTROLS CONTRACTOR TO PROVIDE A HANDOFF/AUTO SWITCH TO CONTROL SUPPLY AND EXHAUST FANS.
- M111 CO SENSOR AND NO2 SENSOR AT 48" AFF FOR EMERGENCY VENTILATION CONTROL SYSTEM. PREFERRED LOCATION AND SPACING SHOWN FOR REFERENCE. PROVIDE ADDITIONAL SENSORS AS REQUIRED BY THE MANUFACTURER'S RECOMMENDED MAXIMUM SPACING. SEE SPECIFICATIONS SECTION 230900 FOR ADDITIONAL DETAILS ON EMERGENCY VENTILATION SYSTEM.
- M116 STUB DUCT 12" BELOW ROOF DECK AND PROVIDE 1/2" SCREEN AT OPENING. PROVIDE NEW ENERGY STANDARD THERMOSTAT AT LOCATION SHOWN. PROVIDE BACK COVER FOR THERMOSTATS LOCATED ON EXTERIOR WALLS. COORDINATE PLATE COVER WITH ARCHITECT AND OWNER.
- M134 CONNECT NEW DUCTWORK TO EXISTING ROOFTOP UNIT DUCT DROPS. CONTRACTOR TO VERIFY EXACT LOCATION, SIZE AND HEIGHT OF EXISTING DUCT DROPS FOR CONNECTION.

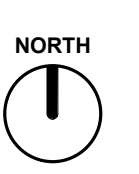
**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION
00001		MPE (Frank Reid) HVAC to meet IMC 2012 or ASHRAE 62.1 Point source vehicle exhaust at each service bay per IMC 2012.

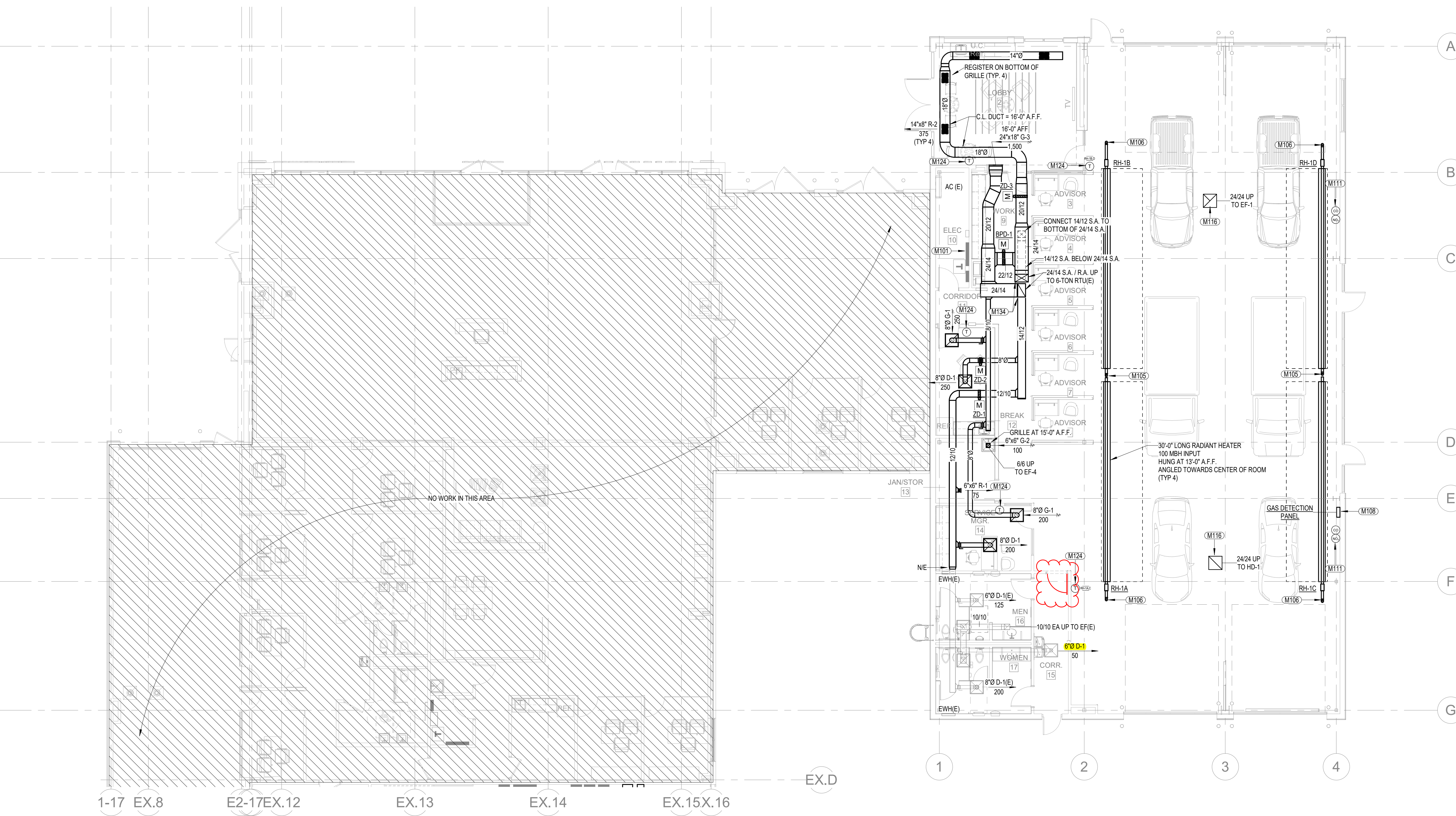
00001 - MPE (Frank Reid)  
 HVAC to meet IMC 2012 or ASHRAE 62.1  
 Point source vehicle exhaust at each  
 service bay per IMC 2012.



**FLOOR PLAN - HVAC - AREA A**



**M1.1**



**1 FLOOR PLAN - HVAC - AREA A**  
 1/8" = 1'-0"

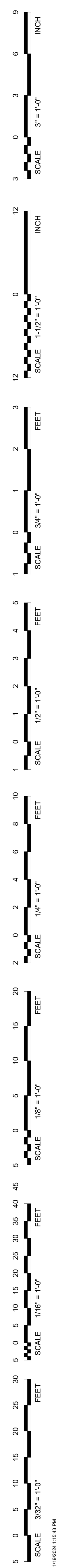
MEI PROJECT NO. 23416

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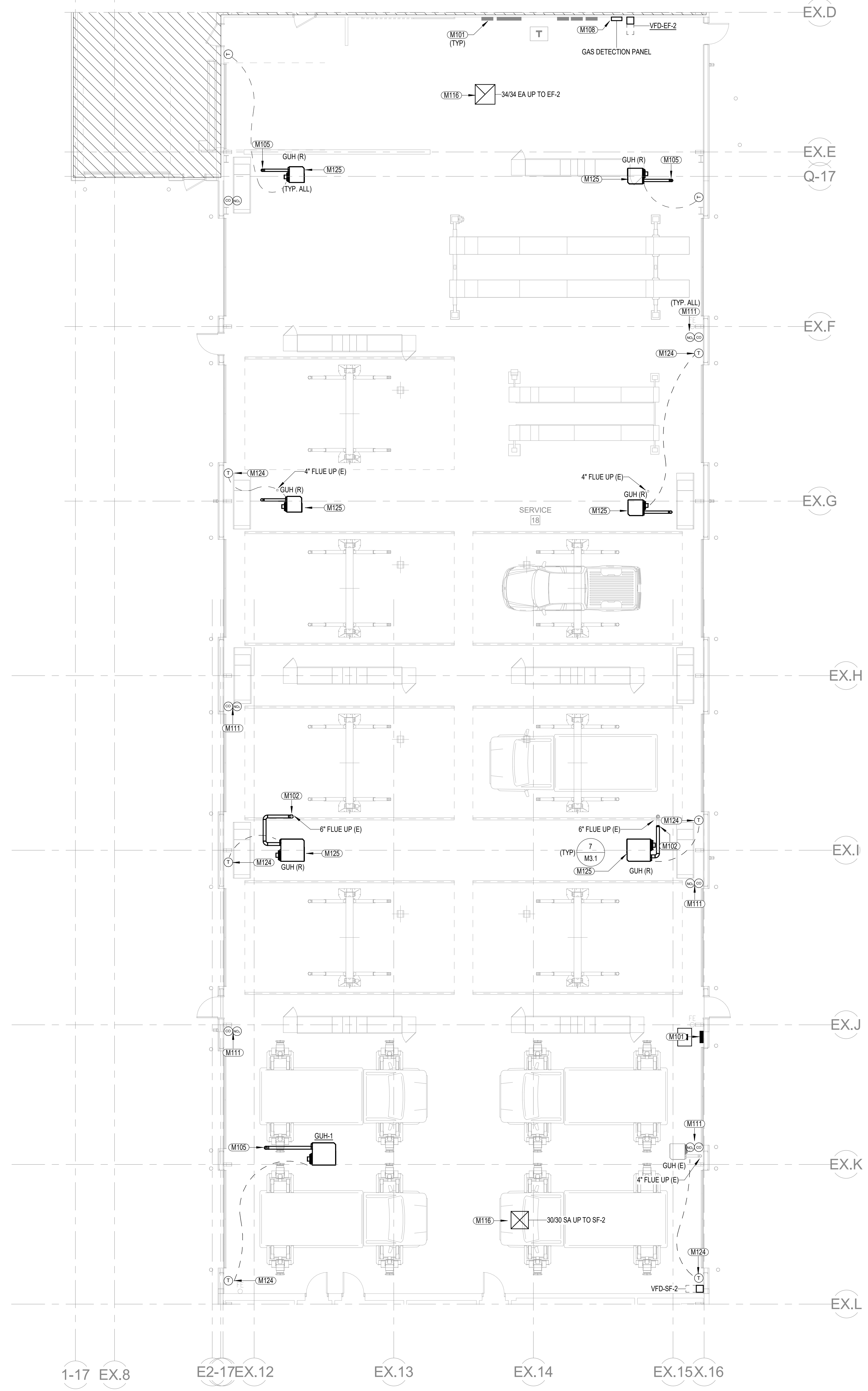
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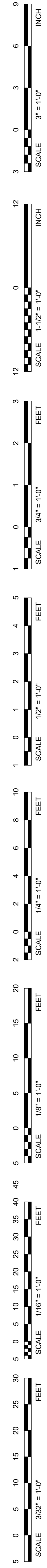
**KEYNOTES**

- M101 DO NOT ROUTE DUCTWORK OVER ELECTRICAL PANELS. MAINTAIN ALL CODE REQUIRED CLEARANCES.
- M102 CONNECT NEW DUCTWORK TO EXISTING DUCTWORK AT LOCATION INDICATED. FIELD VERIFY EXACT SIZE, LOCATION AND ELEVATION OF EXISTING DUCTWORK PRIOR TO CONNECTION. TRANSITION, EXTEND AND OFFSET NEW DUCTWORK AS REQUIRED TO MAKE CONNECTION AND AVOID CONFLICTS.
- M105 FLUE UP THROUGH ROOF TO VENT CAP FROM RADIANT TUBE HEATERS/UNIT HEATERS. SIZE AND TERMINATE PER MANUFACTURER'S RECOMMENDATIONS. SEAL PENETRATION WATER TIGHT. COORDINATE EXACT LOCATION OF ROOF PENETRATIONS WITH STRUCTURE AND GENERAL CONTRACTOR. MAINTAIN REQUIRED CLEARANCES BETWEEN AIR INTAKE AND EXHAUST.
- M108 LOCAL CONTROL PANEL FOR GAS DETECTION SYSTEM CONTROLS WITH CARBON MONOXIDE AND NITROGEN DIOXIDE DETECTORS AS SHOWN ON PLANS. CONTROL PANEL SHALL HAVE CAPABILITY FOR MANUAL OVERRIDE OF FANS. ALL LOW VOLTAGE CONTROL WIRING FOR GAS DETECTION SYSTEM SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR. COORDINATE INSTALLATION OF THE CONTROL WIRING WITH THE ELECTRICAL CONTRACTOR. COORDINATE WITH ELECTRICAL CONTRACTOR AND TEMPERATURE CONTROLS CONTRACTOR TO PROVIDE A HAND/OFF/AUTO SWITCH TO CONTROL SUPPLY AND EXHAUST FANS.
- M111 CO SENSOR AND NO2 SENSOR AT 48" AFF FOR EMERGENCY VENTILATION CONTROL SYSTEM. PREFERRED LOCATION AND SPACING SHOWN FOR REFERENCE. PROVIDE ADDITIONAL SENSORS AS REQUIRED BY THE MANUFACTURER'S RECOMMENDED MAXIMUM SPACING. SEE SPECIFICATIONS SECTION 230900 FOR ADDITIONAL DETAILS ON EMERGENCY VENTILATION SYSTEM.
- M116 STUB DUCT 12" BELOW ROOF DECK AND PROVIDE 12" SCREEN AT OPENING. PROVIDE BACK COVER FOR THERMOSTATS LOCATED ON EXTERIOR WALLS. COORDINATE PLATE COVER WITH ARCHITECT AND OWNER.
- M125 RELOCATE GAS UNIT HEATER TO LOCATION SHOWN.



1-17 EX.8 EX.12 EX.13 EX.14 EX.15X.16

**1 FLOOR PLAN - HVAC - AREA B**  
 1/8" = 1'-0"



**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION

AREA A  
 AREA B  
 AREA C

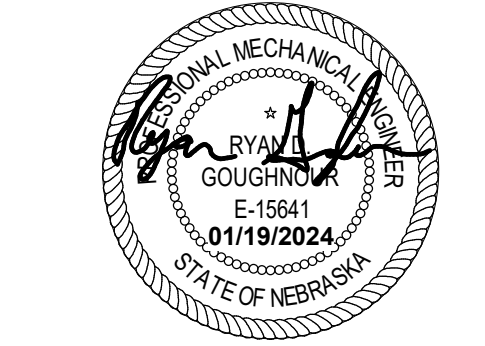
**WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS**  
 PROJECT: 23043 DATE: JANUARY 19, 2024  
 PROJECT STATUS: CONSTRUCTION DOCUMENTS

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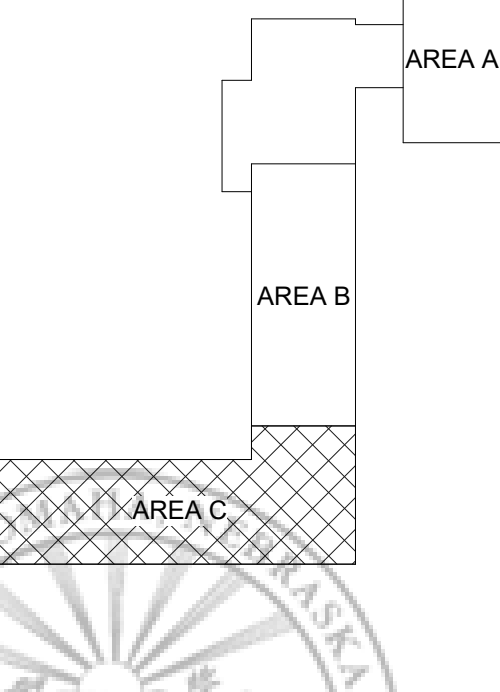
**FLOOR PLAN - HVAC - AREA B**

**M1.2**

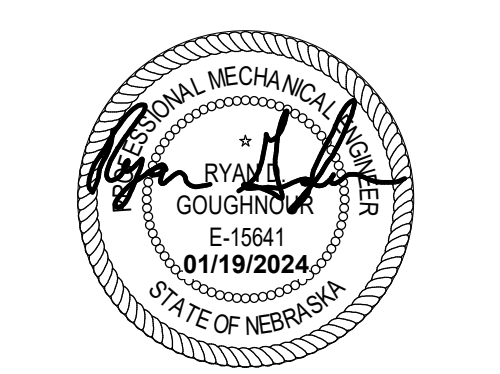
- KEYNOTES**
- M101 DO NOT ROUTE DUCTWORK OVER ELECTRICAL PANELS. MAINTAIN ALL CODE REQUIRED CLEARANCES.
  - M104 PROVIDE DDC TEMPERATURE SENSOR FOR ROOM MONITORING AND ALARMING. SEE SEQUENCE OF OPERATIONS SPECIFICATIONS FOR ADDITIONAL DETAILS.
  - M105 FLUE UP THROUGH ROOF TO VENT CAP FROM RADIANT TUBE HEATERS/UNT HEATERS. SIZE AND TERMINATE PER MANUFACTURER'S RECOMMENDATIONS. SEAL PENETRATION WATER TIGHT. COORDINATE EXACT LOCATION OF ROOF PENETRATIONS WITH STRUCTURE AND GENERAL CONTRACTOR. MAINTAIN REQUIRED CLEARANCES BETWEEN AIR INTAKE AND EXHAUST.
  - M106 COMBUSTION AIR UP THROUGH ROOF TO VENT CAP FROM RADIANT TUBE HEATERS. SIZE AND TERMINATE PER MANUFACTURER'S RECOMMENDATIONS. SEAL PENETRATION WATER TIGHT. COORDINATE EXACT LOCATION OF ROOF PENETRATIONS WITH STRUCTURE AND GENERAL CONTRACTOR. MAINTAIN REQUIRED CLEARANCES BETWEEN COMBUSTION AIR INTAKE AND EXHAUST.
  - M108 LOCAL CONTROL PANEL FOR GAS DETECTION SYSTEM CONTROLS WITH CARBON MONOXIDE AND NITROGEN DIOXIDE DETECTORS AS SHOWN ON PLANS. CONTROL PANEL SHALL HAVE CAPABILITY FOR MANUAL OVERRIDE OF FANS. ALL LOW VOLTAGE CONTROL WIRING FOR GAS DETECTION SYSTEM SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR. COORDINATE INSTALLATION OF THE CONTROL WIRING WITH THE ELECTRICAL CONTRACTOR. COORDINATE WITH ELECTRICAL CONTRACTOR AND TEMPERATURE CONTROLS CONTRACTOR TO PROVIDE A HAND/OFF/AUTO SWITCH TO CONTROL SUPPLY AND EXHAUST FANS.
  - M111 CO SENSOR AND NO2 SENSOR AT 48" AFF FOR EMERGENCY VENTILATION CONTROL SYSTEM. PREFERRED LOCATION AND SPACING SHOWN FOR REFERENCE. PROVIDE ADDITIONAL SENSORS AS REQUIRED BY THE MANUFACTURER'S RECOMMENDED MAXIMUM SPACING. SEE SPECIFICATIONS SECTION 23090 FOR ADDITIONAL DETAILS ON EMERGENCY VENTILATION SYSTEM.
  - M112 SALVAGE GAS UNIT HEATER FOR RELOCATION. DISCONNECT EXHAUST FLUE. SEE NEW PLANS FOR CONNECTION TO NEW FLUE PIPING.
  - M116 SLUB DUCT 12" BELOW ROOF DECK AND PROVIDE 10" SCREEN AT OPENING.
  - M118 ELECTRIC UNIT HEATER. SEE ELECTRICAL PLANS.
  - M123 ROUTE SUPPLY DUCTWORK FROM HOOD INTAKE FAN TO 12" A.F.F.
  - M124 PROVIDE NEW ENERGY STANDARD THERMOSTAT AT LOCATION SHOWN. PROVIDE BACK COVER FOR THERMOSTATS LOCATED ON EXTERIOR WALLS. COORDINATE PLATE COVER WITH ARCHITECT AND OWNER.
  - M125 RELOCATE GAS UNIT HEATER TO LOCATION SHOWN.

**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION

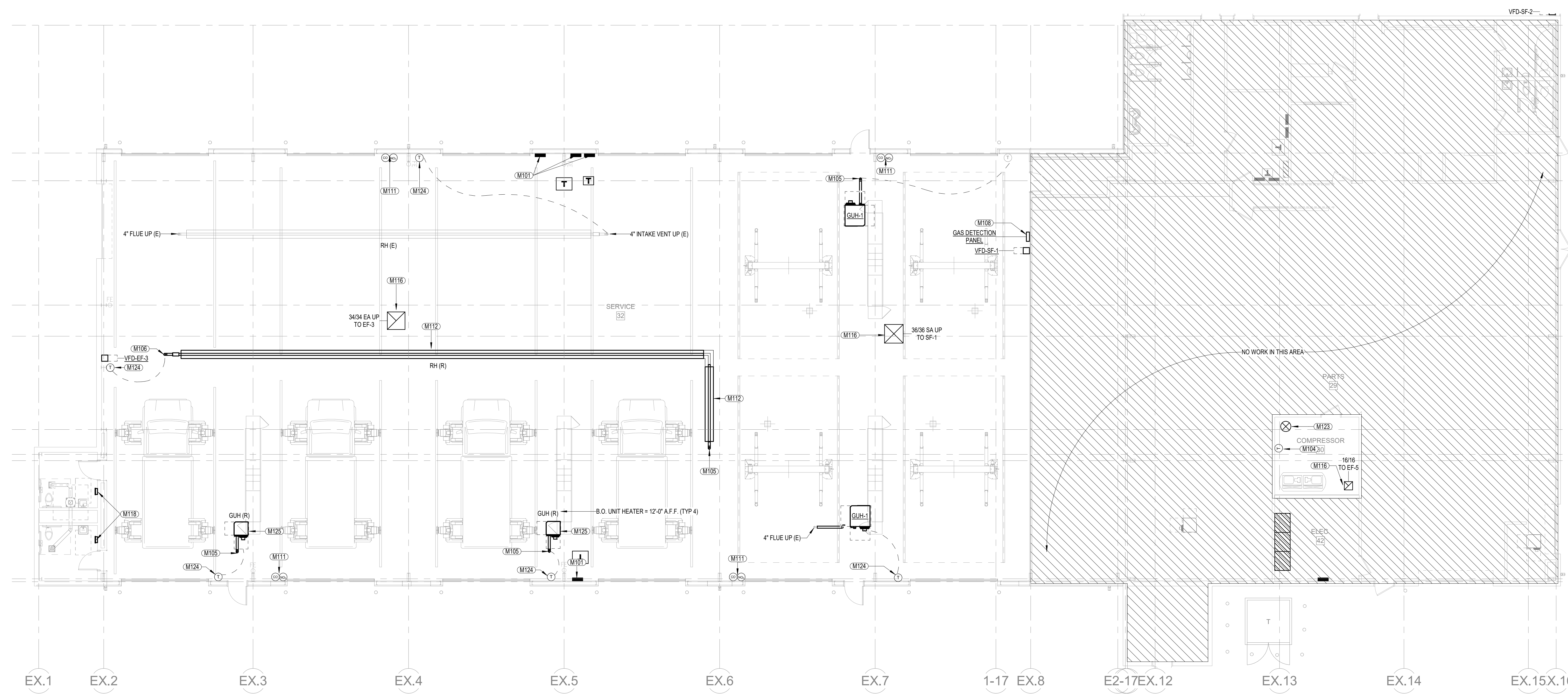


**WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS**  
 PROJECT: 23043 DATE: JANUARY 19, 2024  
 PROJECT STATUS: CONSTRUCTION DOCUMENTS



**FLOOR PLAN - HVAC - AREA C**

**M1.3**



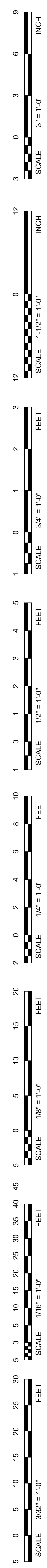
**1 FLOOR PLAN - HVAC - AREA C**  
 1/8" = 1'-0"

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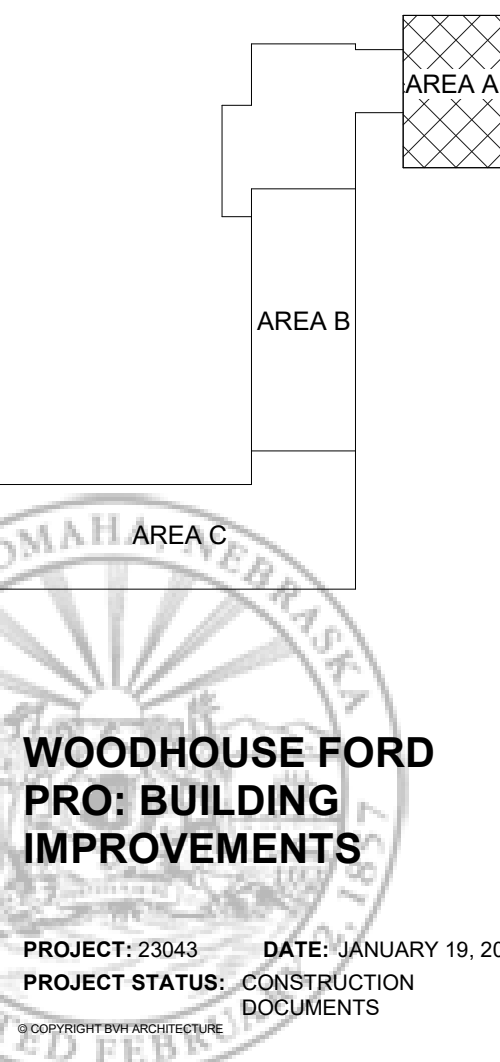


**KEYNOTES**

- M105 FLUE UP THROUGH ROOF TO VENT CAP FROM RADIANT TUBE HEATERS/UNIT HEATERS. SIZE AND TERMINATE PER MANUFACTURER'S RECOMMENDATIONS. SEAL PENETRATION WATER TIGHT. COORDINATE EXACT LOCATION OF ROOF PENETRATIONS WITH STRUCTURE AND GENERAL CONTRACTOR. MAINTAIN REQUIRED CLEARANCES BETWEEN AIR INTAKE AND EXHAUST.
- M106 COMBUSTION AIR UP THROUGH ROOF TO VENT CAP FROM RADIANT TUBE HEATERS. SIZE AND TERMINATE PER MANUFACTURER'S RECOMMENDATIONS. SEAL PENETRATION WATER TIGHT. COORDINATE EXACT LOCATION OF ROOF PENETRATIONS WITH STRUCTURE AND GENERAL CONTRACTOR. MAINTAIN REQUIRED CLEARANCES BETWEEN COMBUSTION AIR INTAKE AND EXHAUST.
- M110 INSTALL ROOF INTAKE HOOD PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE EXACT LOCATION OF ROOF PENETRATION WITH STRUCTURE AND GENERAL CONTRACTOR.
- M131 REMOVE EXISTING ROOFTOP UNIT AND ROOF CURB COMPLETE. COORDINATE REPAIR OF ROOF WITH ARCHITECTURAL PLANS.
- M132 REMOVE GAS PIPING BACK TO MAIN AND CAP.
- M133 EXISTING ROOFTOP UNIT TO REMAIN. PROVIDE COMPLETE SERVICE OF EXISTING UNIT INCLUDING CLEANING, FILTER CHANGE, AND REFRIGERANT CHARGE IF NEEDED. PROVIDE FULL UNIT INSPECTION AND MAINTENANCE SERVICE AND REPORT NEED FOR REPAIRS TO OWNER. BALANCE UNIT TO 2400 CFM SUPPLY AIR AND 450 CFM OUTSIDE AIR.
- M135 INSTALL ROOF EXHAUST FAN PER MANUFACTURER'S RECOMMENDATIONS. MINIMUM 10'-0" CLEARANCE REQUIRED BETWEEN ANY POINT OF BUILDING EXHAUST AND BUILDING AIR INTAKE. COORDINATE EXACT LOCATION OF ROOF PENETRATION WITH STRUCTURE AND GENERAL CONTRACTOR.
- M138 BALANCE EXISTING FAN TO 300 CFM. INSPECT AND REPAIR ANY FAN DEFECTS.
- M12 EXTEND NEW CONDENSATE PIPING FROM EXISTING ROOFTOP UNIT DRAIN AND DISCHARGE NEAR ROOF DRAIN.

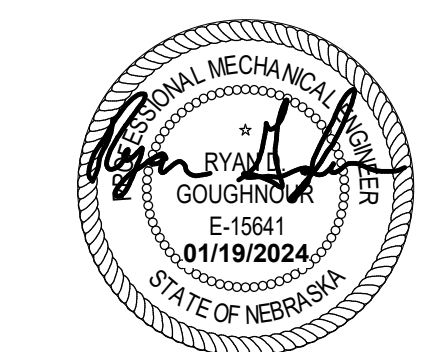
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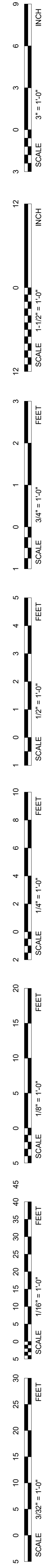
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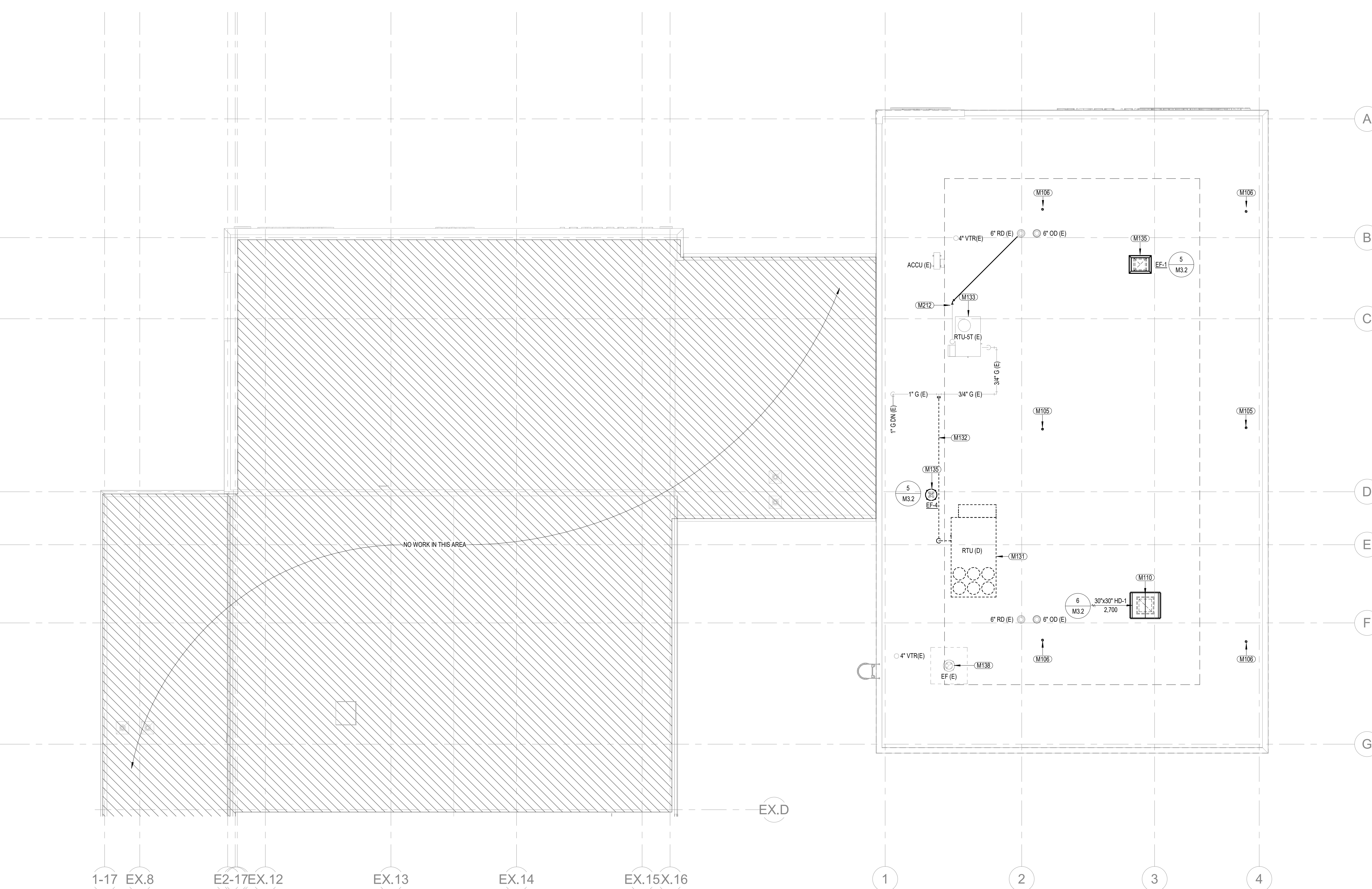
**ROOF PLAN -  
 MECHANICAL - AREA  
 A**

NORTH

**M1.4**



**1 ROOF PLAN - MECHANICAL - AREA A**  
 1/8" = 1'-0"



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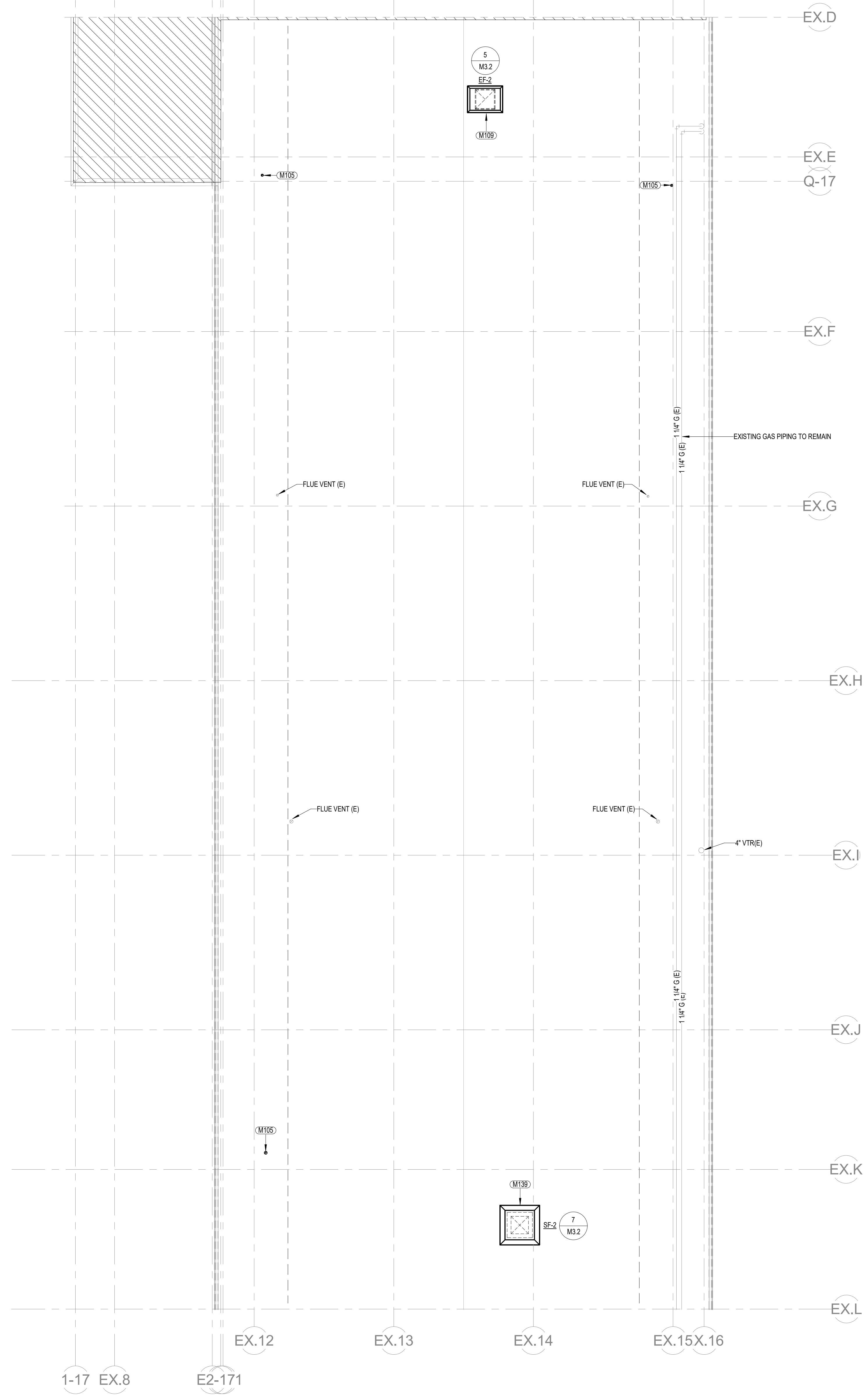
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**KEYNOTES**

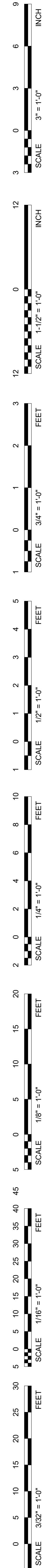
- M105 FLUE UP THROUGH ROOF TO VENT CAP FROM RADIANT TUBE HEATERS/UNIT HEATERS. SIZE AND TERMINATE PER MANUFACTURER'S RECOMMENDATIONS. SEAL PENETRATION WATER TIGHT. COORDINATE EXACT LOCATION OF ROOF PENETRATIONS WITH STRUCTURE AND GENERAL CONTRACTOR. MAINTAIN REQUIRED CLEARANCES BETWEEN AIR INTAKE AND EXHAUST.
- M109 INSTALL ROOF EXHAUST PER MANUFACTURER'S RECOMMENDATIONS. MINIMUM 10'-0" CLEARANCE REQUIRED BETWEEN ANY POINT OF BUILDING EXHAUST AND BUILDING AIR INTAKE. COORDINATE EXACT LOCATION OF ROOF PENETRATION WITH STRUCTURE AND GENERAL CONTRACTOR.
- M139 INSTALL ROOF SUPPLY FAN PER MANUFACTURER'S RECOMMENDATIONS. MINIMUM 10'-0" CLEARANCE REQUIRED BETWEEN ANY POINT OF BUILDING EXHAUST AND BUILDING AIR INTAKE. COORDINATE EXACT LOCATION OF ROOF PENETRATION WITH STRUCTURE AND GENERAL CONTRACTOR.



1-17 EX.8 EX.12 EX.13 EX.14 EX.15X.16

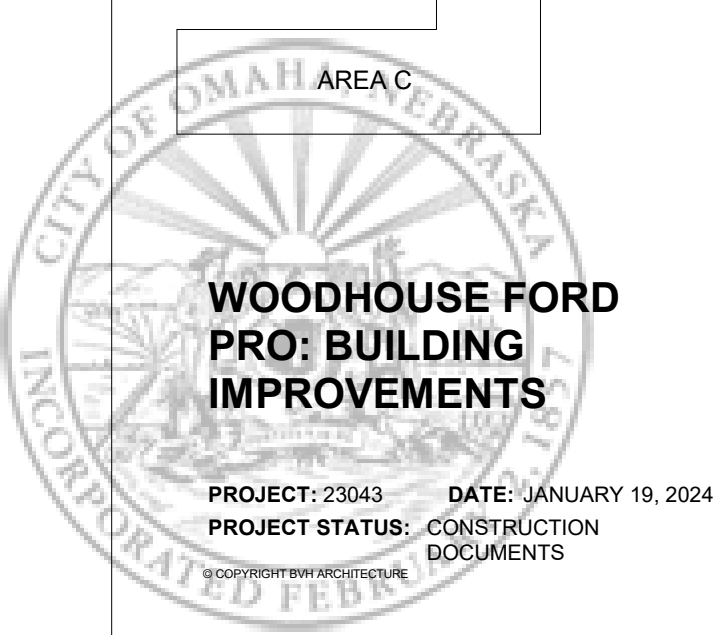
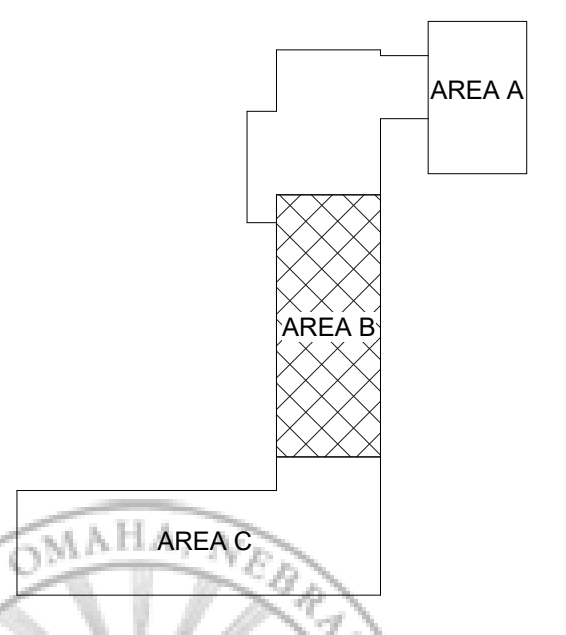
**1 ROOF PLAN - MECHANICAL - AREA B**

1/8" = 1'-0"



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**ROOF PLAN - MECHANICAL - AREA B**



**M1.5**

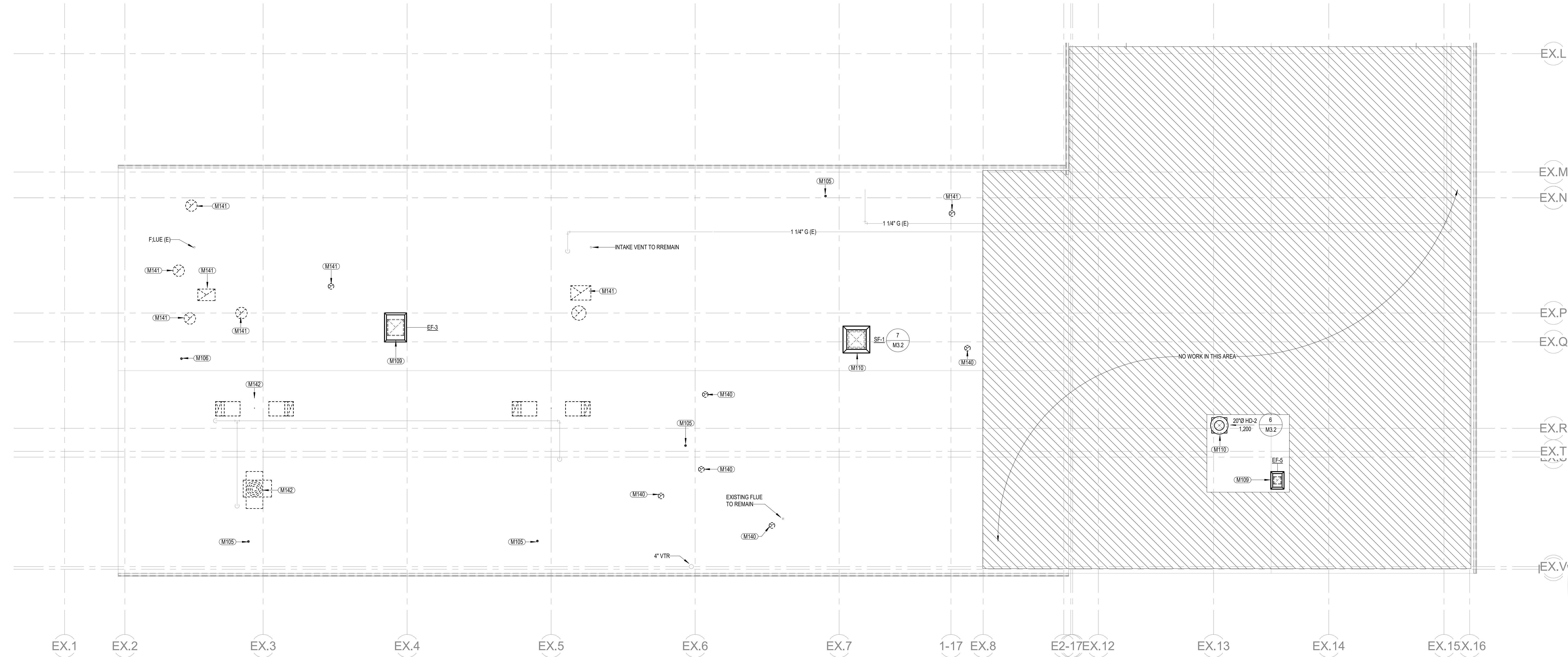
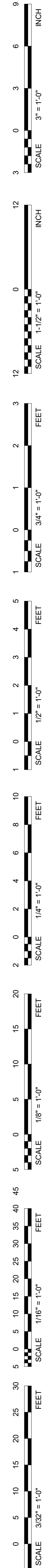
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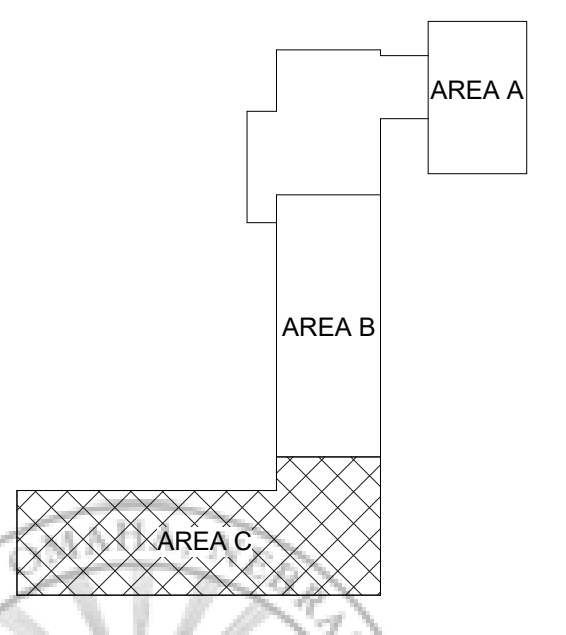
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**KEYNOTES**

- M105 FLUE UP THROUGH ROOF TO VENT CAP FROM RADIANT TUBE HEATERS/UNIT HEATERS. SIZE AND TERMINATE PER MANUFACTURER'S RECOMMENDATIONS. SEAL PENETRATION WATER TIGHT. COORDINATE EXACT LOCATION OF ROOF PENETRATIONS WITH STRUCTURE AND GENERAL CONTRACTOR. MAINTAIN REQUIRED CLEARANCES BETWEEN AIR INTAKE AND EXHAUST.
- M106 COMBUSTION AIR UP THROUGH ROOF TO VENT CAP FROM RADIANT TUBE HEATERS. SIZE AND TERMINATE PER MANUFACTURER'S RECOMMENDATIONS. SEAL PENETRATION WATER TIGHT. COORDINATE EXACT LOCATION OF ROOF PENETRATIONS WITH STRUCTURE AND GENERAL CONTRACTOR. MAINTAIN REQUIRED CLEARANCES BETWEEN COMBUSTION AIR INTAKE AND EXHAUST.
- M109 INSTALL ROOF EXHAUST PER MANUFACTURER'S RECOMMENDATIONS. MINIMUM 1'0" CLEARANCE REQUIRED BETWEEN ANY POINT OF BUILDING EXHAUST AND BUILDING AIR INTAKE. COORDINATE EXACT LOCATION OF ROOF PENETRATION WITH STRUCTURE AND GENERAL CONTRACTOR.
- M110 INSTALL ROOF INTAKE HOOD PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE EXACT LOCATION OF ROOF PENETRATION WITH STRUCTURE AND GENERAL CONTRACTOR.
- M140 DEMO EXHAUST FLUE AND REPAIR ROOF OPENING. COORDINATE ROOF REPAIR WITH ARCHITECTURAL.
- M141 REMOVE SPRAY BOOTH EXHAUST AND INTAKE DUCTWORK ON ROOF COMPLETE. COORDINATE ROOF REPAIRS WITH ARCHITECT.
- M142 REMOVE ROOF TOP EQUIPMENT AND DUCTWORK SHOWN DASHED. COORDINATE ROOF OPENING REPAIR WITH ARCHITECT.



REVISIONS SCHEDULE		
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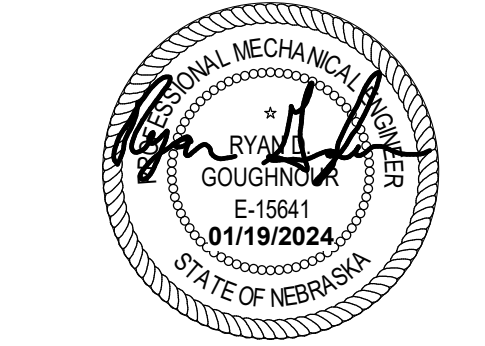
**1 ROOF PLAN - MECHANICAL - AREA C**  
 1/8" = 1'-0"

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**ROOF PLAN - MECHANICAL - AREA C**

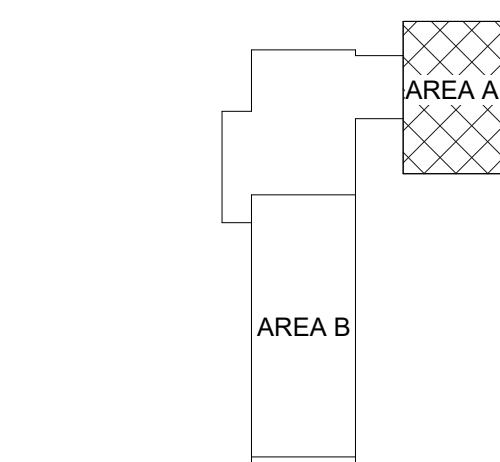


**KEYNOTES**

- M202 CONNECT NEW PIPING TO EXISTING PIPING AT LOCATION INDICATED. FIELD VERIFY EXACT SIZE, LOCATION AND ELEVATION OF EXISTING PIPING PRIOR TO CONNECTION. TRANSITION, EXTEND AND OFFSET NEW PIPING AS REQUIRED TO MAKE CONNECTION AND AVOID CONFLICTS.
- M216 PROVIDE NEW FLOOR MOUNTED WATER CLOSET AT LOCATION OF REMOVED WATER CLOSET. PROVIDE NEW WATER SUPPLY STOP. CONNECT TO EXISTING CW AND W PIPING FROM REMOVED WATER CLOSET.
- M217 PROVIDE NEW LAVATORY AT LOCATION OF REMOVED LAVATORY. PROVIDE NEW P-TRAP AND WATER SUPPLY STOP. CONNECT TO EXISTING CW, HW, AND W PIPING FROM REMOVED LAVATORY.
- M218 PROVIDE NEW WALL HUNG URINAL AT LOCATION OF REMOVED URINAL. PROVIDE NEW WATER SUPPLY STOP. CONNECT TO EXISTING CW AND W PIPING FROM REMOVED URINAL.
- M219 CONNECT NEW SANITARY AND VENT PIPING FOR ELECTRIC WATER COOLER TO EXISTING PIPING IN CHASE. IF PIPING IS NOT ACCESSIBLE IN CHASE, ROUTE TO NEW SANITARY AND VENT PIPING.

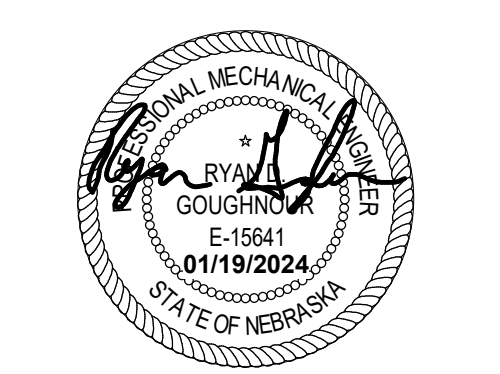
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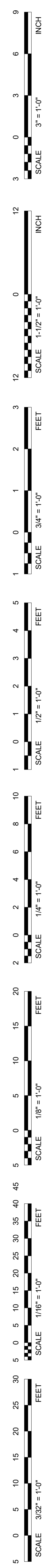


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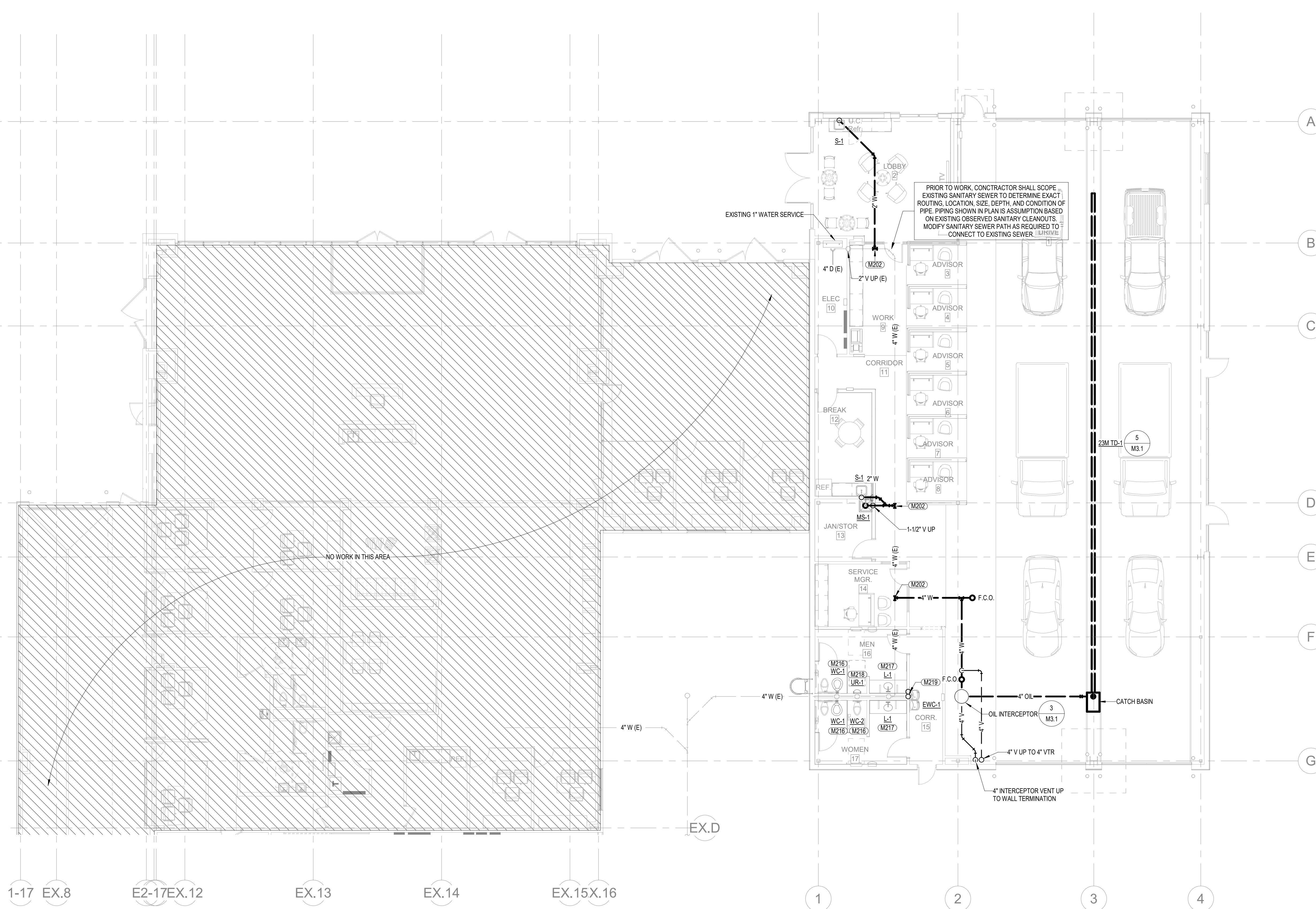
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**UNDERGROUND PLAN - PLUMBING - AREA A**



**1 FIRST FLOOR - UNDERGROUND PLUMBING - AREA A**  
 1/8" = 1'-0"



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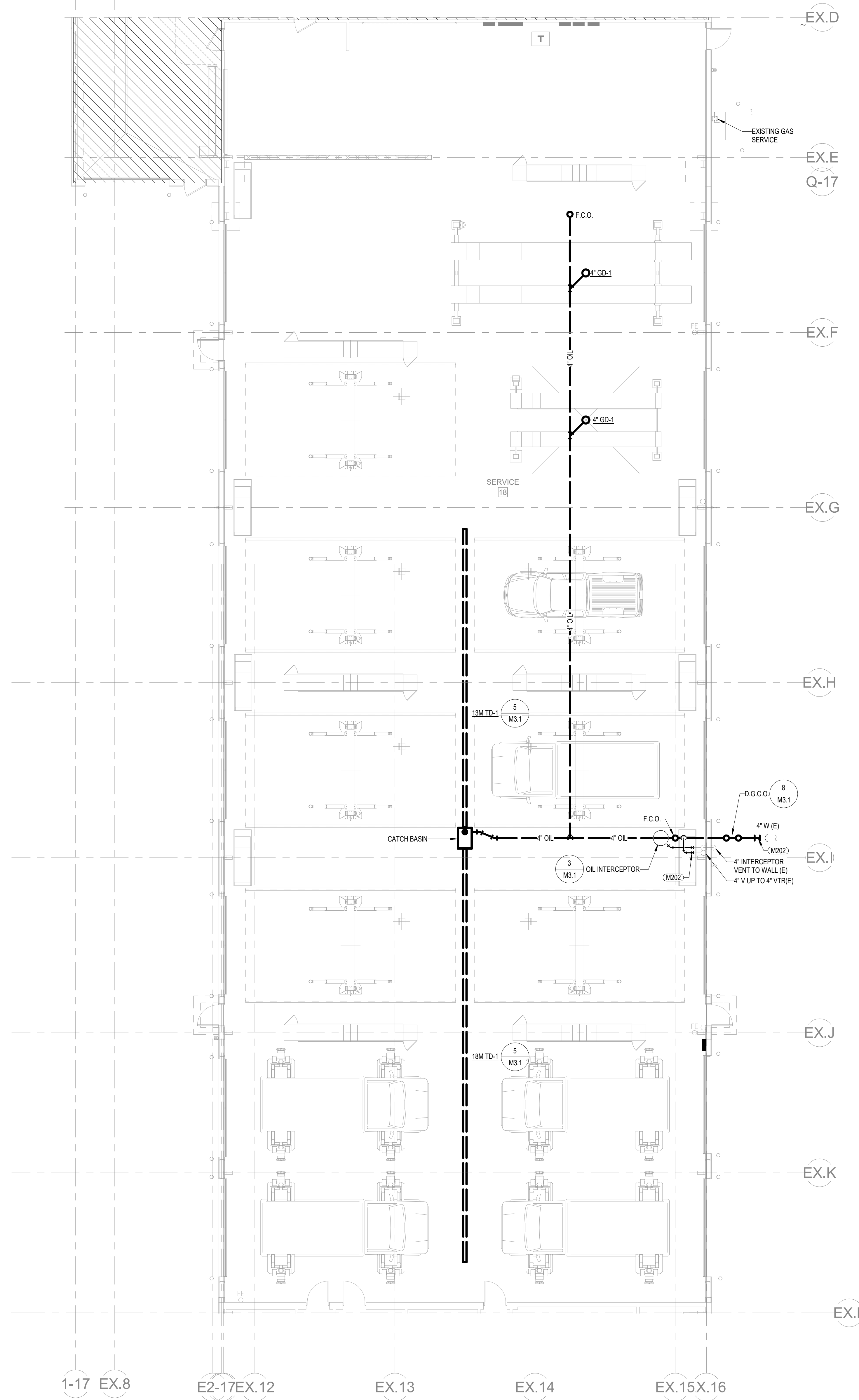
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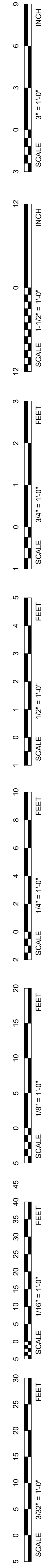
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**KEYNOTES**  
 M202 CONNECT NEW PIPING TO EXISTING PIPING AT LOCATION INDICATED. FIELD VERIFY EXACT SIZE, LOCATION AND ELEVATION OF EXISTING PIPING PRIOR TO CONNECTION. TRANSITION, EXTEND AND OFFSET NEW PIPING AS REQUIRED TO MAKE CONNECTION AND AVOID CONFLICTS.



1-17 EX.8 EX.13 EX.14 EX.15X.16  
 E2-17EX.12

**1 FIRST FLOOR - UNDERGROUND PLUMBING - AREA B**  
 1/8" = 1'-0"

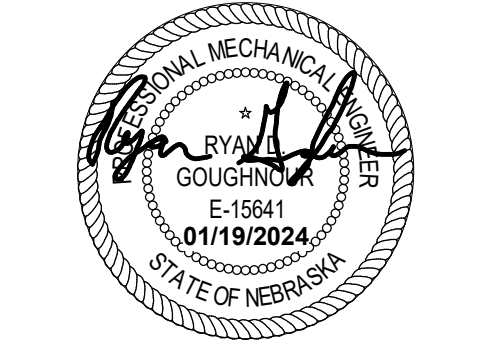


**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION

AREA A  
 AREA B  
 AREA C

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**UNDERGROUND PLAN - PLUMBING - AREA B**

**M2.2**

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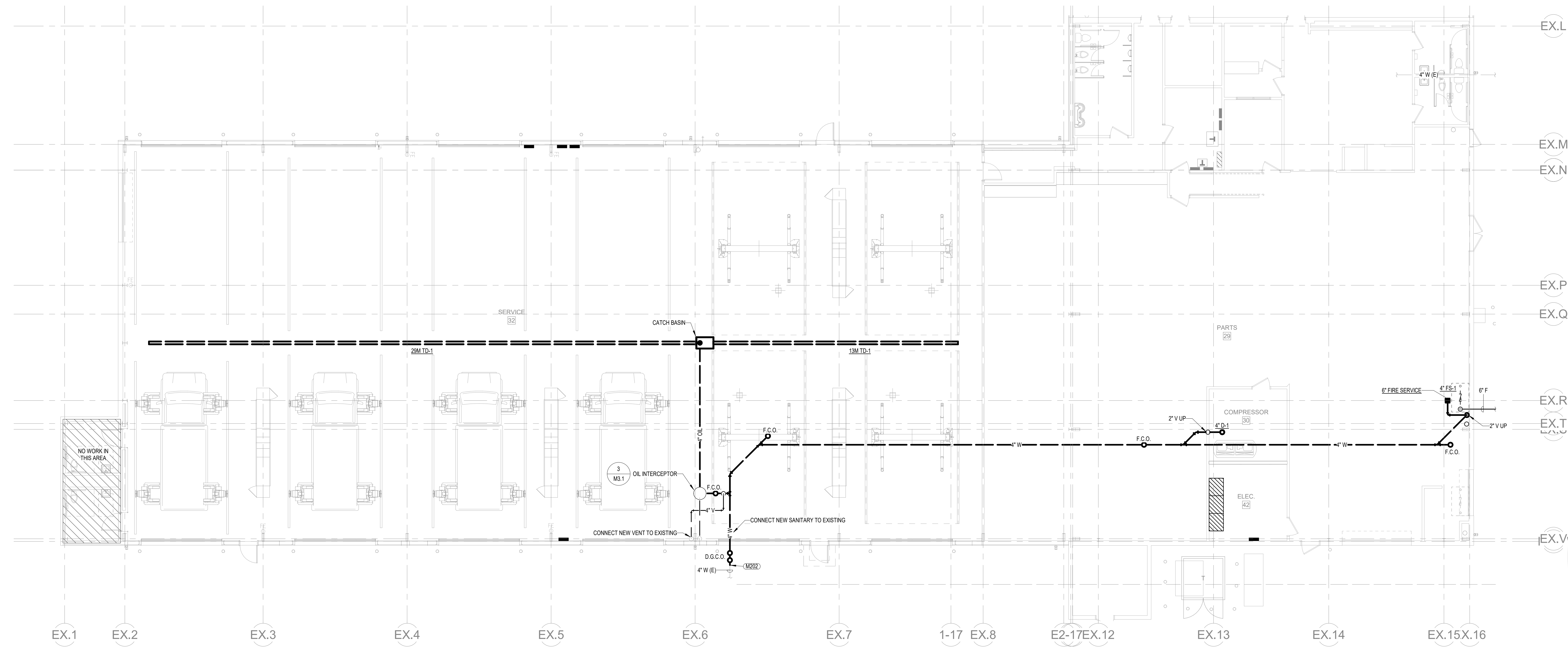
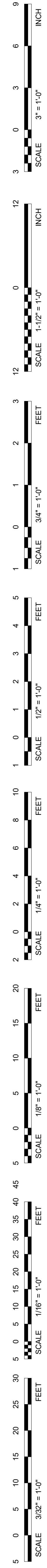
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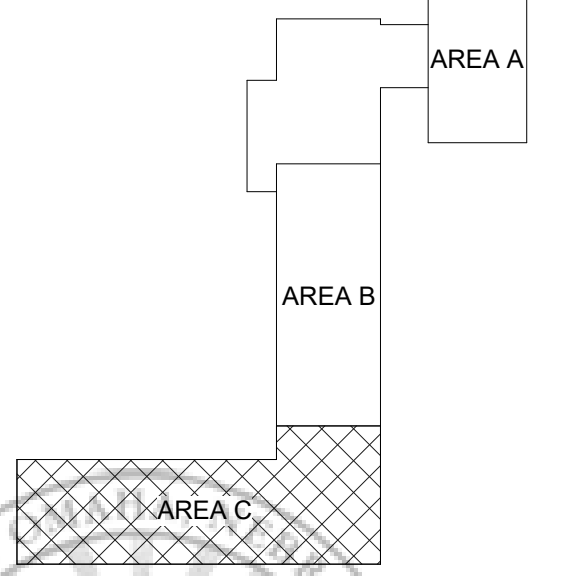
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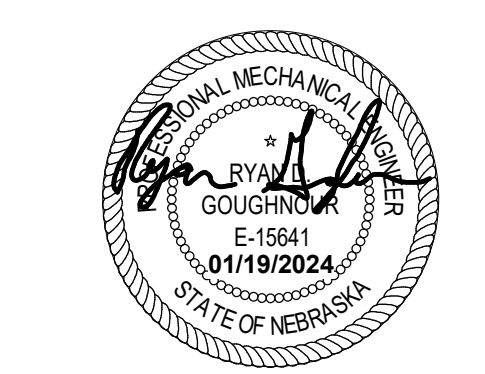


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**1 FIRST FLOOR - UNDERGROUND PLUMBING - AREA C**  
 1/8" = 1'-0"

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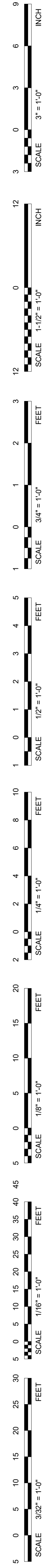


**UNDERGROUND PLAN - PLUMBING - AREA C**



**KEYNOTES**

- M201 DO NOT ROUTE PIPING OVER ELECTRICAL PANELS. MAINTAIN ALL CODE REQUIRED CLEARANCES
- M202 CONNECT NEW PIPING TO EXISTING PIPING AT LOCATION INDICATED. FIELD VERIFY EXACT SIZE, LOCATION AND ELEVATION OF EXISTING PIPING PRIOR TO CONNECTION. TRANSITION, EXTEND AND OFFSET NEW PIPING AS REQUIRED TO MAKE CONNECTION AND AVOID CONFLICTS.
- M207 PROVIDE HOSE BIBB AT 24" A.F.F. PROVIDE ISOLATION VALVE AT 60" A.F.F.
- M211 TERMINATE VENT AT WALL 48" ABOVE GRADE AS SHOWN ON OIL INTERCEPTOR DETAIL.
- M213 CONCEAL 1/2" CW DOWN IN WALL TO ICE MACHINE BOX. MB-1 BEHIND REFRIGERATOR. ROUTE 3/8" CW FROM ICE MACHINE BOX TO REFRIGERATOR CONNECTION. COORDINATE EXACT LOCATION WITH ARCHITECT AND OWNER REPRESENTATIVE PRIOR TO INSTALLATION.
- M216 PROVIDE NEW FLOOR MOUNTED WATER CLOSET AT LOCATION OF REMOVED WATER CLOSET. PROVIDE NEW WATER SUPPLY STOP. CONNECT TO EXISTING CW AND W PIPING FROM REMOVED WATER CLOSET.
- M217 PROVIDE NEW LAVATORY AT LOCATION OF REMOVED LAVATOR. PROVIDE NEW P-TRAP AND WATER SUPPLY STOPS. CONNECT TO EXISTING CW, HW, AND W PIPING FROM REMOVED LAVATORY.
- M218 PROVIDE NEW WALL HUNG URINAL AT LOCATION OF REMOVED URINAL. PROVIDE NEW WATER SUPPLY STOP. CONNECT TO EXISTING CW AND W PIPING FROM REMOVED URINAL.

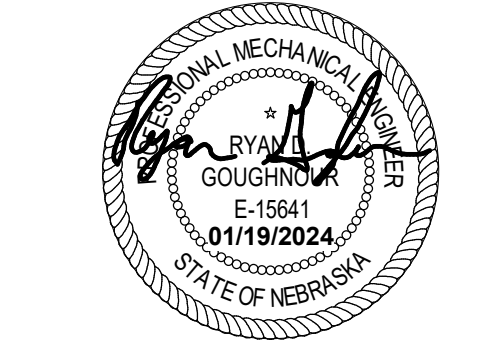


**1 FLOOR PLAN - PLUMBING - AREA A**  
 1/8" = 1'-0"

**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION

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**FLOOR PLAN - PLUMBING - AREA A**

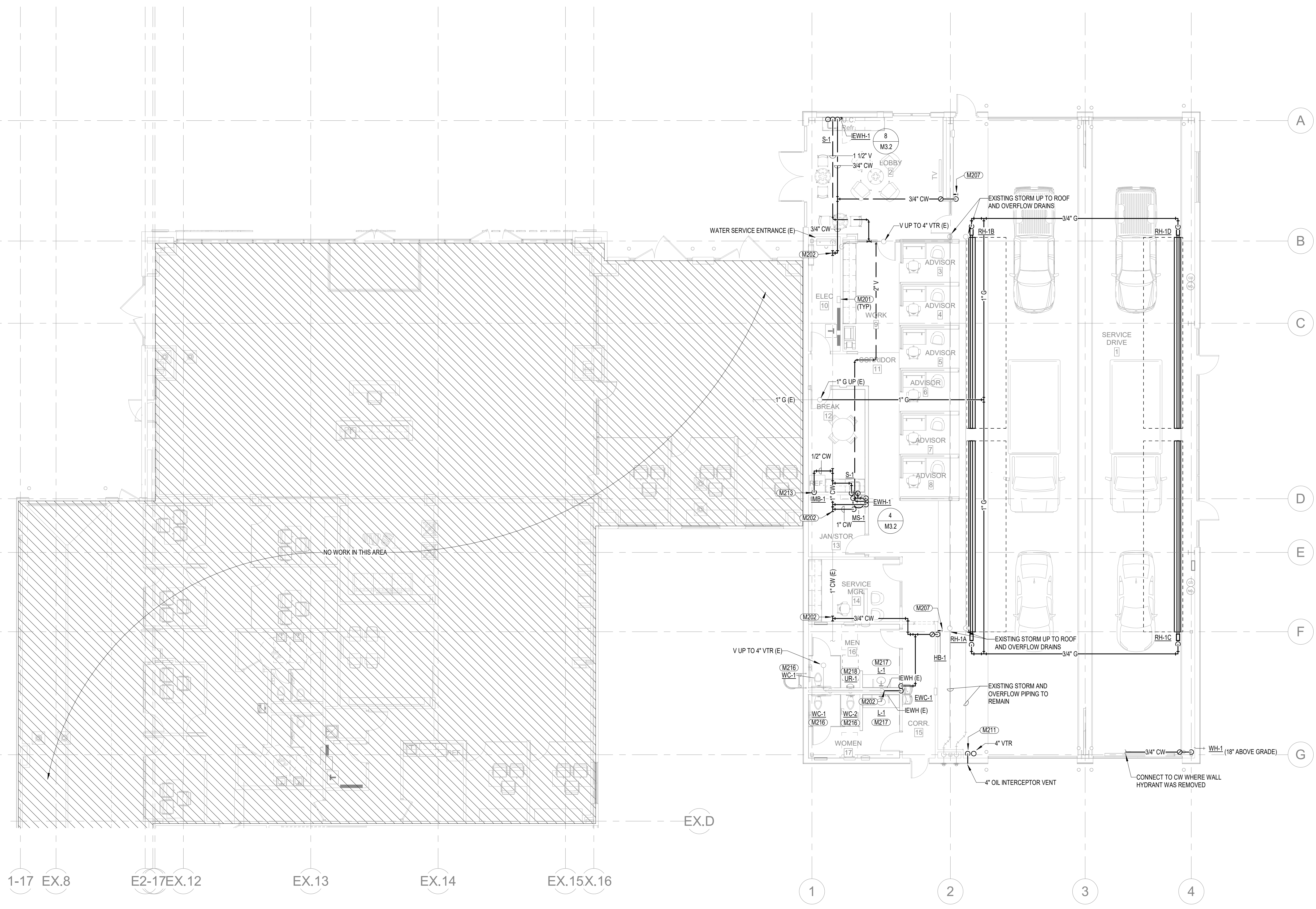


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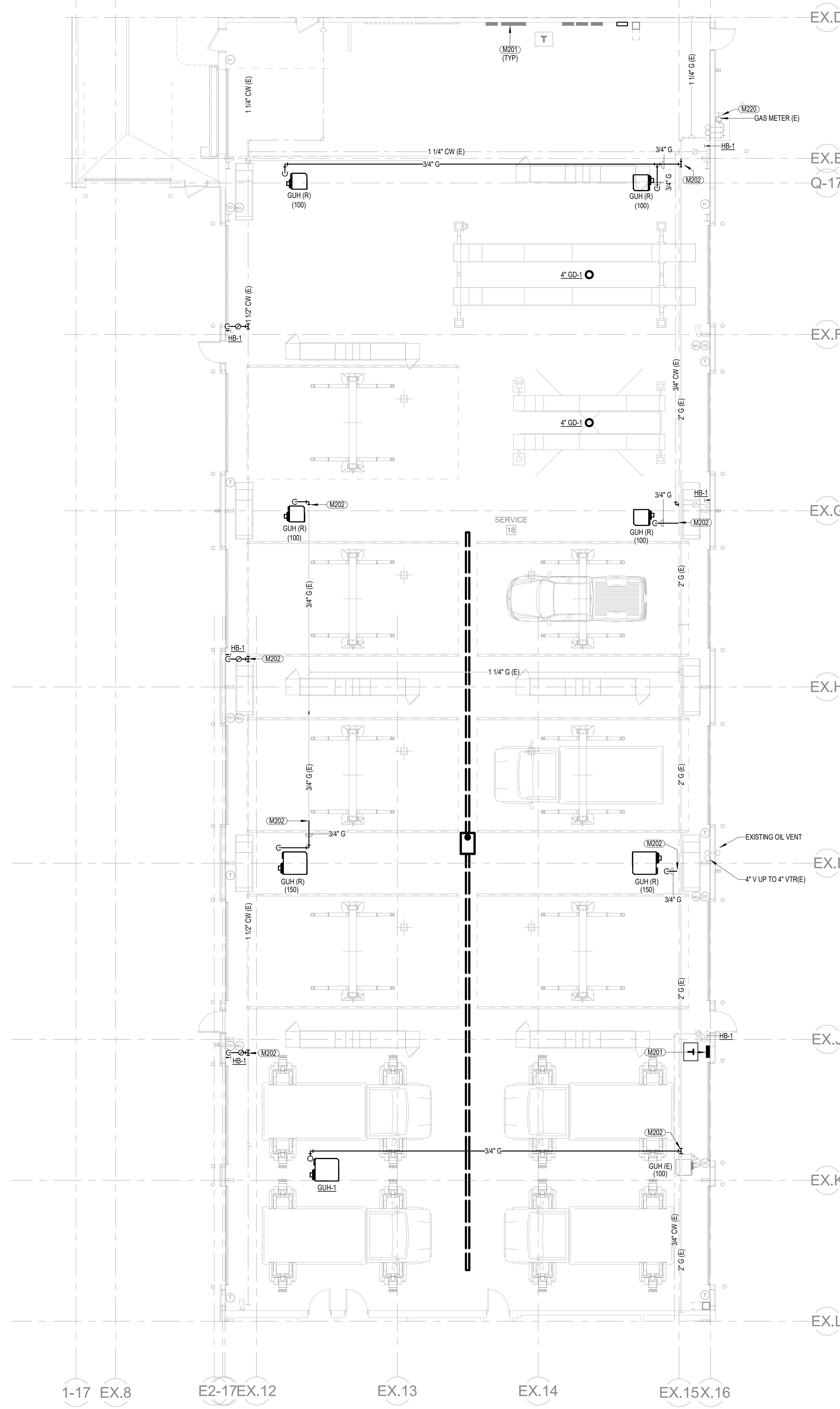
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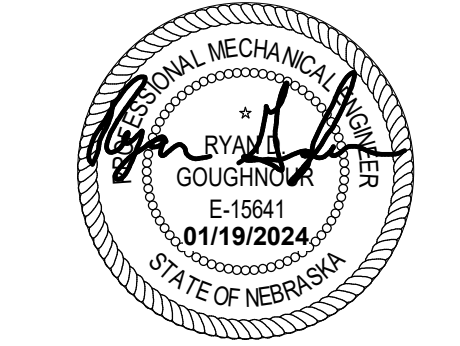
- KEYNOTES**
- M201 DO NOT ROUTE PIPING OVER ELECTRICAL PANELS. MAINTAIN ALL CODE REQUIRED CLEARANCES.
  - M202 CONNECT NEW PIPING TO EXISTING PIPING AT LOCATION INDICATED. FIELD VERIFY EXACT SIZE, LOCATION AND ELEVATION OF EXISTING PIPING PRIOR TO CONNECTION. TRANSITION, EXTEND AND OFFSET NEW PIPING AS REQUIRED TO MAKE CONNECTION AND AVOID CONFLICTS.
  - M220 COORDINATE NEW GAS LOAD WITH UTILITY PROVIDER (MJD). SEE GAS USAGE SCHEDULE ON SHEET M4.1. PROVIDE 2 PSI DOWNSTREAM OF METER.



REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION

AREA A  
 AREA B  
 AREA C

**WOODHOUSE FORD PRO BUILDING IMPROVEMENTS**  
 PROJECT: 23043 DATE: JANUARY 19, 2024  
 PROJECT STATUS: CONSTRUCTION DOCUMENTS



**FLOOR PLAN - PLUMBING - AREA B**

**M2.5**

MEI PROJECT NO. 23416  
  
 mechanical | electrical | lighting | technology | sustainability  
 4940 North 118th Street  
 Omaha, NE 68154  
 P: 402.491.4144  
 Nebraska COA Number: CA-0835  
 www.morrisseyengineering.com

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**1 FLOOR PLAN - PLUMBING - AREA B**  
 1/8" = 1'-0"

9 INCH SCALE 3" = 1'-0"

12 INCH SCALE 1-1/2" = 1'-0"

3 FEET SCALE 3/4" = 1'-0"

5 FEET SCALE 1/2" = 1'-0"

10 FEET SCALE 1/4" = 1'-0"

20 FEET SCALE 1/8" = 1'-0"

30 FEET SCALE 3/32" = 1'-0"

1/19/2024 10:52 AM

**ARCHITECT**  
**BVH ARCHITECTURE**  
 901 JONES STREET  
 OMAHA, NE 68102  
 V 402 345 3090  
 F 402 345 7871  
 bvh.com

**CIVIL ENGINEER**  
**LAMP RYNEARSON**  
 14710 W DODGE RD #100  
 OMAHA, NE 68154  
 V 402 496 2498  
 tra-inc.com

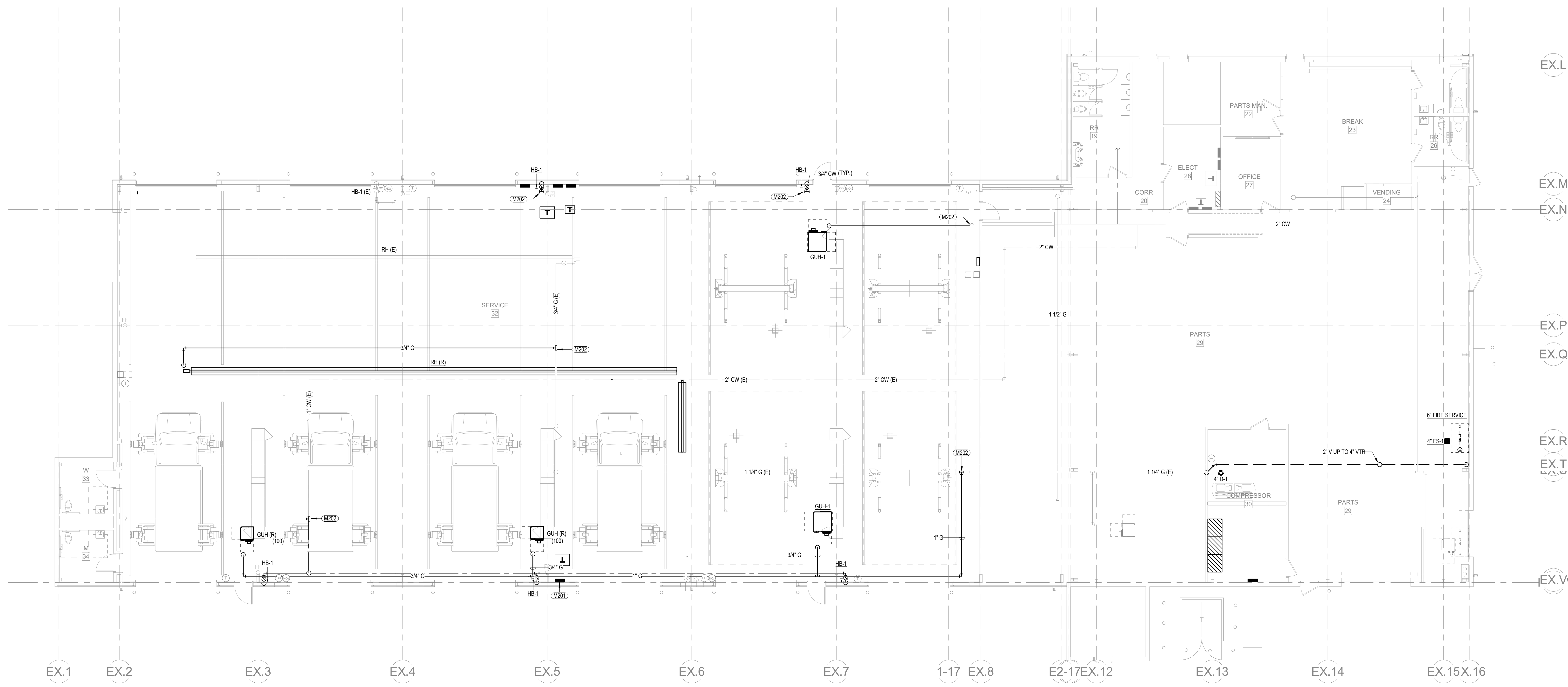
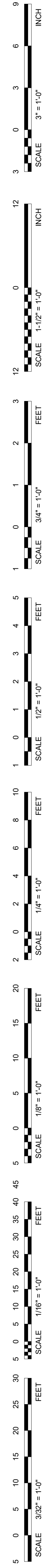
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**LANGE STRUCTURAL GROUP**  
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 LINCOLN, NE 68506  
 V 402 421 9540  
 langestructuralgroup.com

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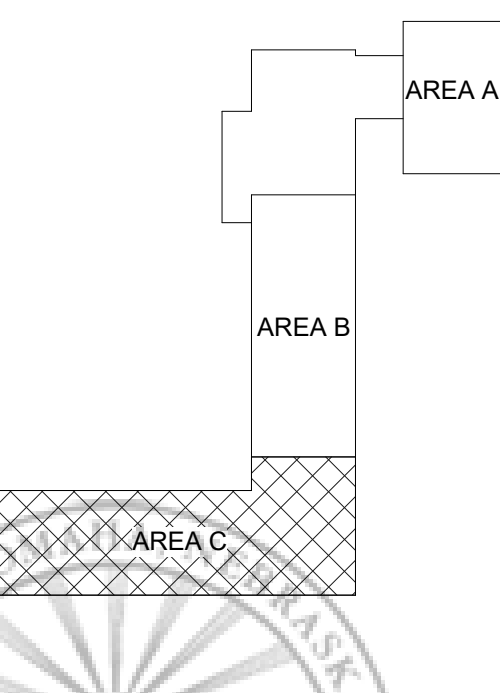
**CONSTRUCTION MANAGER**  
**MCL CONSTRUCTION**  
 14124 INDUSTRIAL RD  
 OMAHA, NE 68144  
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 mclconstruction.com

**KEYNOTES**

- M201 DO NOT ROUTE PIPING OVER ELECTRICAL PANELS. MAINTAIN ALL CODE REQUIRED CLEARANCES.
- M202 CONNECT NEW PIPING TO EXISTING PIPING AT LOCATION INDICATED. FIELD VERIFY EXACT SIZE, LOCATION AND ELEVATION OF EXISTING PIPING PRIOR TO CONNECTION. TRANSITION, EXTEND AND OFFSET NEW PIPING AS REQUIRED TO MAKE CONNECTION AND AVOID CONFLICTS.



REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION



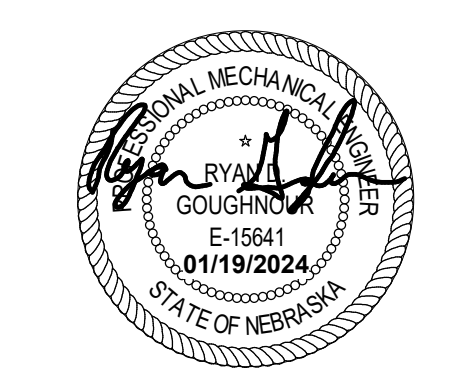
**WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS**  
 PROJECT: 23043 DATE: JANUARY 19, 2024  
 PROJECT STATUS: CONSTRUCTION DOCUMENTS

**1 FLOOR PLAN - PLUMBING - AREA C**  
 1/8" = 1'-0"

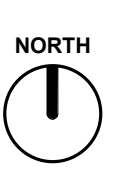
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**MEI morrissey engineering inc**  
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 Omaha, NE 68184  
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**FLOOR PLAN - PLUMBING - AREA C**



**M2.6**

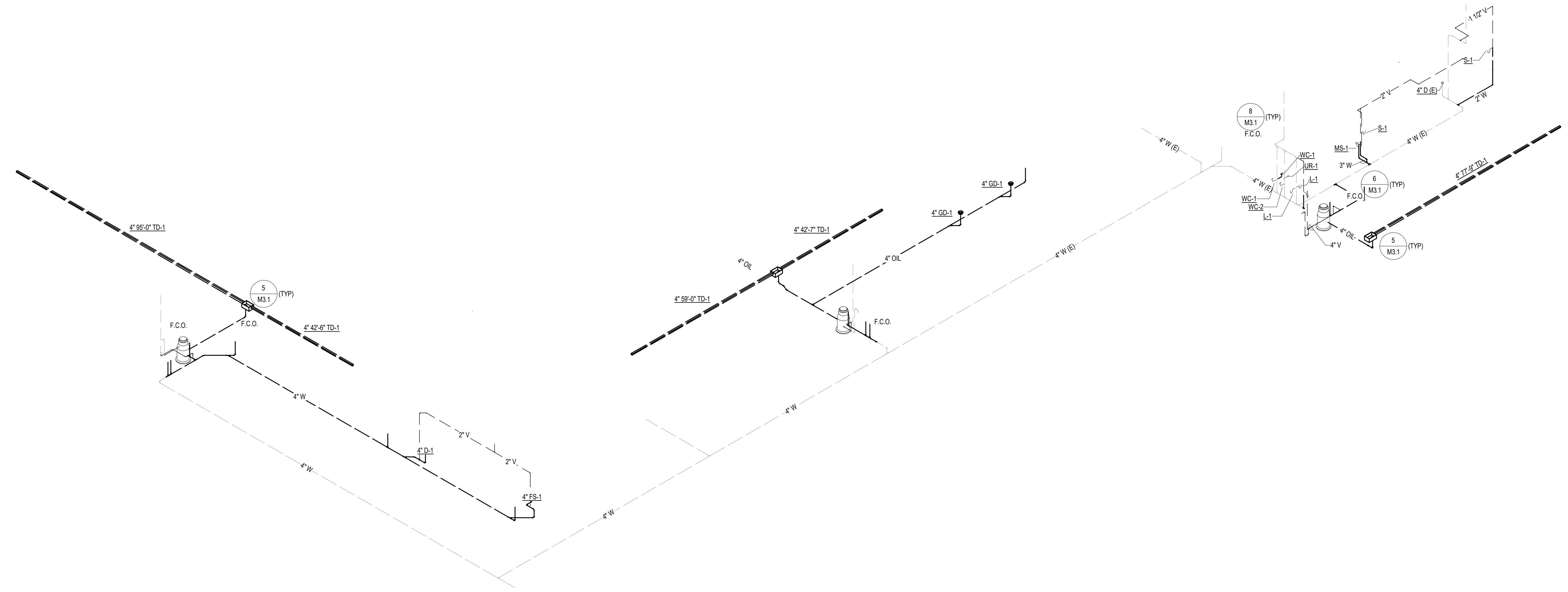
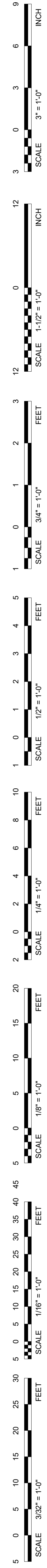
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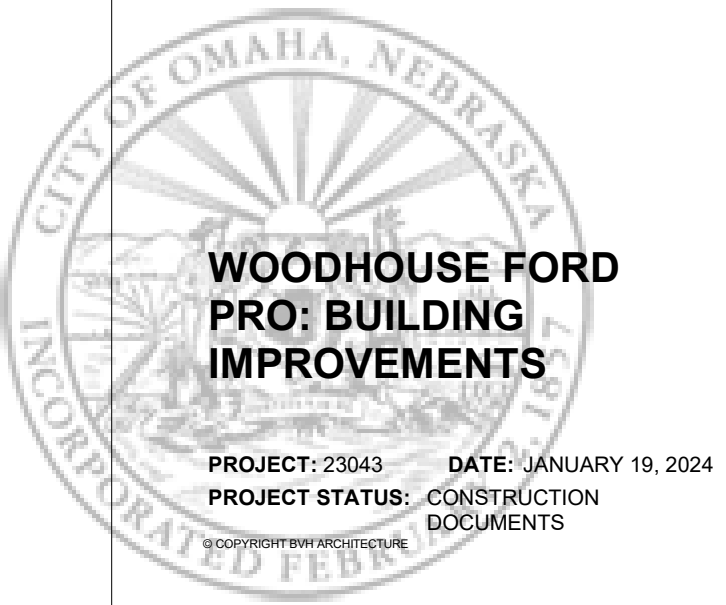
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**1 WASTE & VENT RISER DIAGRAM**

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION



**FLOOR PLAN - PLUMBING - WASTE AND VENT RISER**

**M2.7**

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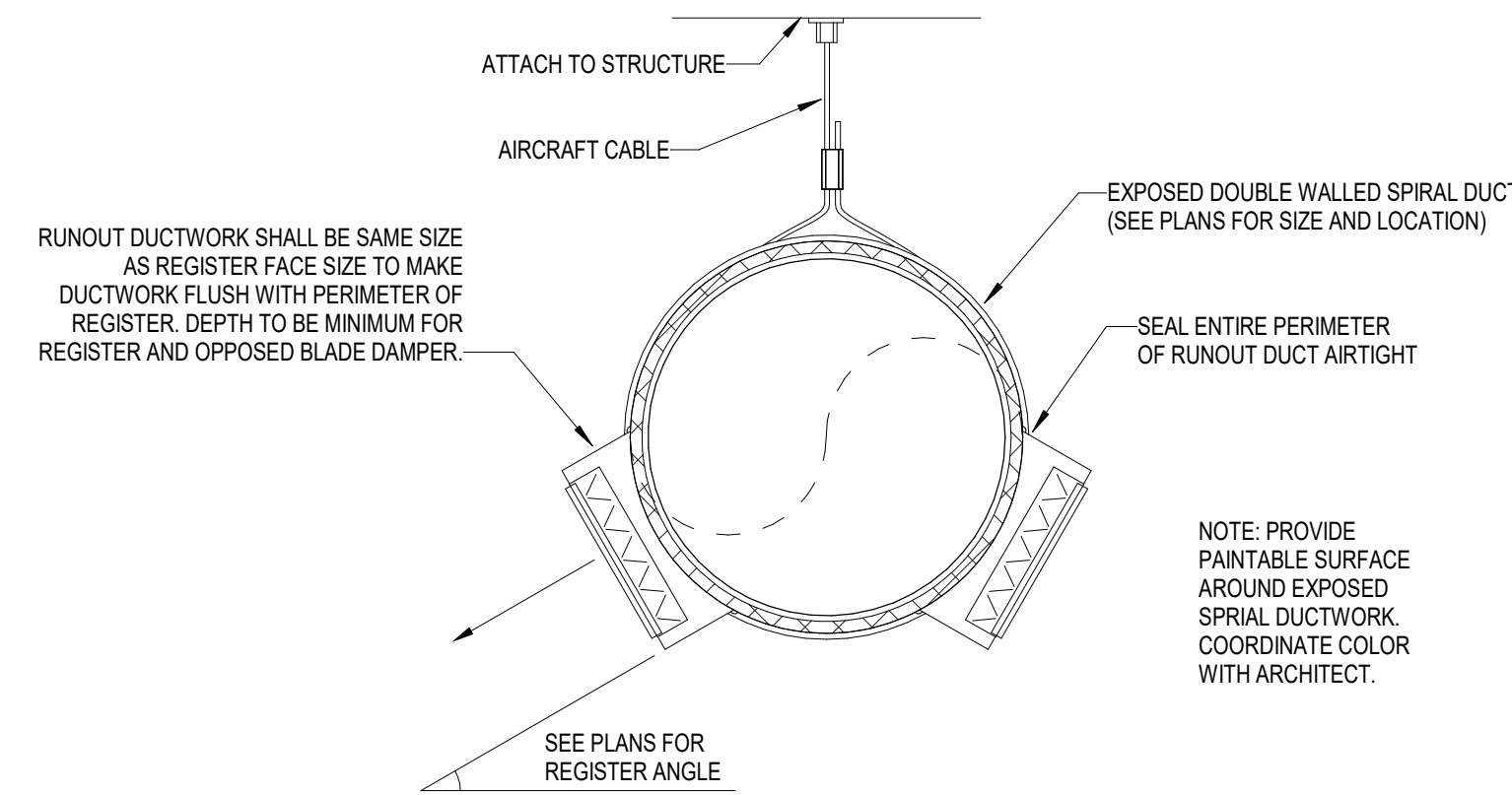
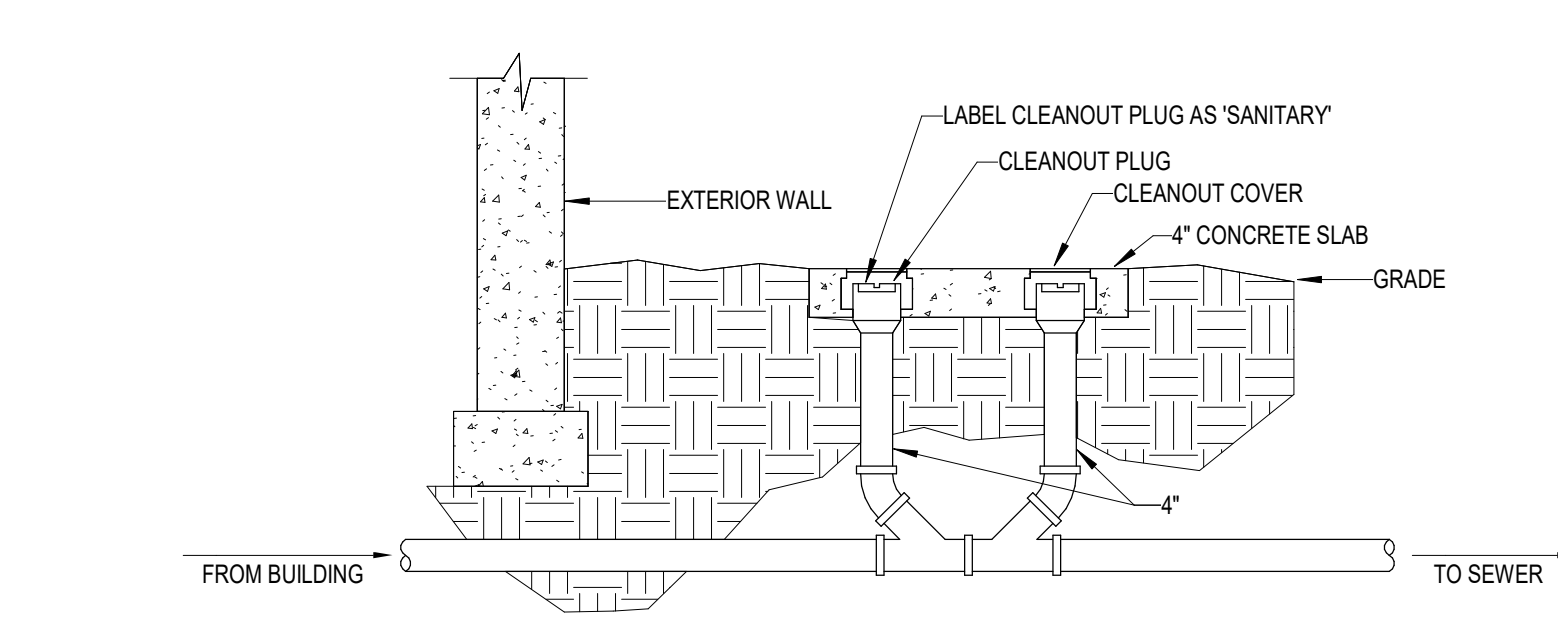
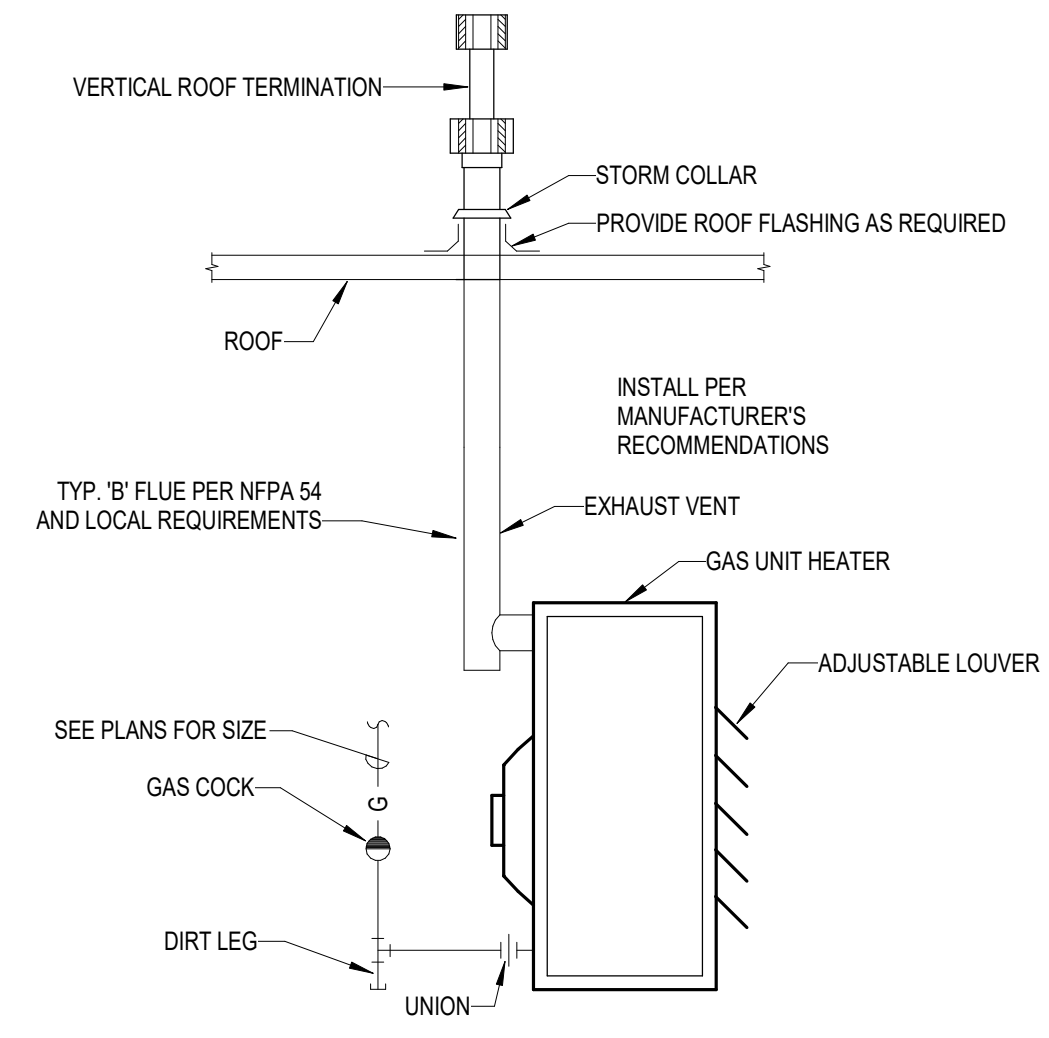
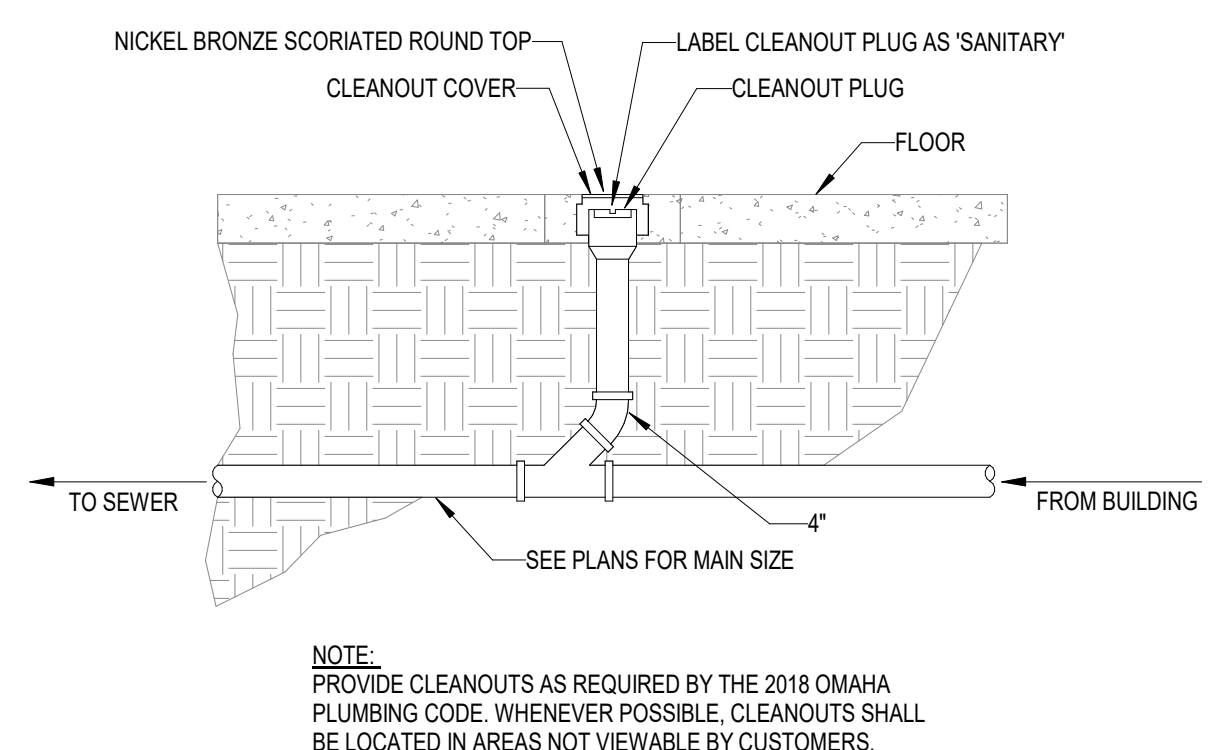
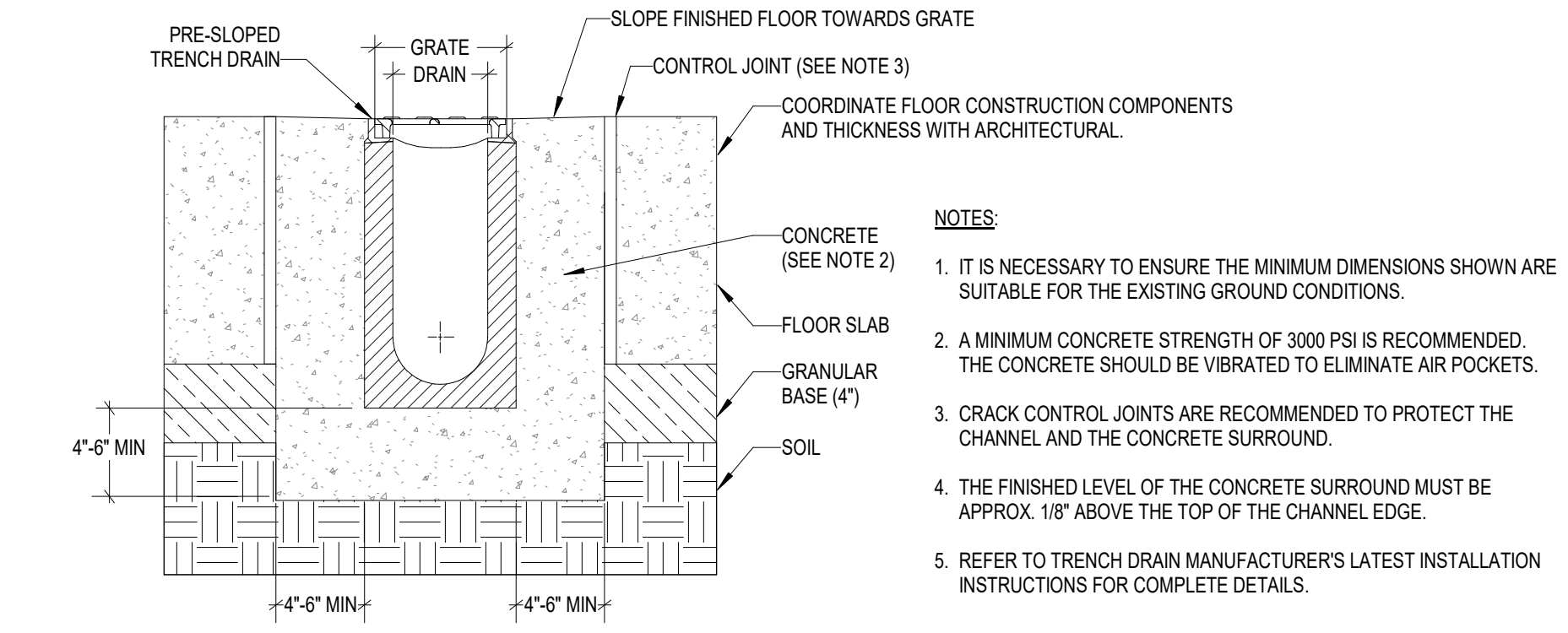
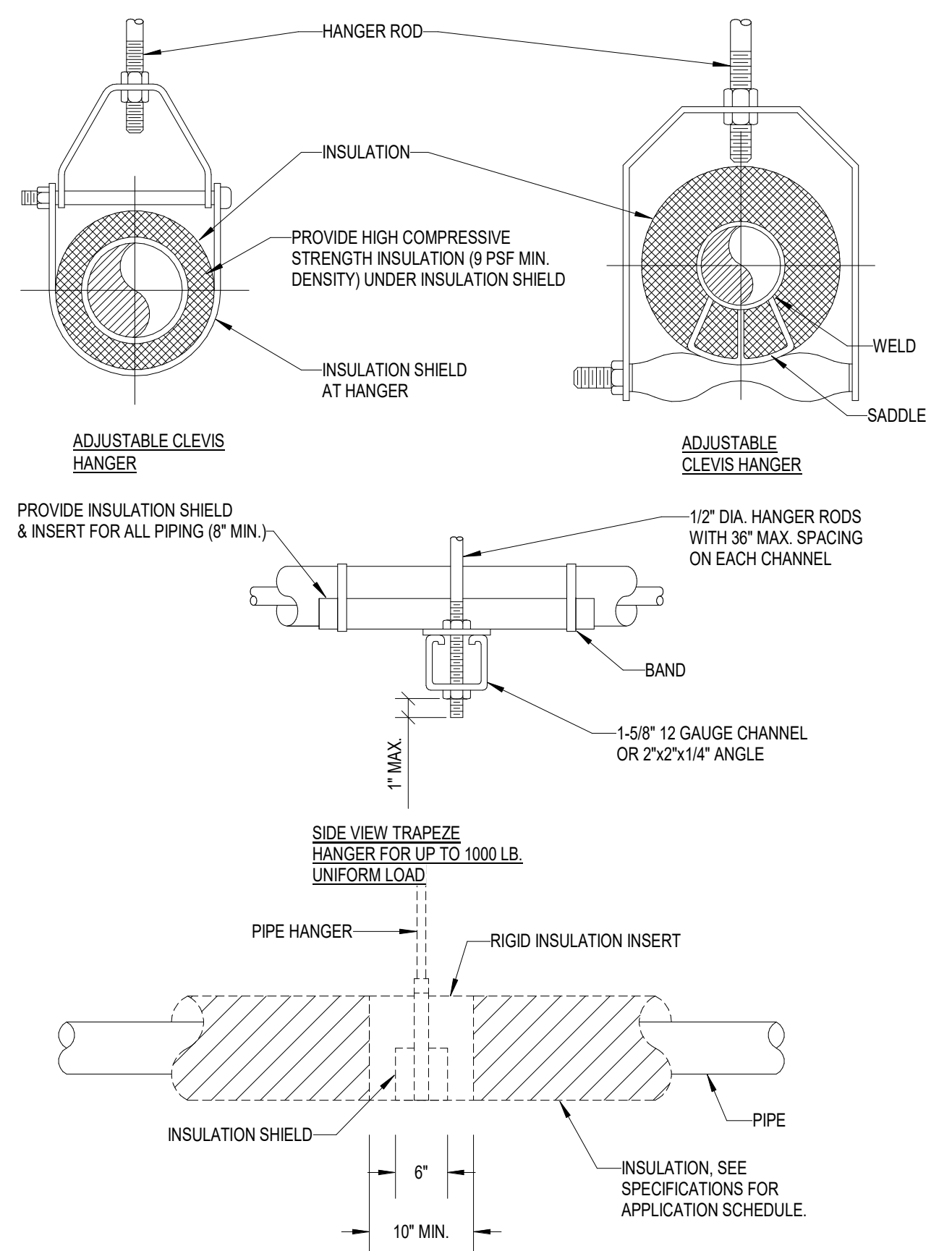
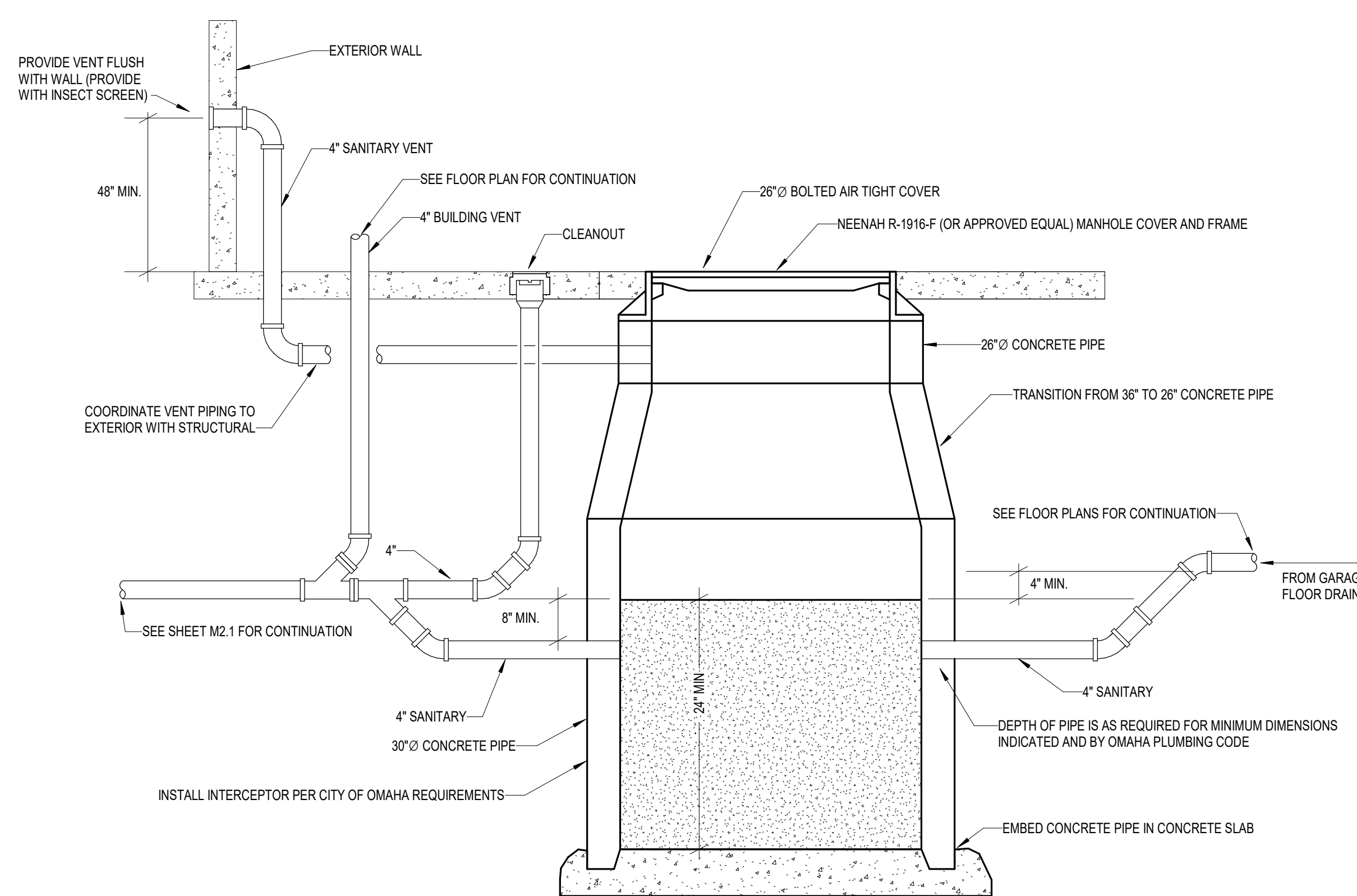
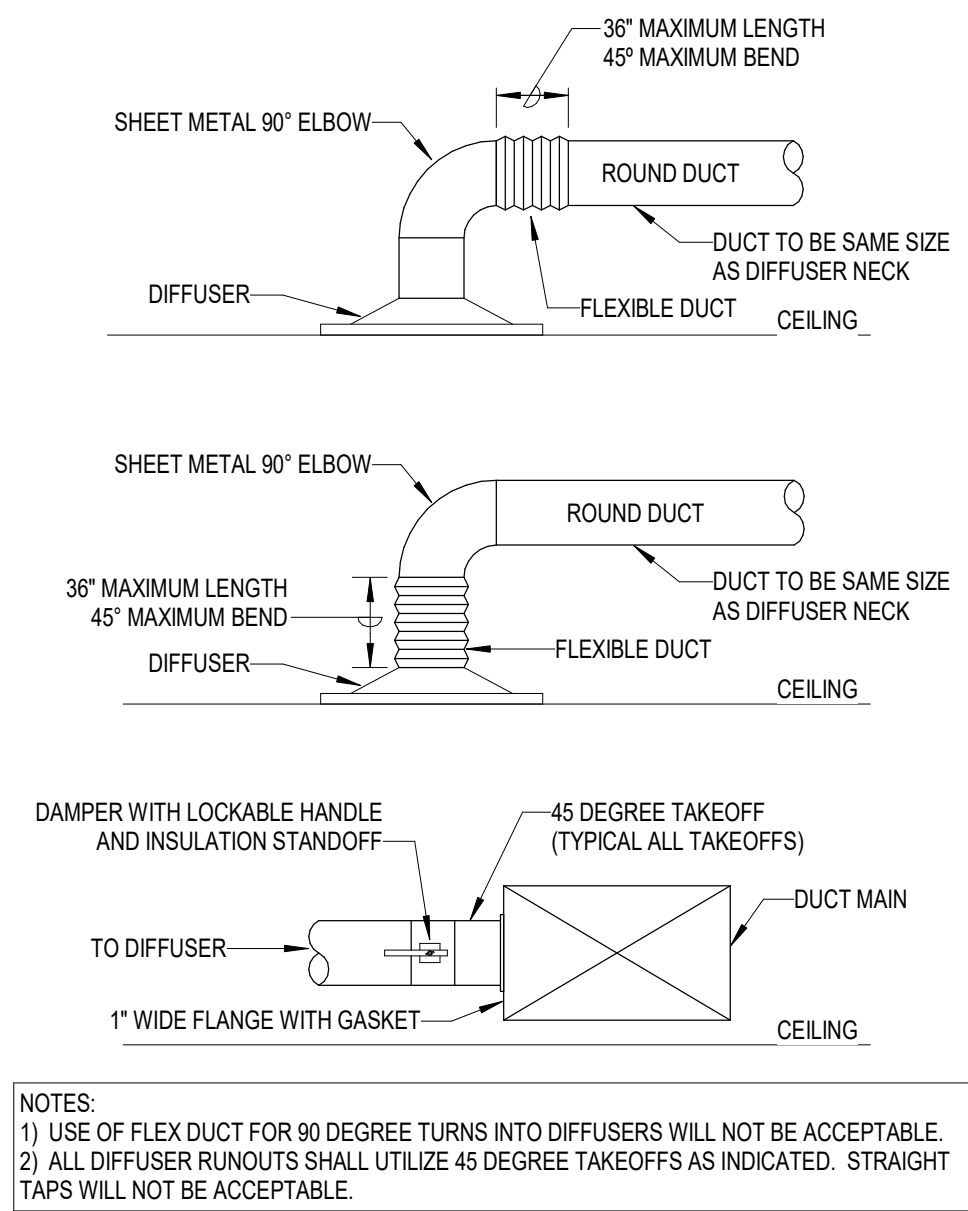
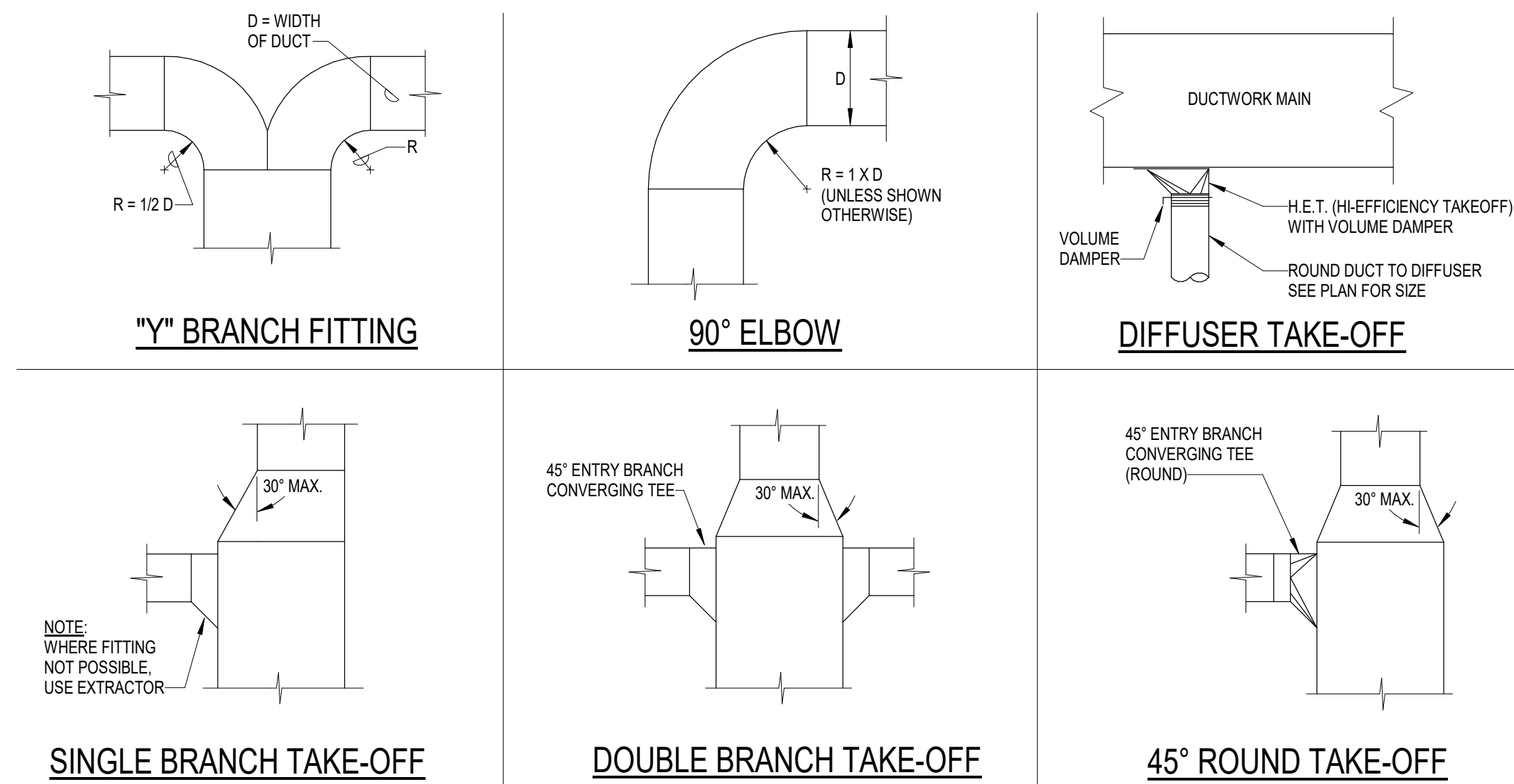
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REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION

INCH  
 3" = 1'-0"  
 1-1/2" = 1'-0"  
 1-1/2" = 1'-0"  
 3/4" = 1'-0"  
 1/2" = 1'-0"  
 1/4" = 1'-0"  
 1/8" = 1'-0"  
 1/16" = 1'-0"  
 3/32" = 1'-0"  
 1/32" = 1'-0"

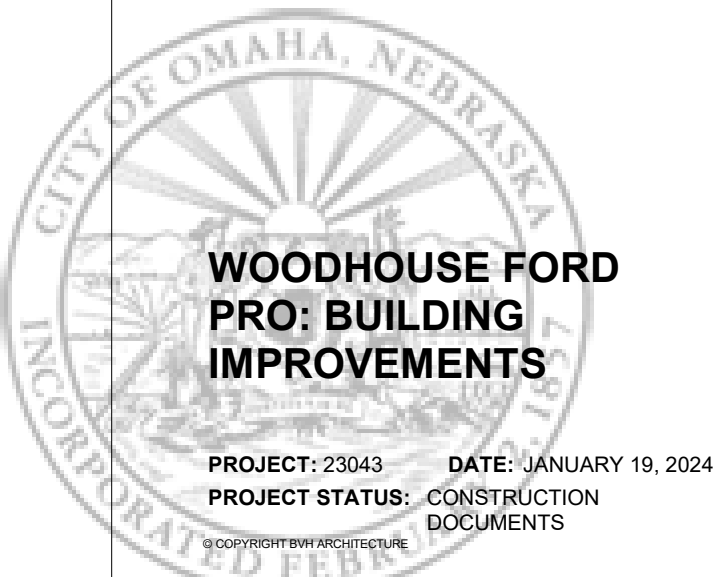


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**MECHANICAL DETAILS**

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION

9 INCH  
6  
3  
0  
3  
1-1/2" = 1'-0"  
SCALE

12 INCH  
0  
1-1/2" = 1'-0"  
SCALE

3 FEET  
12  
9  
6  
3  
0  
3/4" = 1'-0"  
SCALE

5 FEET  
1  
0  
1/2" = 1'-0"  
SCALE

10 FEET  
1  
0  
1/4" = 1'-0"  
SCALE

20 FEET  
1  
0  
1/8" = 1'-0"  
SCALE

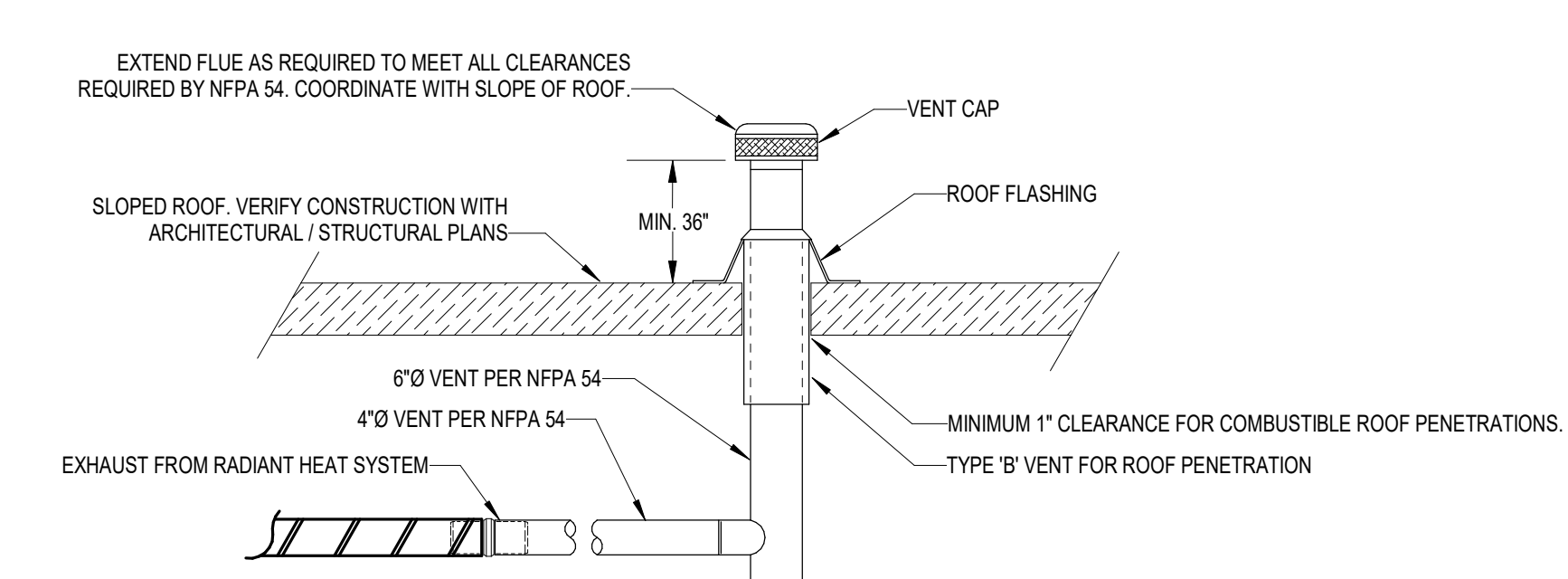
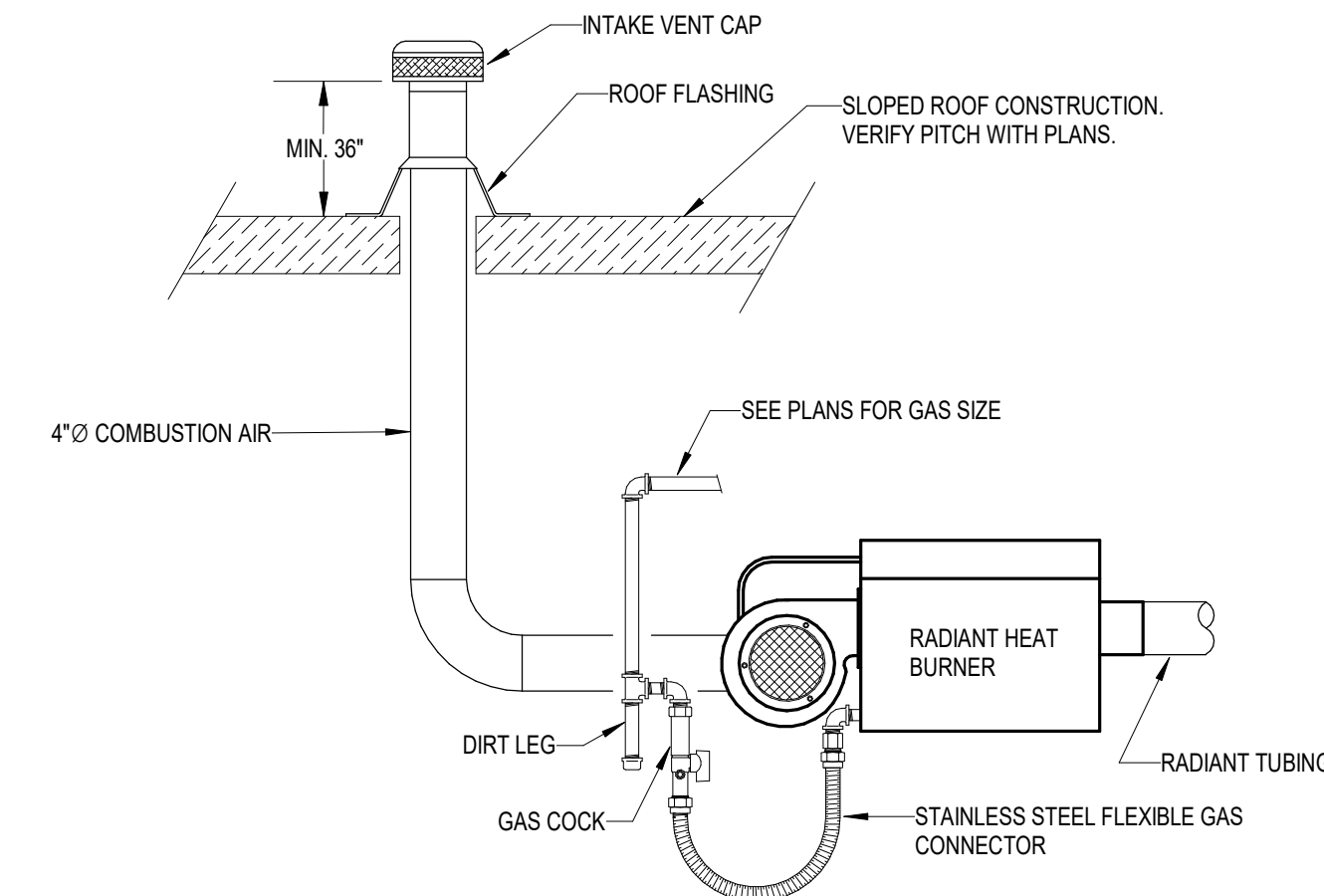
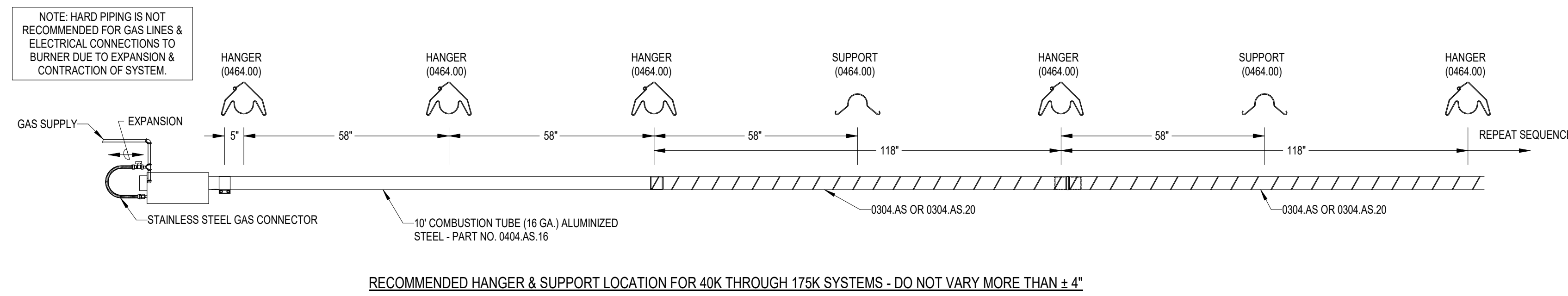
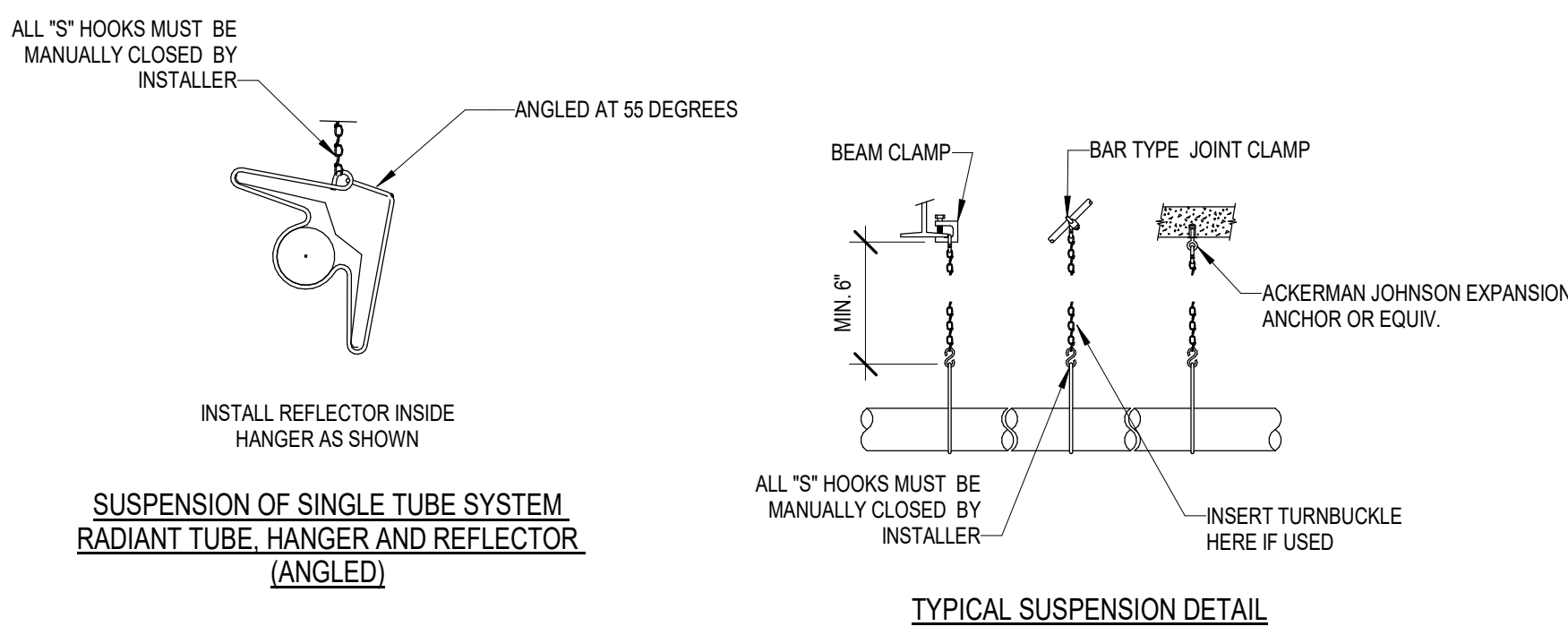
40 FEET  
1  
0  
1/4" = 1'-0"  
SCALE

80 FEET  
1  
0  
1/8" = 1'-0"  
SCALE

160 FEET  
1  
0  
1/16" = 1'-0"  
SCALE

320 FEET  
1  
0  
1/32" = 1'-0"  
SCALE

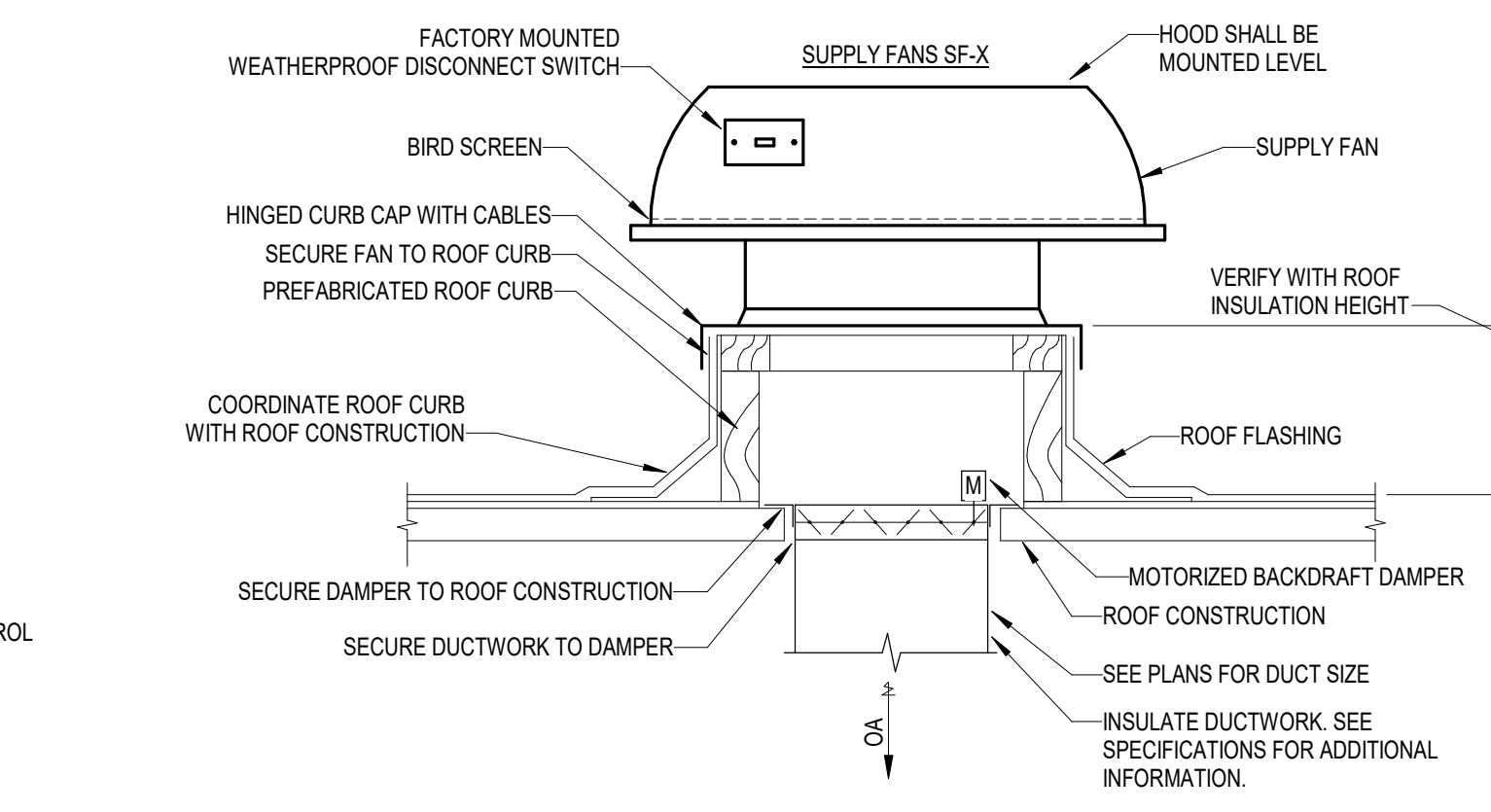
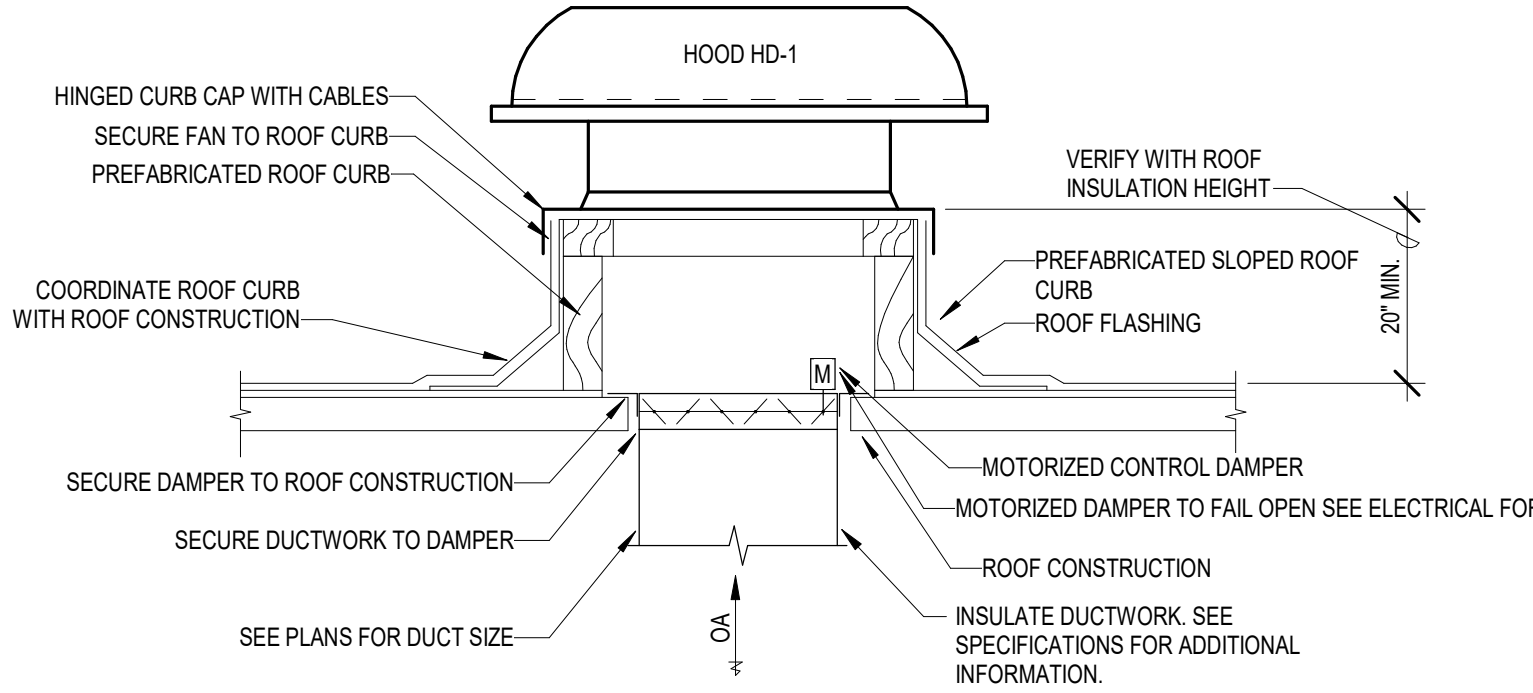
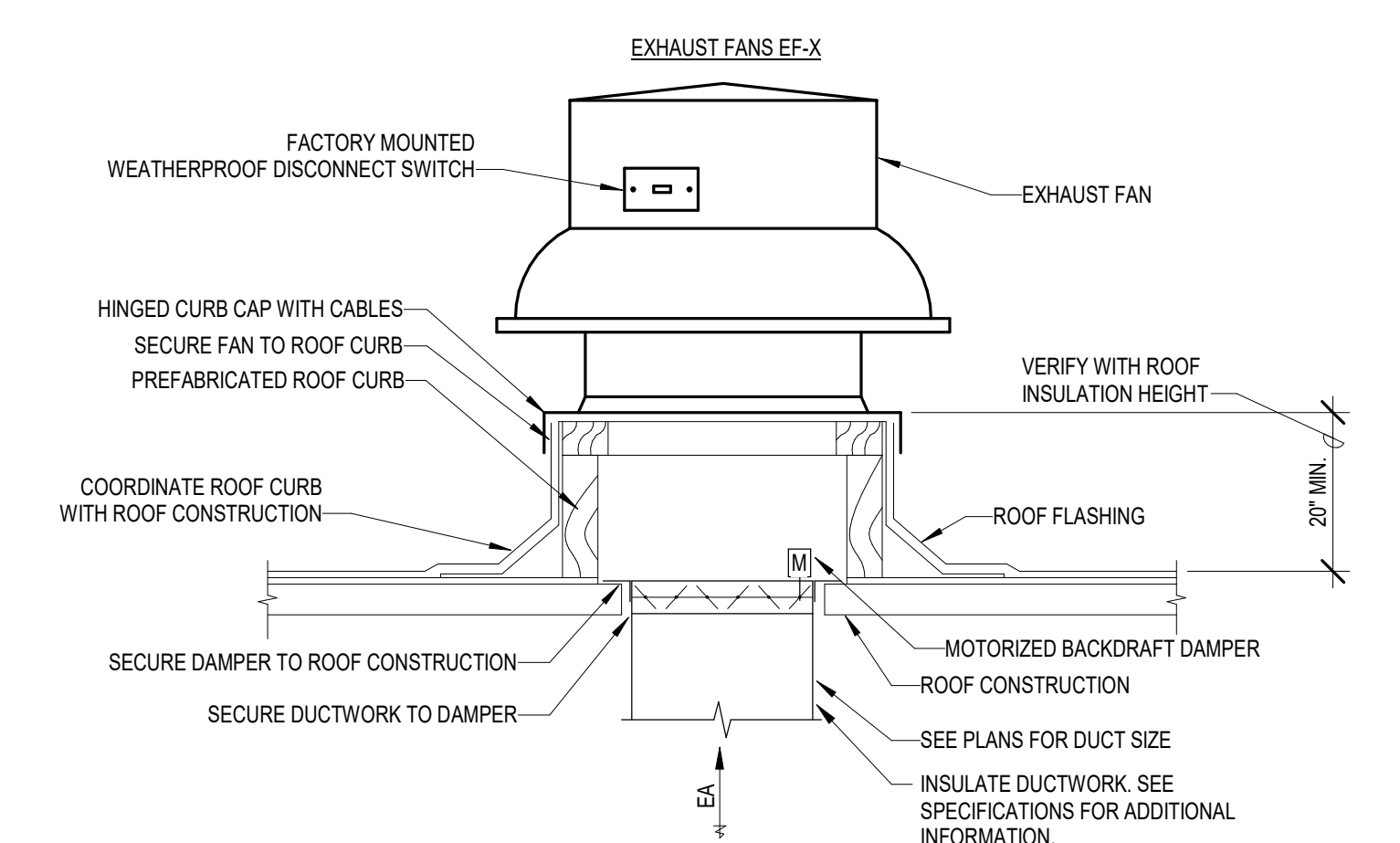
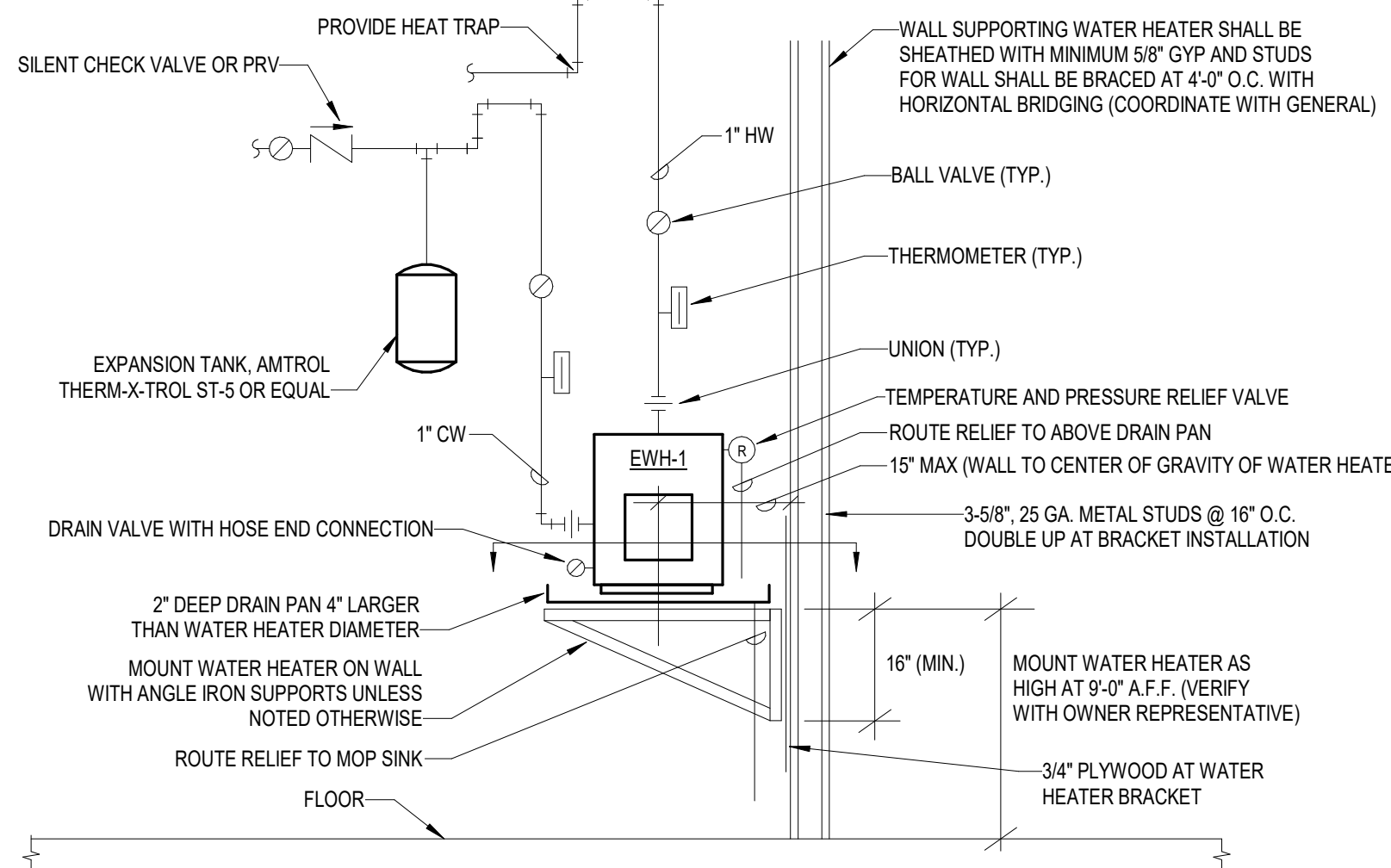
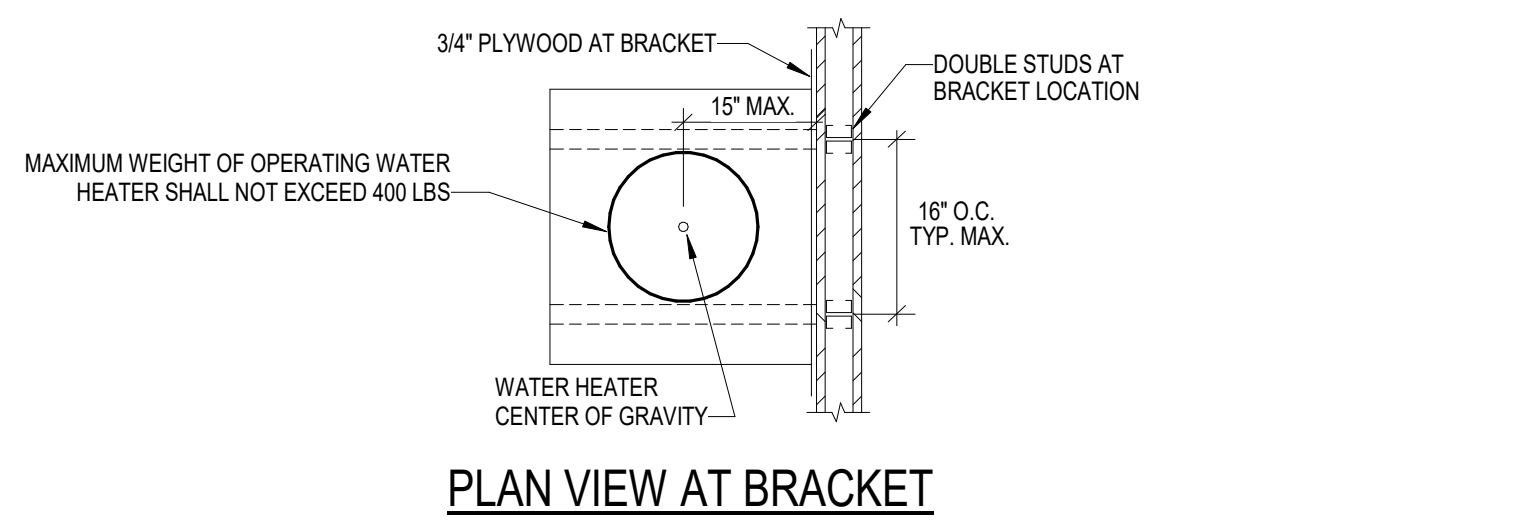
1/8" = 3/16" MIN



## 1 RADIANT HEAT HANGING DETAIL

## 2 RADIANT BURNER DETAIL

## 3 RADIANT HEATER EXHAUST FLUE

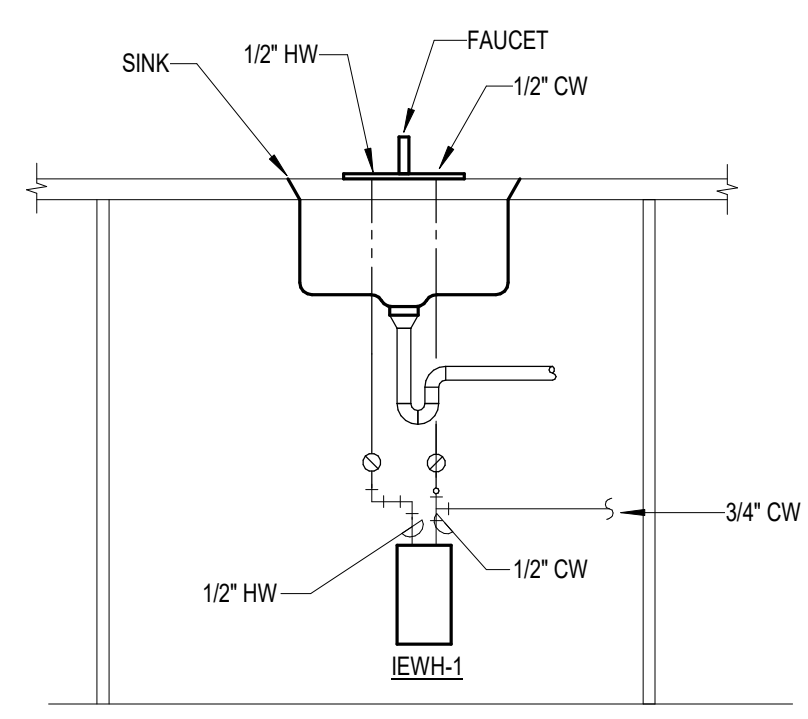


## 4 ELECTRIC TANK WATER HEATER DETAIL

## 5 EXHAUST FAN DETAIL

## 6 ROOF INTAKE HOOD DETAIL

## 7 SUPPLY FAN DETAIL



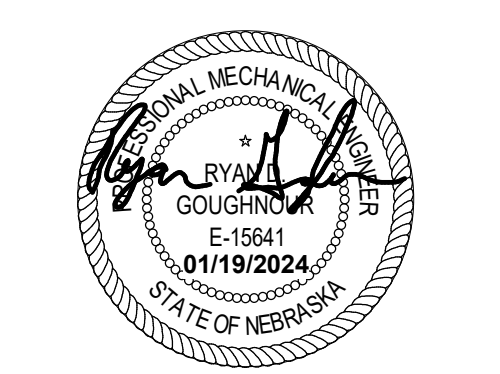
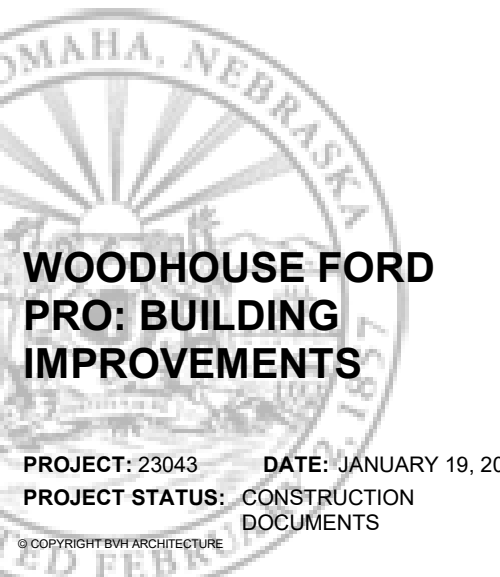
## 8 SINK PIPING DETAIL

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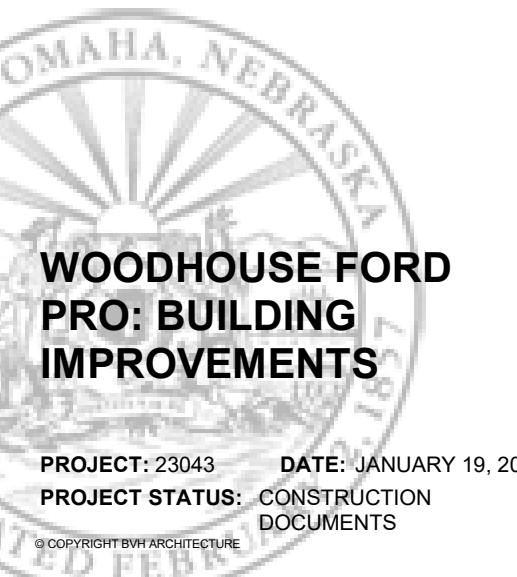
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MECHANICAL DETAILS

REVISIONS SCHEDULE table with columns MARK, DATE, DESCRIPTION



MECHANICAL SCHEDULES

ELECTRIC WATER HEATER SCHEDULE table with columns PLAN TAG, MANUFACTURER, MODEL, SERVES, STORAGE CAPACITY, DIMENSIONS, RECOVERY, DOMESTIC HOT WATER, DISCHARGE TEMP, TEMP RISE, VOLTAGE / PHASE, FLA, CAPACITY, kW / STAGE, # OF ELEMENTS, # OF STAGES, REMARKS

DUCTWORK INSULATION SCHEDULE (1) (2) table with columns SERVICE, DUCTWORK, APPLICATION, INSULATION TYPE, INSULATION THICKNESS, MINIMUM R-VALUE, VAPOR RETARDER, REMARKS

REMARKS:  
1. INSULATION TYPE AND THICKNESS SHALL MEET ALL REQUIREMENTS OF 2018 IECC.  
2. SEE SPECIFICATION SECTION 23 07 10 FOR ADDITIONAL INFORMATION.  
3. INNER DUCT PERFORATED SHEET METAL WITH 1" INTERSTITIAL INSULATION AND OUTER DUCT SPIRAL DUCT MATCHING DUCT PRESSURE CLASS.  
4. EXPOSED DUCTWORK SHALL BE PRIMED FOR FIELD PAINTING.

PIPING INSULATION SCHEDULE (1) (2) (3) table with columns SERVICE, PIPING SIZES, INSULATION TYPE, INSULATION THICKNESS, VAPOR RETARDER, REMARKS

REMARKS:  
1. SEE PIPING INSULATION DETAIL.  
2. INSULATION TYPE AND THICKNESS SHALL MEET ALL REQUIREMENTS OF 2018 IECC.  
3. SEE SPECIFICATION SECTIONS 22 07 20 & 23 07 20 FOR ADDITIONAL INFORMATION.

NATURAL GAS USAGE TABLE table with columns METER, PLAN TAG, GAS LOAD (BTU/h)

FAN SCHEDULE table with columns GENERAL, PHYSICAL SIZE, FAN, MOTOR, ELECTRICAL

GAS UNIT HEATER SCHEDULE table with columns GENERAL, PHYSICAL SIZE, FAN, MOTOR, ELECTRICAL, GAS-FIRED HEATING, REMARKS

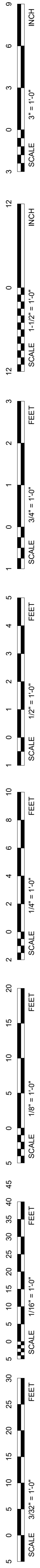
GAS-FIRED RADIANT HEATER SCHEDULE table with columns GENERAL, PHYSICAL SIZE, FAN, MOTOR, ELECTRICAL, GAS-FIRED HEATING, REMARKS

ROOF HOOD SCHEDULE table with columns GENERAL, PHYSICAL SIZE, FAN, MOTOR, ELECTRICAL, GAS-FIRED HEATING, REMARKS

DIFFUSER REGISTER AND GRILLE SCHEDULE table with columns PLAN TAG, MANUFACTURER, MODEL, FUNCTION, DESCRIPTION, MOUNTING (1), DEFLECTION, AIR P.D. (IN WG), MATERIAL, FINISH, NECK SIZE, FACE SIZE, REMARKS

VARIABLE FREQUENCY DRIVE SCHEDULE table with columns PLAN TAG, MANUFACTURER, MODEL, SERVES, MOTOR HP, TYPE, VOLTAGE / PHASE, REMARKS

ZONE DAMPER SCHEDULE table with columns PLAN TAG, MANUFACTURER, DUCT SIZE, AIRFLOW (CFM) (3), SERVES, DESCRIPTION, REMARKS

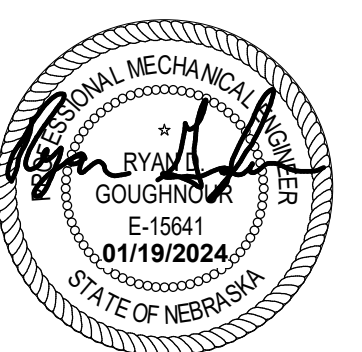
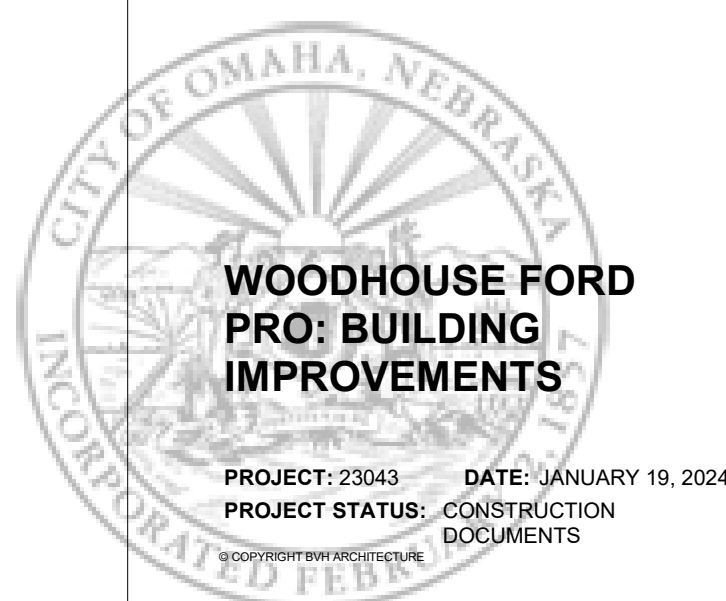


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**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION



**MECHANICAL SCHEDULES**

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**PLUMBING FIXTURE SCHEDULE (1) (2)**

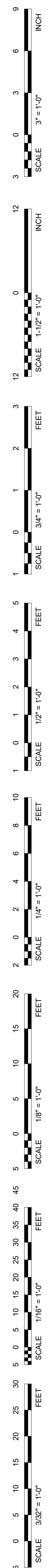
**REMARKS:**  
 1. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS INCLUDING STOPS, FITTINGS AND ALL OTHER SPECIALTIES.  
 2. PICTURES OF FIXTURES MAY NOT INDICATE ACTUAL FIXTURE SPECIFIED. PICTURES ARE GRAPHICAL IN NATURE. SEE DESCRIPTION FOR ACTUAL FIXTURE AND MODEL.  
 3. APPROXIMATE QUANTITIES SHOWN ARE NOT FINAL AND ONLY INDICATED FOR EASE OF COORDINATION. QUANTITIES DO NOT RELIEVE CONTRACTOR OF ITEMS WHICH MAY BE INDICATED ON PLANS BUT NOT INCLUDED IN THIS COUNT. CONTRACTOR SHALL DETERMINE QUANTITIES FROM PLANS AND SPECIFICATIONS.

TAG	FIXTURE (2)		FAUCET-VALVE-ACCESSORY (2)		DESCRIPTION	CONNECTIONS				REMARKS
	MODEL	IMAGE	MODEL	IMAGE		CW	HW	V	W	
WC-1	KOHLER K-3879 HIGHLINE				DESCRIPTION: ELONGATED BOWL, FLOOR MOUNTED, FLOOR OUTLET, TANK TYPE WATER CLOSET, CLASS FIVE FLUSHING SYSTEM. ADA COMPLIANT. YES. COLOR: WHITE WITH CHROME TRIP LEVER. TANK: CLOSED COUPLED, 1.6 GALLONS PER FLUSH. SEAT: WHITE ELONGATED, OPEN FRONT WITHOUT COVER, (K-4731-SC) RIM HEIGHT: 17"-18" INSTALL TRIP LEVER WITH LEVER HANDLE MOUNTED ON WIDE SIDE OF COMPARTMENT. PROVIDE LEFT-HAND OR RIGHT-HAND TRIP LEVER AS REQUIRED. COORDINATE WITH FLOOR PLANS.	3/4"		2"	4"	
WC-2	KOHLER K-3878 WELLWORTH				DESCRIPTION: ELONGATED BOWL, FLOOR MOUNTED, FLOOR OUTLET, TANK TYPE WATER CLOSET, CLASS FIVE FLUSHING SYSTEM. ADA COMPLIANT. NOT REQUIRED. COLOR: WHITE WITH CHROME TRIP LEVER. TANK: CLOSED COUPLED, 1.6 GALLONS PER FLUSH. SEAT: WHITE ELONGATED, OPEN FRONT WITHOUT COVER, (K-4731-SC) RIM HEIGHT: 14"-15.5" INSTALL TRIP LEVER WITH LEVER HANDLE MOUNTED ON WIDE SIDE OF COMPARTMENT. PROVIDE LEFT-HAND OR RIGHT-HAND TRIP LEVER AS REQUIRED. COORDINATE WITH FLOOR PLANS.	3/4"		2"	4"	
UR-1	KOHLER 4991-ET "BARDOV"		SLOAN REGAL 186-0-5		DESCRIPTION: WASHDOWN, WALL HANGING, WALL OUTLET WITH MANUAL URINAL FLUSHMETER. ADA COMPLIANT. NOT REQUIRED. COLOR: WHITE. FLUSHMETER: TOP SPUD, 0.5 GALLONS PER FLUSH. FLUSHMETER FINISH: POLISHED CHROME. FLUSHMETER OPERATION: MANUAL. RIM HEIGHT: 17"	3/4"		1-1/2"	2"	
L-1	KOHLER K-2211 "CANTON"		SLOAN EBF-85		DESCRIPTION: UNDERCOUNTER LAVATORY WITH BATTERY POWERED SENSOR FAUCET. ADA COMPLIANT. YES. COLOR: WHITE. FIXTURE DIMENSIONS: 17" x 14". CONSTRUCTION: FAUCET INLET SPACING TO MATCH LAVATORY OPENINGS. FAUCET VALVE OPERATION: BATTERY POWERED, SENSOR OPERATED. FAUCET ACCESSORIES: BELOW DECK THERMOSTATIC MIXING VALVE. FAUCET SPOUT: INTEGRAL WITH BODY, VANDAL RESISTANT AERATOR, 1/2-GPM FLOW. DRAIN: GRID STRAINER. ADA INSULATION KIT: PROVIDE SUPPLY AND DRAIN SOFT MOLDED INSULATION KITS FROM FIXTURE TO WALL. COVERINGS TO BE CUSHIONED JACKET PLASTIC COVERING WITH SELF STICKING FASTENING SYSTEM.	1/2"	1/2"	1-1/4"	1-1/4"	
MS-1	WILLIAMS 58-903 "SERVICECOR"		KOHLER K-83700-4A "TRITON BOWE"		FLOOR MOUNTED MOP SINK WITH WALL MOUNTED FAUCET. ADA COMPLIANT. NOT REQUIRED. FIXTURE DIMENSIONS: 24" x 24" x 12" HIGH. FIXTURE CONSTRUCTION: TERRAZZO, RIM GUARD: STAINLESS STEEL. FAUCET: ROUGH CHROME, WIDESPREAD BAS BRASS WITH SUPPLIES 8" ON CENTER. FAUCET MOUNTING: WALL CENTERED ON FIXTURE. FAUCET HANDLE: DUAL LEVER. FAUCET SPOUT: INTEGRAL VACUUM BREAKER, PAIL HOOK AND HOSE THREAD OUTLET. WALL BRACE ASSEMBLY WITH WALL BRACKET AND SUPPORT TO FAUCET SPOUT. HOSE HOLDER: E.L. MUSTEE & SONS 65.700 "HEAVY DUTY 5/8" DIA. 3/16" RUBBER HOSE AND SPRING LOADED MOLDED RUBBER HOSE HOLDER ON STAINLESS STEEL WALL PLATE. MOP HANGER: E.L. MUSTEE & SONS 65.600; THREE SPRING-LOADED RUBBER MOP HOLDERS ATTACHED TO STAINLESS STEEL WALL PLATE. WALL GUARD: E.L. MUSTEE & SONS 67.2424; 12" HIGH, 20 GAUGE, #304 STAINLESS STEEL WALL GUARD.	3/4"	3/4"	1-1/2"	3"	
S-1	EUKAY LRA0221985		KOHLER K-596-CP "SIMPLICE"		DESCRIPTION: DROP-IN COUNTER MOUNTED, SINGLE-BOWL, 19-GAUGE STAINLESS STEEL SINK W/ PULL-DOWN GOOSENECK SWING SPOUT. ADA COMPLIANT. SINK - YES. FAUCET - YES. FIXTURE BOWL DIMENSIONS: 18" x 14" x 12". FIXTURE OVERALL DIMENSIONS: 22" x 19-1/2" x 6-1/2". FIXTURE CONSTRUCTION: FAUCET INLET SPACING TO MATCH SINK OPENINGS. FIXTURE DRAIN: 1-1/2" GRID STRAINER WITH 1/2" REMOVABLE STAINLESS STEEL CRUMB CUP. FAUCET HANDLE: SINGLE HANDLE LEVER. FAUCET SPOUT: REACH - 9" HEIGHT - 9-1/2" WITH 1-1/2 GPM FLOW AERATOR. FAUCET FINISH: POLISHED CHROME.	1/2"	1/2"	1-1/2"	1-1/2"	
EW-1	HALSEY TAYLOR HTHB-HAC28L RSS-NF				DESCRIPTION: BARRIER FREE WALL MOUNTED B/L LEVEL, NON-FILTERED WATER COOLER WITH BOTTLE FILLER. FIXTURE IS REVERSE CONFIGURATION WITH COMPRESSOR ABOVE 18" TO MEET CLASS 1 DIV II ELECTRICAL CODE REQUIREMENTS IN VEHICLE SERVICE AREAS. ADA COMPLIANT. YES. NUMBER OF BUBBLERS: TWO + BOTTLE FILLER (SEE BELOW). BOTTLE FILLER: SENSOR ACTIVATED, 1.1 GPM LAMINAR FLOW WITH 20 SECOND SHUT OFF. LED LIGHT AND BOTTLES SAVED DIGITAL DISPLAY COUNTER. FIXTURE CABINET MATERIAL: STAINLESS STEEL. THERMOSTAT: ADJUSTABLE SET AT 80°F. ELECTRICAL: 120V, 3 WIRE CORD AND PLUG. ACTIVATION: PUSH BAR ACTIVATION MECHANISM. PROVIDE WITH CANE APRON (MN-98324C).	1/2"		1-1/4"	1-1/4"	

**PLUMBING SPECIALTIES SCHEDULE (1) (2)**

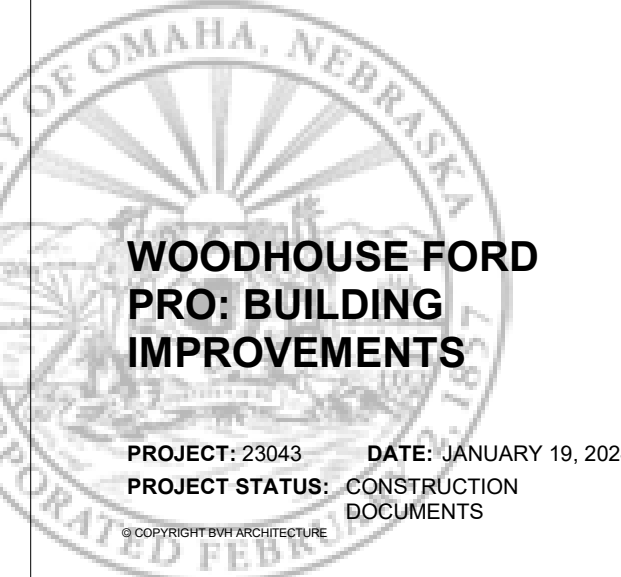
**REMARKS:**  
 1. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS INCLUDING STOPS, FITTINGS AND ALL OTHER SPECIALTIES.  
 2. PICTURES OF FIXTURES MAY NOT INDICATE ACTUAL FIXTURE SPECIFIED. PICTURES ARE GRAPHICAL IN NATURE. SEE DESCRIPTION FOR ACTUAL FIXTURE AND MODEL.  
 3. APPROXIMATE QUANTITIES SHOWN ARE NOT FINAL AND ONLY INDICATED FOR EASE OF COORDINATION. QUANTITIES DO NOT RELIEVE CONTRACTOR OF ITEMS WHICH MAY BE INDICATED ON PLANS BUT NOT INCLUDED IN THIS COUNT. CONTRACTOR SHALL DETERMINE QUANTITIES FROM PLANS AND SPECIFICATIONS.

	FIXTURE (2)		DESCRIPTION	CONNECTIONS			
	MODEL	IMAGE		CW	HW	V	W
D-1	J.R. SMITH 2110		FLOOR DRAIN WITH CAST IRON BODY, FLASHING COLLAR, 8.5" ROUND MEDIUM DUTY GRATE.			2"	4"
FS-1	J.R. SMITH 3101		FLOOR SINK WITH SEDIMENT BUCKET, ACID RESISTANT COATED CAST IRON BODY, FLASHING COLLAR, AND REMOVABLE 9-1/2" SQUARE NICKEL BRONZE TOP. PROVIDE THE FOLLOWING FEATURES: 1. 3/4" GRATE.			2"	4"
GD-1	J.R. SMITH 2230		GARAGE DRAIN WITH CAST IRON BODY, SEDIMENT BUCKET, FLASHING COLLAR, 12" ROUND REMOVABLE MEDIUM DUTY CAST IRON GRATE.			2"	4"
HB-1	WOODFORD 26C		HOSE BIBB WITH BRONZE BODY, RENEWABLE COMPOSITION DISC, 3/4" NPS THREADED OR SOLDER JOINT INLET. PROVIDE GARDEN HOSE THREADS ON OUTLET AND INTEGRAL, NON REMOVABLE, DRAINABLE, HOSE CONNECTION WITH ANTI-SIPHON VACUUM BREAKER.  FINISH: CHROME OPERATION: WHEEL-HANDLE	3/4"			
WH-1	WOODFORD 67C		WALL HYDRANT WITH THE FOLLOWING FEATURES: NON-FREEZE, AUTOMATIC DRAINING, ANTI-SBACKFLOW TYPE KEY OPERATION, 3/4" NPS THREADED OR SOLDER JOINT INLET, AND GARDEN HOSE THREADS ON OUTLET. INCLUDE OPERATING KEY FOR EACH HYDRANT.  TYPE: SURFACE MOUNT FINISH: CHROME PLATED OPERATION: KEY, 3/8" OPERATING ROD	3/4"			
IMB-1	GUY GRAY 8MB875		DESCRIPTION: METAL ICE MAKER BOX CONSTRUCTION. RECESSED BOX AND FACEPLATE, 1/2" OUTLET COMPRESSION ANGLE SHUT-OFF VALVE.	1/4"			
TD-1	J.R. SMITH 9855		DESCRIPTION: NON-METALLIC 6" WIDE HEAVY DUTY TRENCH DRAIN, POLYMER CONCRETE, PRECAST, INTERLOCKING DESIGN, DUCTILE IRON FRAME AND CAST IRON GRATE, WITH BOTTOM RADIUS AND 0.6 PERCENT SLOPE.  1.PRECAST MATERIAL: LOAD PRESSURE OF 14,500 PSI, BENDING PRESSURE OF 2,900 PSI, FROST PROOF, SALT PROOF, INERT UNDER DILUTE ACID AND ALKALI CONDITIONS, AND LESS THAN 1.0 PERCENT WATER ABSORPTION RATE. 2.CHANNEL SECTIONS: INTERLOCKING-JOINT, PRECAST MODULAR UNITS WITH END CAPS. PROVIDE OUTLETS IN NUMBER, SIZES, AND LOCATIONS INDICATED. INCLUDE EXTENSION SECTIONS NECESSARY FOR REQUIRED DEPTH. 3.GRATES (SERVICE DRIVE): CAST IRON, FOR HEAVY-DUTY TRUCK TRAFFIC UP TO 80 TON GROSS VEHICLE WEIGHT AND 10 TON PNEUMATIC TIRE WHEEL LOAD AT SPEEDS LESS THAN 20 MPH, WITH PERFORATED GALVANIZED STEEL GRATES DESIGNED TO PREVENT HIGH HEEL ENTRY. 4.GRATES (SERVICE DEPARTMENT): CAST IRON, FOR HEAVY-DUTY TRUCK TRAFFIC UP TO 80 TON GROSS VEHICLE WEIGHT AND 10 TON PNEUMATIC TIRE WHEEL LOAD AT SPEEDS LESS THAN 20 MPH, WITH PERFORATED GALVANIZED STEEL GRATES. 5.LOCKING MECHANISM: MANUFACTURER'S STANDARD DEVICE FOR SECURING GRATES TO CHANNEL SECTIONS. 6.DRAINAGE SPECIALTIES FOR PRECAST POLYMER-CONCRETE UNITS SHALL INCLUDE CATCH BASINS, 24 BY 12-INCH POLYMER-CONCRETE BODY, WITH OUTLETS IN NUMBER AND SIZES INDICATED. INCLUDE MATCHING GRATE.				4"



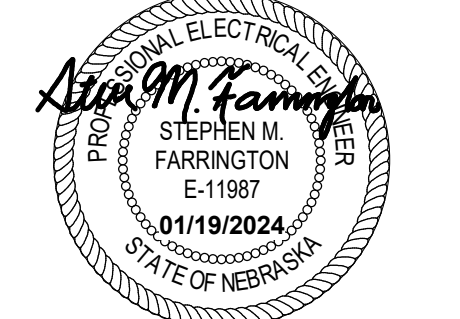


REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION



**WOODHOUSE FORD**  
**PRO: BUILDING**  
**IMPROVEMENTS**

PROJECT: 23043 DATE: JANUARY 19, 2024  
 PROJECT STATUS: CONSTRUCTION  
 DOCUMENTS



**ELECTRICAL COVER SHEET**

ELECTRICAL SYMBOLS			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
<b>LIGHTING</b>			
(L)	LUMINAIRE	(L)	SINGLE POLE SWITCH
(L)	LUMINAIRE CONNECTED TO EMERGENCY CIRCUIT OR BATTERY TRIP LUMINAIRE	(3)	3-WAY SWITCH
(L)	WALL MOUNTED LUMINAIRE	(L)	WALL BOX DIMMER SWITCH
(L)	WALL MOUNTED LUMINAIRE	(L)	CEILING MOUNTED MOTION SENSOR SWITCH
(L)	TRUCK LUMINAIRE	(L)	WALL MOUNTED MOTION SENSOR SWITCH
(L)	EMERGENCY BATTERY PACK	(L)	LOW VOLTAGE LIGHTING CONTROL SWITCH
(L)	CEILING MOUNTED EXIT LIGHT WITH DIRECTIONAL ARROW	(L)	WALL MOUNTED PHOTOCELL
(L)	WALL OR END MOUNTED EXIT LIGHT WITH DIRECTIONAL ARROW	(L)	POWER PACK
(L)	WALL MOUNTED LUMINAIRE		
(L)	ROLL-UP LUMINAIRE		
<b>FIRE ALARM</b>			
(F)	FIRE ALARM SMOKE DETECTOR	(F)	FIRE ALARM HORN & STROBE COMBINATION
(F)	FIRE ALARM HEAT DETECTOR	(F)	FIRE ALARM HORN & STROBE COMBINATION
(F)	DUCT MOUNTED SMOKE DETECTOR	(F)	CEILING FIRE ALARM STROBE
(F)	FIRE ALARM MANUAL PULL STATION	(F)	WALL FIRE ALARM STROBE
(F)	FIRE SPRINKLER VALVE TAMPER SWITCH	(F)	CEILING FIRE ALARM HORN & STROBE COMBINATION
(F)	FIRE SPRINKLER CONTROL SWITCH	(F)	CEILING FIRE ALARM HORN & STROBE COMBINATION
(F)	FIRE ALARM CONTROL PANEL	(F)	WALL FIRE ALARM SPEAKER & STROBE COMBINATION
(F)	FIRE ALARM MANUAL CONTROL PANEL	(F)	CEILING FIRE ALARM SPEAKER
(F)	FIRE ALARM MAGNETIC DOOR HOLDER	(F)	WALL FIRE ALARM SPEAKER
<b>POWER</b>			
(P)	DUPLEX RECEPTACLE	(P)	CEILING MOUNTED DOUBLE OUTPUT RECEPTACLE
(P)	3-Ø RECEPTACLE TYPE	(P)	FLOOR BOX - COMBINATION POWER & DATA
(P)	"S" DENOTES ISOLATED GROUND TYPE	(P)	POLE TYPE - COMBINATION POWER & DATA
(P)	"H" DENOTES HOSPITAL GRADE TYPE	(P)	FLOOR MOUNTED DUPLEX RECEPTACLE
(P)	"T" DENOTES TAMPER RESISTANT TYPE	(P)	MOTOR (P) DENOTES HORSEPOWER RATING
(P)	"S" DENOTES SWITCHABLE SENS. BUS (S) TYPE	(P)	DISCONNECT SWITCH
(P)	DOUBLE SHADING SWITCHES RED DEVICE	(P)	THEMAL ELEMENT SWITCH
(P)	SMALL SHADING SWITCHES SPRT WIRE DEVICE	(P)	SWITCH FUSE
(P)	CONVENTIONAL MOUNTED DUPLEX RECEPTACLE	(P)	SWITCH FUSE UNIT
(P)	CEILING MOUNTED DUPLEX RECEPTACLE	(P)	MAGNETIC MOTOR STARTER
(P)	DOUBLE DUPLEX RECEPTACLE	(P)	COMBINATION MOUNTED SPREATER/RECONNECT
(P)	SWITCH RECEPTACLE (NEMA 14-15/15/20/30/50)	(P)	MOTOR CONTROL PUSHBUTTON STATION
(P)	HANGE RECEPTACLE (NEMA 14-15/15/20/30/50)	(P)	RELAY
(P)	"S" DENOTES WETTER RECEPTACLE (NEMA 4-6/30/50/55)	(P)	MALTOULET ASSEMBLY - LENGTHS AS NOTED
(P)	SPECIAL PURPOSE RECEPTACLE (NEMA CONF. AS NOTED)		
<b>COMMUNICATION</b>			
(C)	WALL PHONE OUTLET	(C)	INTERCOM EXTERNAL SPEAKER
(C)	WALL COMMUNICATIONS DATA OUTLET	(C)	INTERCOM WALL SPEAKER
(C)	CEILING COMMUNICATIONS DATA OUTLET	(C)	SONIC REINFORCEMENT WALL SPEAKER
(C)	CEILING WIRELESS ACCESS POINT OUTLET	(C)	SONIC REINFORCEMENT CEILING SPEAKER
(C)	TELEPHONE/VIDEO OUTLET	(C)	WALL MICROPHONE OUTLET
(C)	WALL CLOCK	(C)	CEILING MICROPHONE OUTLET
(C)	VOLUME CONTROL	(C)	CALL-IN DEVICE
(C)	MARKET CABLE TRAY	(C)	LAUNCH CABLE RAY
(C)	TV RACK OUTLET		
<b>SECURITY</b>			
(S)	CEILING MOUNTED SECURITY MOTION DETECTOR	(S)	VIDEO SURVEILLANCE CAMERA (S INDICATES TYPE)
(S)	WALL MOUNTED SECURITY MOTION DETECTOR	(S)	SECURITY CARD READER
(S)	WALL MOUNTED HOLEDR TO KEY MOTION SENSOR	(S)	ELECTRIC TRIP
(S)	DOOR POSITION SWITCH	(S)	ELECTRICAL LATCH RESTRICTION
(S)	MAGNETIC LOCK	(S)	INTERCOM KEYING
(S)	INTERCOM STATION	(S)	WANDER GUARD
<b>GENERAL</b>			
(G)	LIGHTING PANEL	(G)	WALL MOUNTED JUNCTION BOX
(G)	DISTRIBUTION PANEL SWITCHBOARD OR MOTOR CONTROL CENTER	(G)	JUNCTION BOX
(G)	CABINET ENCLOSURE OR CONTROL PANEL TYPE INDICATED ON PLANS	(G)	CONDUIT SEAL
(G)	BRANCH CIRCUIT - CONDUIT	(G)	CONDUIT DOWN
(G)	BRANCH CIRCUIT CONCEALED IN CEILING OR WALL	(G)	CONDUIT UP
(G)	BRANCH CIRCUIT CONCEALED IN DOOR	(G)	CONDUIT THROUGH
(G)	BRANCH CIRCUIT - CLASS TWO WIRING	(G)	CIRCUIT BREAK
(G)	CONDUIT (CONDUIT SIZE, TYPE, AND QUANTITY INDICATED ON PLANS)	(G)	RESET SWITCH
(G)	SPECIAL PURPOSE HUB/BOX AS INDICATED	(G)	PUSH BUTTON
(G)	CONDUIT CONDUIT BUNDLE (CONDUIT INDICATED ON PLANS)	(G)	RELAY
(G)	SUBSCRIPT "W" APPLIES TO ANY SYMBOL INDICATES WEATHERPROOF MAIN TYPE OR EQUIPMENT	(G)	THERMOSTAT
(G) OR (H)	SUBSCRIPT "R" OR "H" APPLIED TO ANY SYMBOL INDICATES WEATHERPROOF MAIN TYPE OR EQUIPMENT	(G)	SUBSCRIPT "E" ADDED TO ANY SYMBOL, INDICATES EXISTING
(G)	SUBSCRIPT "P" ADDED TO ANY SYMBOL INDICATES PREFERRED MOUNTING	(G)	SUBSCRIPT "R" ADDED TO ANY SYMBOL, INDICATES RELOCATED
(G)	SUBSCRIPT "S" APPLIED TO ANY SYMBOL INDICATES EXPOSED/UNPROTECTED CLASS GROUP & DIVISION AS NOTED	(G)	WHERE PROVIDED IN PLANS INDICATES A TYPICAL NOTE OR CONDITION
		(G)	SUBSCRIPT "C" ADDED TO ANY SYMBOL, INDICATES DAMP LOCATION
		(G)	SUBSCRIPT "D" ADDED TO ANY SYMBOL, INDICATES NOT CREATED
		(G)	SUBSCRIPT "F" ADDED TO ANY SYMBOL, INDICATES FLUIT LIGHT

## Interior Lighting Compliance Certificate

**Project Information**  
 Energy Code: 2018 IECC  
 Project Type: Remodel

AREA CATEGORY	FLOOR AREA (FT <sup>2</sup> )	ALLOWED WATTS/FT <sup>2</sup>	ALLOWED WATTS	ACTUAL WATTS	PASS
AUTOMOTIVE FACILITY	29405 SF	0.71 W/FT <sup>2</sup>	20878 W	19179 W	Yes

Proposed Interior Lighting Power			
FIXTURE ID	DESCRIPTION	# OF FIXTURES	FIXTURE WATT. TOTAL WATTS
F1	6" ROUND DOWNLIGHT	16	14 W 224 W
F2	12" SUSPENDED LINEAR	3	52 W 156 W
F4	2x2 TROFFER	25	24 W 600 W
F4F	2x2 TROFFER	14	24 W 336 W
F5	4" SERVICE DRIVE STRIP	16	51 W 816 W
F6	4 STRIP LIGHT	2	31 W 62 W
F7	HIGHBAY	96	174 W 16704 W
<b>Total Proposed Watts</b>			19179 W

**Interior Lighting Compliance Statement**  
 Compliance Statement: The proposed interior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.1.0 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Steve Farrington  
 Name - Title  
 Signature  
 Date 01/19/2023

ENERGY CODE COMPLIANCE		
CODE	2018 INTERNATIONAL ENERGY CONSERVATION CODE	
ComCHECK	YES	(1)
COMMISSIONING	YES	(2) (3) (4)

- REMARKS:**
- ComCHECK COMPLIANCE REPORT CAN BE FOUND IN THE PROJECT MANUAL.
  - COMMISSIONING IS REQUIRED.
  - REQUIRED DOCUMENTS (REFER TO CODE) SHALL BE PROVIDED TO THE BUILDING OWNER OR OWNER REPRESENTATIVE WITHIN 90 DAYS OF THE DATE OF RECEIPT OF THE CERTIFICATE OF OCCUPANCY.
  - SEE RESPECTIVE SPECIFICATION SECTIONS FOR ADDITIONAL INFORMATION.

MEI PROJECT NO. 23416

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### GENERAL ELECTRICAL DEMOLITION NOTES

- THE OWNER SHALL HAVE FIRST SALVAGE RIGHTS TO ALL FIXTURES, DEVICES AND EQUIPMENT REMOVED.
- WHERE EXISTING CIRCUITS ARE NOT REUSED, REMOVE CONDUCTORS AND ASSOCIATED ACCESSIBLE RACEWAYS BACK TO THE SOURCE. ABANDON CONCEALED CONDUITS IN WALLS WHICH ARE NOT REMOVED.
- DEMOLITION DRAWINGS INDICATE FIXTURES, DEVICES AND MAJOR PIECES OF EQUIPMENT WHICH ARE TO BE REMOVED OR RECONNECTED. REMOVE INDICATED ITEMS AND ASSOCIATED ITEMS NOT INDICATED BUT WHICH MUST BE REMOVED TO ACCOMMODATE REMODELING. SEE PROJECT MANUAL WORK IN EXISTING BUILDINGS FOR ADDITIONAL INFORMATION.
- SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR ADDITIONAL DEMOLITION ITEMS. DISCONNECT AND REMOVE ELECTRICAL DEVICES, EQUIPMENT AND ASSOCIATED WIRING AS REQUIRED TO ACCOMMODATE NEW WORK.
- POWER TO EXISTING AREAS NOT BEING REMODELED SHALL BE MAINTAINED AT ALL TIMES EXCEPT FOR SHORT TERM OUTAGES NECESSARY FOR RECONNECTION OF EXISTING CIRCUITS. COORDINATE AND SCHEDULE OUTAGES WITH THE OWNER.
- COORDINATE DEMOLITION WITH THE WORK OF OTHER TRADES. PROVIDE TEMPORARY POWER AS REQUIRED TO ALLOW THE WORK OF OTHER TRADES TO PROCEED OR AS REQUIRED TO ALLOW THE OWNER TO OCCUPY THE SPACE.
- SUBSCRIPT 'E' INDICATES AN EXISTING FIXTURE OR DEVICE TO REMAIN. MAINTAIN EXISTING CIRCUITING CONTINUITY UNLESS NOTED OTHERWISE.
- SUBSCRIPT 'R' INDICATES AN EXISTING FIXTURE OR DEVICE SCHEDULED FOR RELOCATION. REMOVE EXISTING FIXTURE OR DEVICE AND SALVAGE FOR REUSE. SEE NEW WORK PLANS FOR NEW LOCATION AND RECONNECT AS REQUIRED.
- UPDATE ALL PANELBOARD DIRECTORIES IMPACTED BY ELECTRICAL WORK.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING, PAINTING, REPAIRING, AND REPLACEMENT OF ALL EXISTING WALLS, CEILING, FLOORS, OR OTHER BUILDING ELEMENTS WHICH ARE DISTURBED AS PART OF THE DEMOLITION OR INSTALLATION OF NEW ELECTRICAL WORK.

### GENERAL LIGHTING NOTES

- MINIMUM BRANCH CIRCUIT CONDUIT SHALL BE 1/2" MINIMUM DATA/COMMUNICATIONS CONDUIT SHALL BE 1" SEE DRAWINGS FOR AREAS WHERE LARGER CONDUITS ARE REQUIRED.
- PROVIDE A DEDICATED NEUTRAL CONDUCTOR FOR EACH NEW BRANCH CIRCUIT.
- PROVIDE A GREEN INSULATED GROUND WIRE IN ALL NEW RECEPTACLE AND EQUIPMENT BRANCH CIRCUITS.
- SEE DEVICE ALIGNMENT DETAIL FOR INSTALLATION LOCATION OF DEVICES ADJACENT TO DOORS AND MOUNTING HEIGHT REQUIREMENTS.
- INSTALL CONVENIENCE RECEPTABLES AT EQUIPMENT REQUIRING SERVICING PER 2017 NEC 210.63.
- IN EXPOSED STRUCTURE AREAS (NO CEILINGS), ROUTE CONDUIT TIGHT TO DECK. CONDUIT SHALL BE ROUTED PARALLEL OR PERPENDICULAR TO STRUCTURE IN A NEAT AND WORKMANLIKE MANNER AND GROUDED WHERE POSSIBLE. PAINT EXPOSED CONDUIT AND BOXES TO MATCH STRUCTURE IN FINISHED AREAS WITHOUT CEILINGS. EXPOSED WIRING OF ANY TYPE WILL NOT BE ALLOWED.
- ALL CABLING AND RACEWAY INSTALLED IN EXPOSED OR CONCEALED LOCATIONS NEAR METAL CORRUGATED ROOF DECKING SHALL BE INSTALLED WITH THE REQUIRED CLEARANCE PER NEC SECTION 300.4(E).
- REFER TO ACCESS CONTROL DETAIL FOR DOOR HARDWARE ROUGH-IN REQUIREMENTS. COORDINATE WITH ARCHITECTURAL DOOR HARDWARE SCHEDULE AND EQUIPMENT SUPPLIER PRIOR TO INSTALLATION.
- COORDINATE MOUNTING HEIGHT AND EXACT LOCATION OF DEVICES FOR ALL TVs WITH ARCHITECT PRIOR TO ROUGH-IN.
- ELECTRICAL CONTRACTOR SHALL PROVIDE ROUGH-IN FOR ALL THERMOSTATS AND/OR SENSORS. ROUGH-IN TO INCLUDE 4" SQUARE BOX WITH SINGLE GANG MUD RING AND 1/2" CONDUIT TO ABOVE NEAREST ACCESSIBLE CEILING. LOCATE BOX AT 44" AFF ALIGNED VERTICALLY AND HORIZONTALLY WITH ADJACENT ELECTRICAL DEVICES. REFER TO MECHANICAL DRAWINGS FOR THERMAT AND/OR SENSOR LOCATIONS.

- 10. LIGHTING CONTROLS:**
- SEE SPECIFICATIONS, LIGHTING CONTROL DEVICE SCHEDULE, AND DETAILS FOR ADDITIONAL LIGHTING CONTROL REQUIREMENTS.
  - PROVIDE 600V RATED CONTROL WIRING TO ALL LUMINAIRES SERVED BY 0-10V DIMMING RELAYS AND CONTROL DEVICES. ROUTE CONTROL WIRING IN SEPARATE CONDUIT. #18 AWG FOR RUNS UP TO 300 FEET, AND #16 AWG FOR RUNS BETWEEN 300 AND 400 FEET.

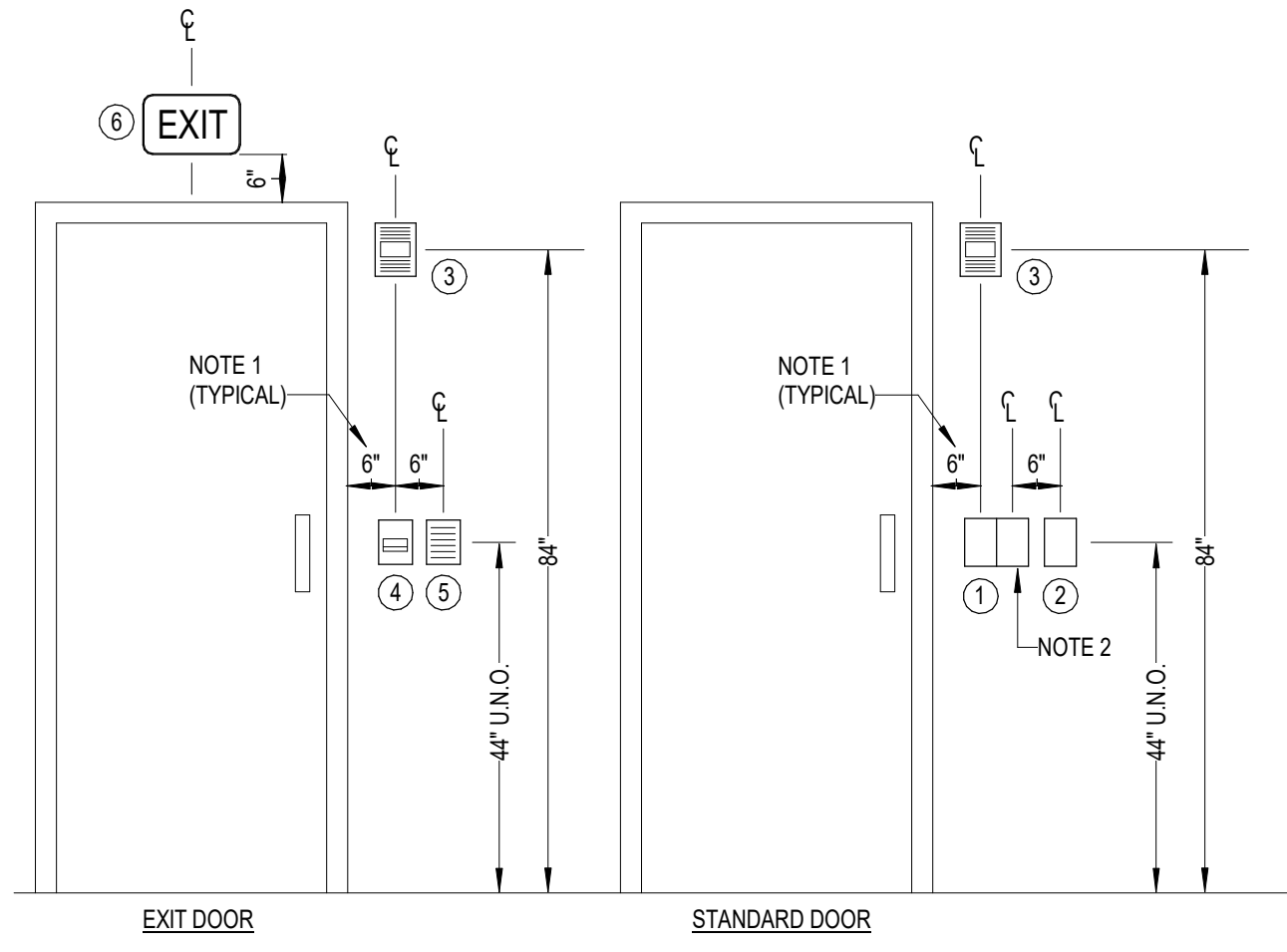
### GENERAL FIRE ALARM NOTES

- PROVIDE FIRE ALARM WIRING TO POST-INDICATOR VALVE. USE RGS CONDUIT WHERE EXPOSED ABOVE GRADE. PROVIDE FIRE ALARM WIRING TO EACH FIRE SPRINKLER SYSTEM FLOW AND TAMPER SWITCH. COORDINATE QUANTITIES AND LOCATIONS WITH FIRE SPRINKLER CONTRACTOR AND MECHANICAL DRAWINGS.
- ALL FIRE ALARM WIRING SHALL BE RAN IN CONDUIT ABOVE NON-ACCESSIBLE CEILINGS AND IN AREAS WITH EXPOSED STRUCTURE (NO CEILINGS). IN EXPOSED STRUCTURE AREAS ROUTE CONDUIT TIGHT TO DECK. CONDUIT SHALL BE ROUTED PARALLEL OR PERPENDICULAR TO STRUCTURE IN A NEAT AND WORKMANLIKE MANNER AND GROUDED WHERE POSSIBLE. PAINT EXPOSED CONDUIT AND BOXES TO MATCH STRUCTURE IN FINISHED AREAS WITHOUT CEILINGS. EXPOSED WIRING OF ANY TYPE WILL NOT BE ALLOWED.
- ENSURE ALL PENETRATIONS THROUGH FIRE AND SMOKE WALLS ARE PROPERLY SEALED. SEE ARCHITECTURAL CODE REVIEW PLAN FOR FIRE AND SMOKE WALL LOCATIONS.
- PROVIDE ADDRESSABLE CONTROL MODULES AS REQUIRED FOR CONTROL OF ELECTRIC LOCKS/STRIKES ON EGRESS DOORS. DOORS SHALL BE UNLOCKED IN AN ALARM CONDITION. REFER TO ARCHITECTURAL DOOR HARDWARE SCHEDULE.
- PROVIDE ELECTRICAL CONNECTIONS TO SMOKE AND FIRE/SMOKE DAMPERS INCLUDING POWER AND FIRE ALARM. PROVIDE A DUCT MOUNTED SMOKE DETECTOR WITH 5'-0" OF SMOKE DAMPER PER IMC 607.3.2. PROVIDE 120V CONNECTION FROM LOCKABLE CIRCUIT BREAKER IN NEAREST 120V PANEL WITH A MAXIMUM OF 6 PER 20A/1P CIRCUIT. VERIFY EXACT QUANTITY AND LOCATION OF DAMPERS WITH MECHANICAL DRAWINGS. SEE DETAIL FOR ADDITIONAL REQUIREMENTS.

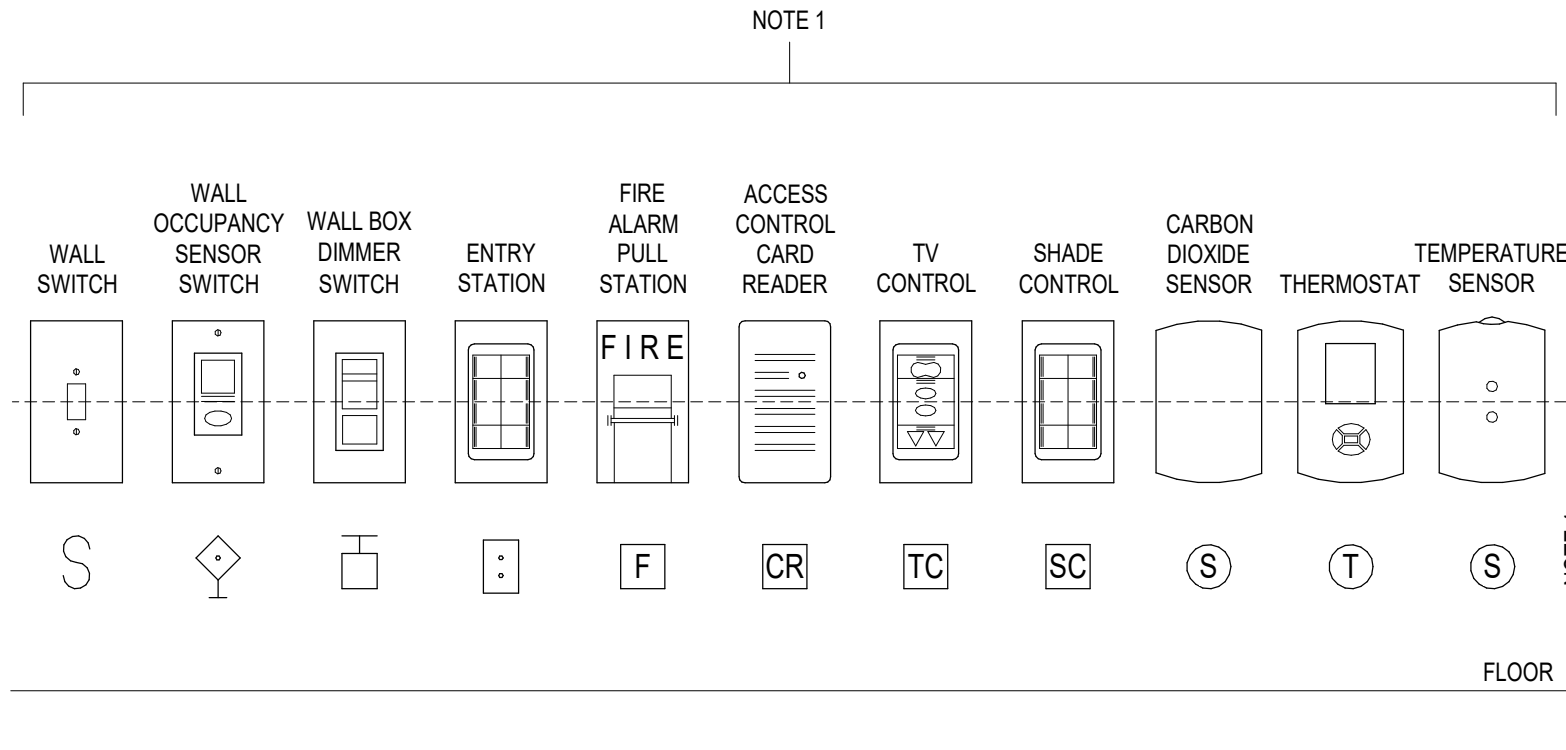
### GENERAL POWER NOTES

- MINIMUM BRANCH CIRCUIT CONDUIT SHALL BE 1/2" MINIMUM DATA/COMMUNICATIONS CONDUIT SHALL BE 1" SEE DRAWINGS FOR AREAS WHERE LARGER CONDUITS ARE REQUIRED.
- PROVIDE A DEDICATED NEUTRAL CONDUCTOR FOR EACH NEW BRANCH CIRCUIT.
- PROVIDE A GREEN INSULATED GROUND WIRE IN ALL NEW RECEPTACLE AND EQUIPMENT BRANCH CIRCUITS.
- SEE DEVICE ALIGNMENT DETAIL FOR INSTALLATION LOCATION OF DEVICES ADJACENT TO DOORS AND MOUNTING HEIGHT REQUIREMENTS.
- INSTALL CONVENIENCE RECEPTABLES AT EQUIPMENT REQUIRING SERVICING PER 2017 NEC 210.63.
- IN EXPOSED STRUCTURE AREAS (NO CEILINGS), ROUTE CONDUIT TIGHT TO DECK. CONDUIT SHALL BE ROUTED PARALLEL OR PERPENDICULAR TO STRUCTURE IN A NEAT AND WORKMANLIKE MANNER AND GROUDED WHERE POSSIBLE. PAINT EXPOSED CONDUIT AND BOXES TO MATCH STRUCTURE IN FINISHED AREAS WITHOUT CEILINGS. EXPOSED WIRING OF ANY TYPE WILL NOT BE ALLOWED.
- ALL CABLING AND RACEWAY INSTALLED IN EXPOSED OR CONCEALED LOCATIONS NEAR METAL CORRUGATED ROOF DECKING SHALL BE INSTALLED WITH THE REQUIRED CLEARANCE PER NEC SECTION 300.4(E).
- REFER TO ACCESS CONTROL DETAIL FOR DOOR HARDWARE ROUGH-IN REQUIREMENTS. COORDINATE WITH ARCHITECTURAL DOOR HARDWARE SCHEDULE AND EQUIPMENT SUPPLIER PRIOR TO INSTALLATION.
- COORDINATE MOUNTING HEIGHT AND EXACT LOCATION OF DEVICES FOR ALL TVs WITH ARCHITECT PRIOR TO ROUGH-IN.
- ELECTRICAL CONTRACTOR SHALL PROVIDE ROUGH-IN FOR ALL THERMOSTATS AND/OR SENSORS. ROUGH-IN TO INCLUDE 4" SQUARE BOX WITH SINGLE GANG MUD RING AND 1/2" CONDUIT TO ABOVE NEAREST ACCESSIBLE CEILING. LOCATE BOX AT 44" AFF ALIGNED VERTICALLY AND HORIZONTALLY WITH ADJACENT ELECTRICAL DEVICES. REFER TO MECHANICAL DRAWINGS FOR THERMAT AND/OR SENSOR LOCATIONS.

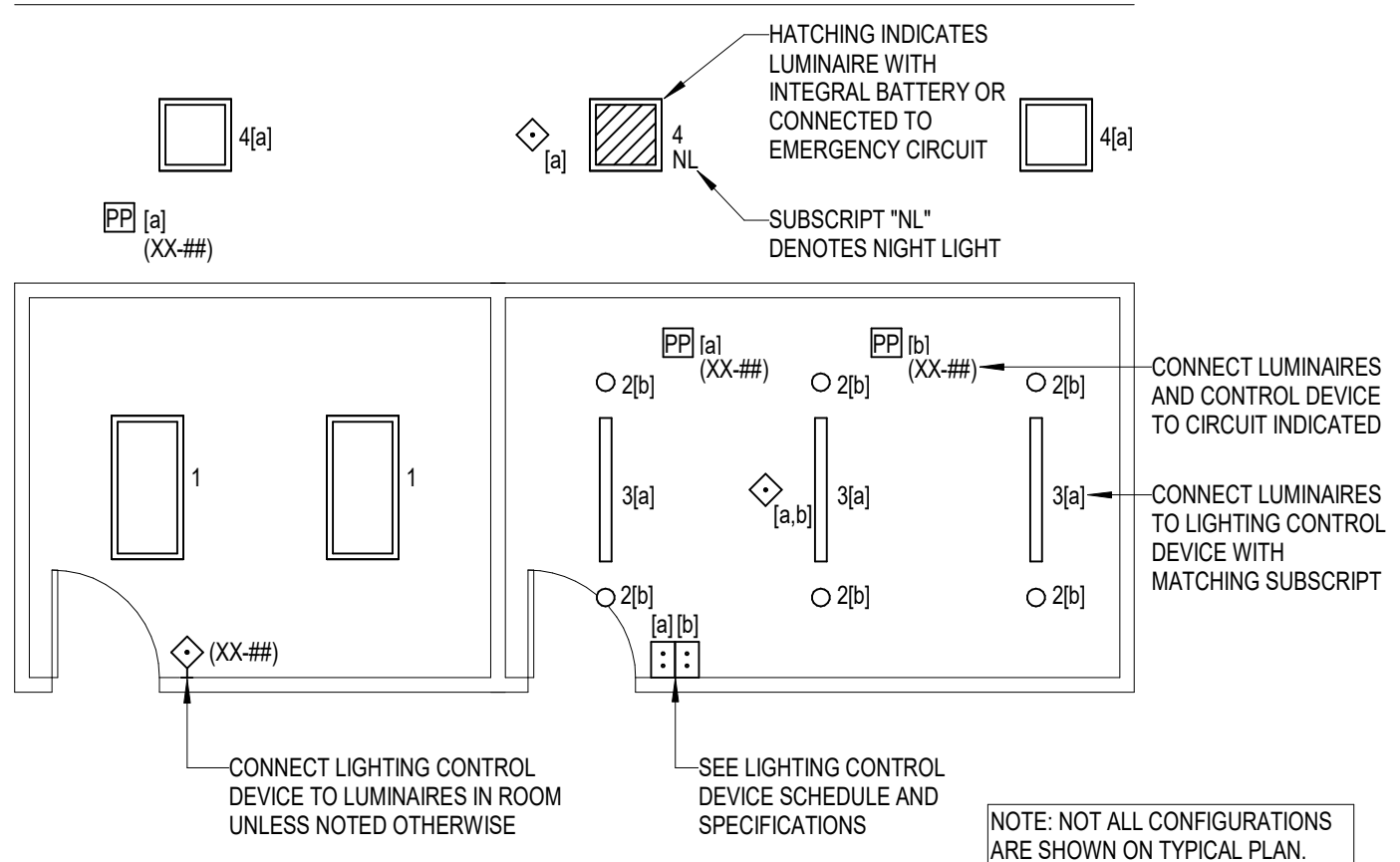
INCH  
 0 3 6  
 SCALE 3" = 1'-0"  
 INCH  
 0 3 6  
 SCALE 1-1/2" = 1'-0"  
 FEET  
 0 1 2 3  
 SCALE 3/4" = 1'-0"  
 FEET  
 0 1 2 3 4 5  
 SCALE 1/2" = 1'-0"  
 FEET  
 0 1 2 3 4 5  
 SCALE 1/4" = 1'-0"  
 FEET  
 0 5 10 15 20 25 30 35 40 45  
 SCALE 1/8" = 1'-0"  
 FEET  
 0 5 10 15 20 25 30 35 40 45  
 SCALE 3/16" = 1'-0"  
 FEET  
 0 5 10 15 20 25 30 35 40 45  
 SCALE 3/32" = 1'-0"  
 FEET



- DEVICES:**
- WALL SWITCH, WALL OCCUPANCY SENSOR SWITCH, WALL BOX DIMMER SWITCH, OR ENTRY STATION
  - THERMOSTAT, TEMPERATURE SENSOR, OR CARBON DIOXIDE SENSOR ROUGH-IN
  - FIRE ALARM AUDIOVISUAL INDICATING DEVICE
  - FIRE ALARM PULL STATION
  - ACCESS CONTROL CARD READER
  - EXIT SIGN
- 2) DEVICE ALIGNMENT DETAIL NOT TO SCALE**



- NOTES:**
- ALIGN DEVICES VERTICALLY AND HORIZONTALLY WHEREVER POSSIBLE. NOT ALL DEVICES OR CONFIGURATIONS ARE DEPICTED ON THIS DETAIL. FOR ANY CONFIGURATIONS WITH FOUR OR MORE DEVICES, COORDINATE ARRANGEMENT WITH THE ENGINEER PRIOR TO ROUGH-IN. SEE FLOOR PLANS FOR INDIVIDUAL DOOR REQUIREMENTS.
  - WHERE MULTIPLE SWITCHES OR WALL BOX DIMMERS ARE GANGED TOGETHER, ALIGN FIRST GANG WITH DEVICES ABOVE AND ADD DEVICES TO THE RIGHT AS REQUIRED.
  - DIMENSIONS ARE TO BE MEASURED FROM OUTSIDE EDGE OF DOOR FRAME OR TRIM. WHERE SIDE LIGHT WINDOWS ARE PROVIDED, DIMENSIONS SHOULD BE MEASURED FROM OUTSIDE EDGE OF SIDE LIGHT WINDOW FRAME OR TRIM.
  - ALL DEVICES SHALL BE LOCATED TO MAINTAIN ALL A.D.A. MOUNTING HEIGHT REQUIREMENTS AND SUCH THAT CENTER OF ADJACENT DEVICES ARE AT SAME ELEVATION (TYPICALLY 44" A.F.F. TO CENTER OF DEVICE) NOTIFY ENGINEER OF ANY CONFLICTS WITH THE PROPOSED INSTALLATION.



**1) TYPICAL LIGHTING AND CONTROL PLAN NOT TO SCALE**

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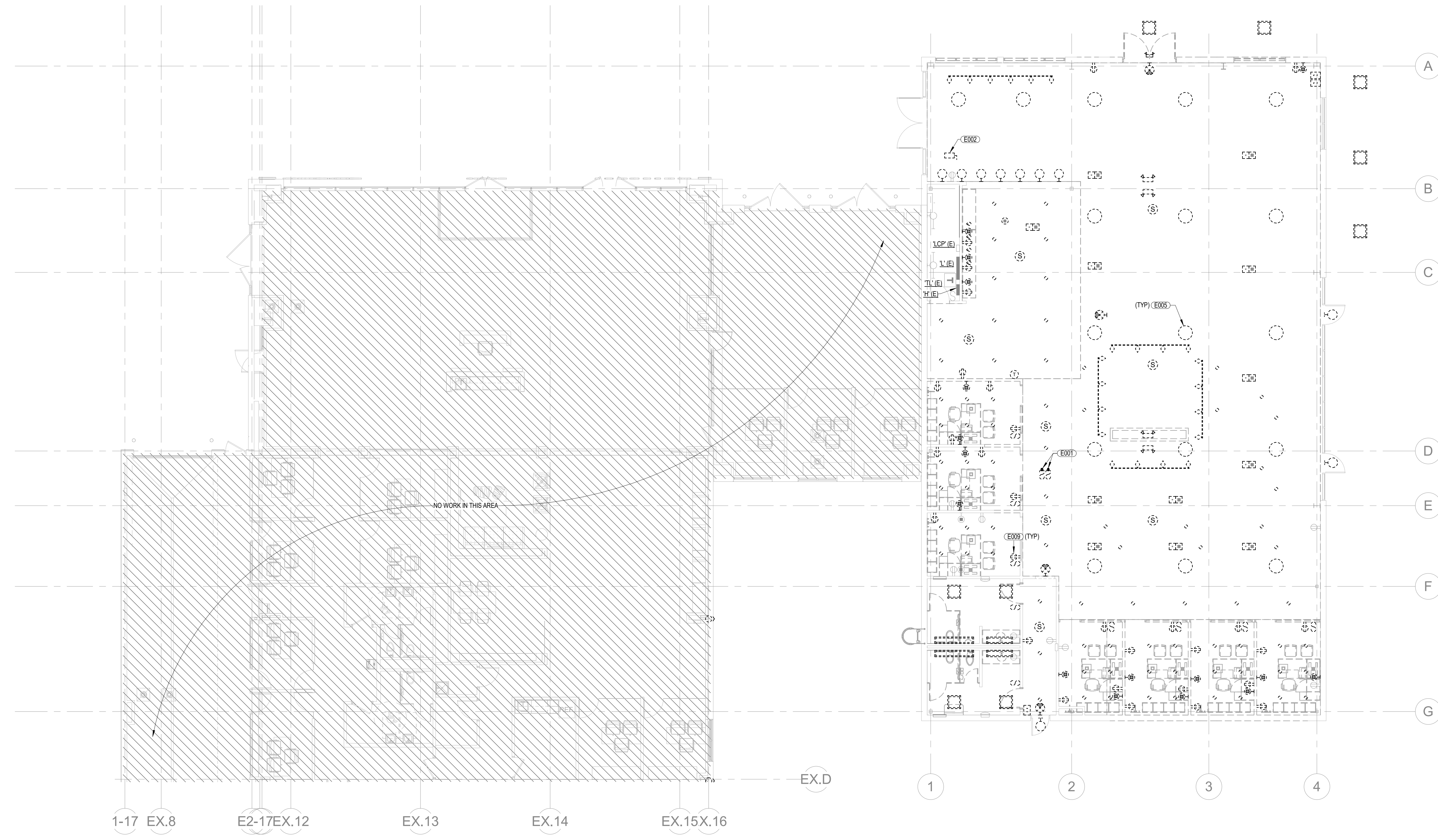
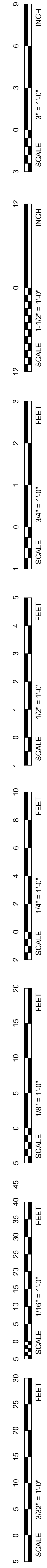
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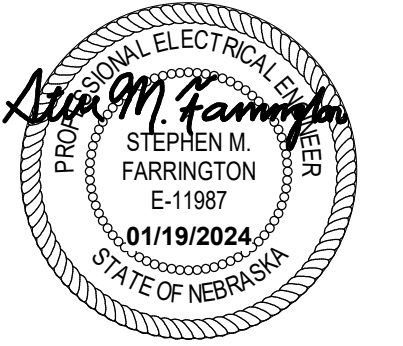
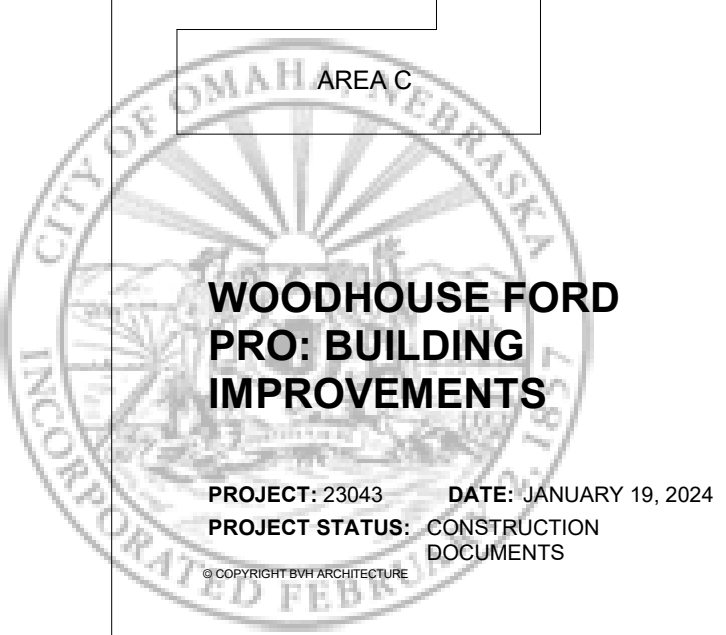
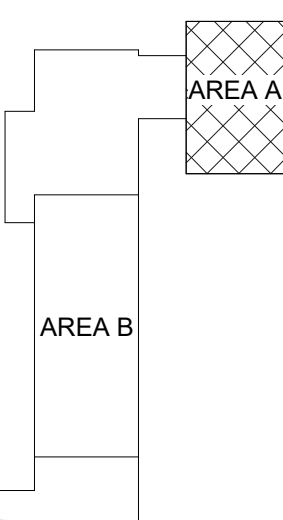
**KEYNOTES**

- E001 REMOVE EXISTING DUCT SMOKE DETECTOR REMOTE KEY STATIONS. RE-INSTALL IN SAME SPOT IN NEW CEILING FOR THE RTU THAT IS REMAINING.
- E002 REMOVE FUSED DISCONNECT AND ALL ASSOCIATED WIRING BACK TO SOURCE.
- E005 REMOVE LIGHT FIXTURE AND ALL WIRING BACK TO SOURCE.
- E009 REMOVE ELECTRICAL DEVICE AND ALL WIRING BACK TO SOURCE.



**1 FIRST FLOOR - DEMOLITION - AREA A**  
 1/8" = 1'-0"

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION



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**FLOOR PLAN - DEMOLITION - AREA A**

**ED1.1**

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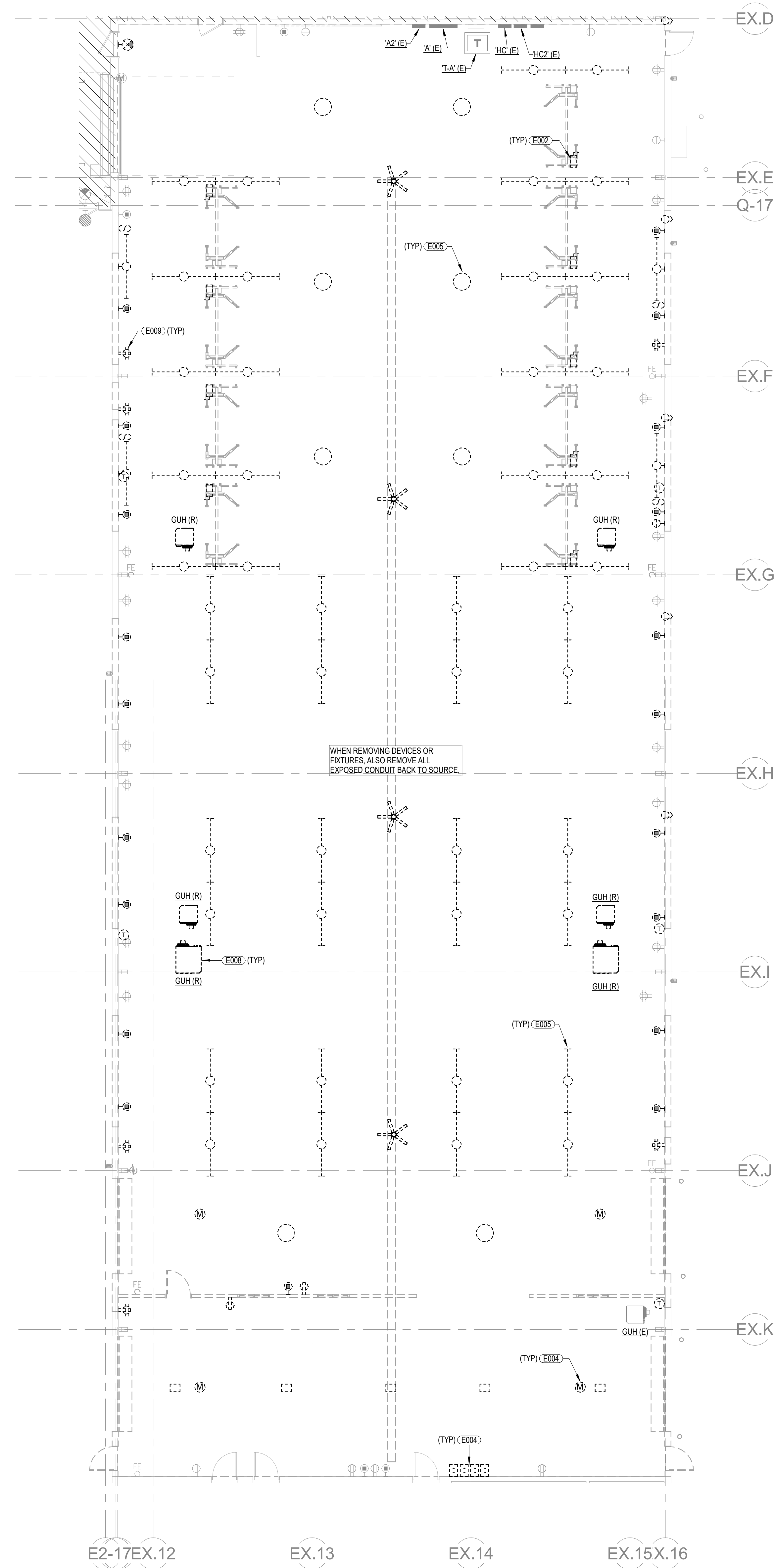
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**KEYNOTES**

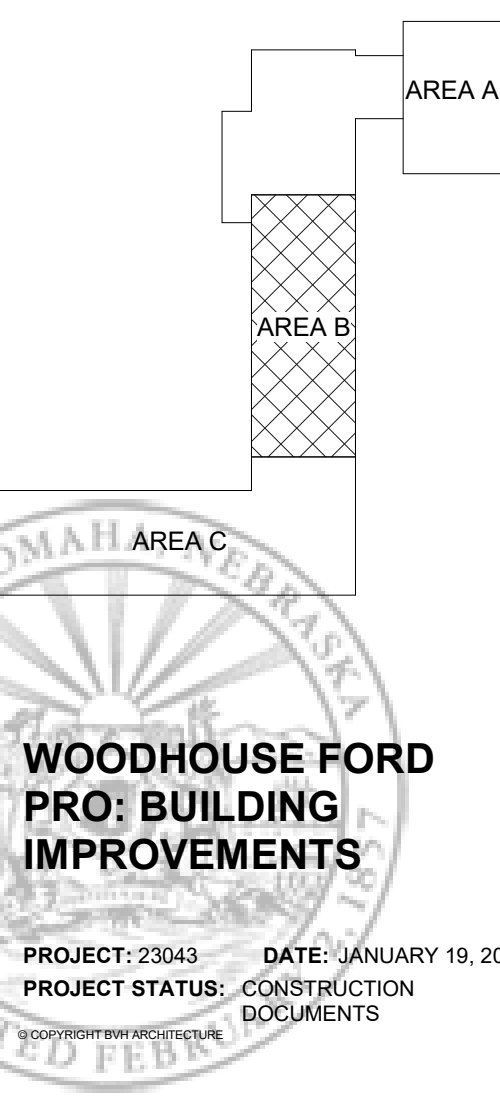
- E002 REMOVE FUSED DISCONNECT AND ALL ASSOCIATED WIRING BACK TO SOURCE
- E004 REMOVE MOTOR AND ALL ASSOCIATED PUSHBUTTONS FOR OVERHEAD DOOR BACK TO SOURCE
- E005 REMOVE LIGHT FIXTURE AND ALL WIRING BACK TO SOURCE
- E008 REMOVE DISCONNECT AND RECONNECT AT NEW LOCATION; EXTEND WIRING TO NEW LOCATION; SEE NEW WORK PLANS FOR NEW LOCATION
- E009 REMOVE ELECTRICAL DEVICE AND ALL WIRING BACK TO SOURCE



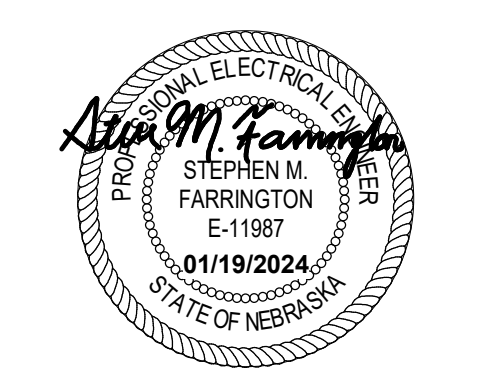
**1 FIRST FLOOR - DEMOLITION - AREA B**  
 1/8" = 1'-0"

**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION



**WOODHOUSE FORD  
 PRO: BUILDING  
 IMPROVEMENTS**  
 PROJECT: 23043 DATE: JANUARY 19, 2024  
 PROJECT STATUS: CONSTRUCTION DOCUMENTS

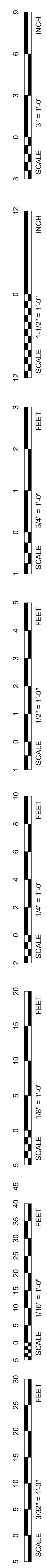


**FLOOR PLAN -  
 DEMOLITION - AREA B**

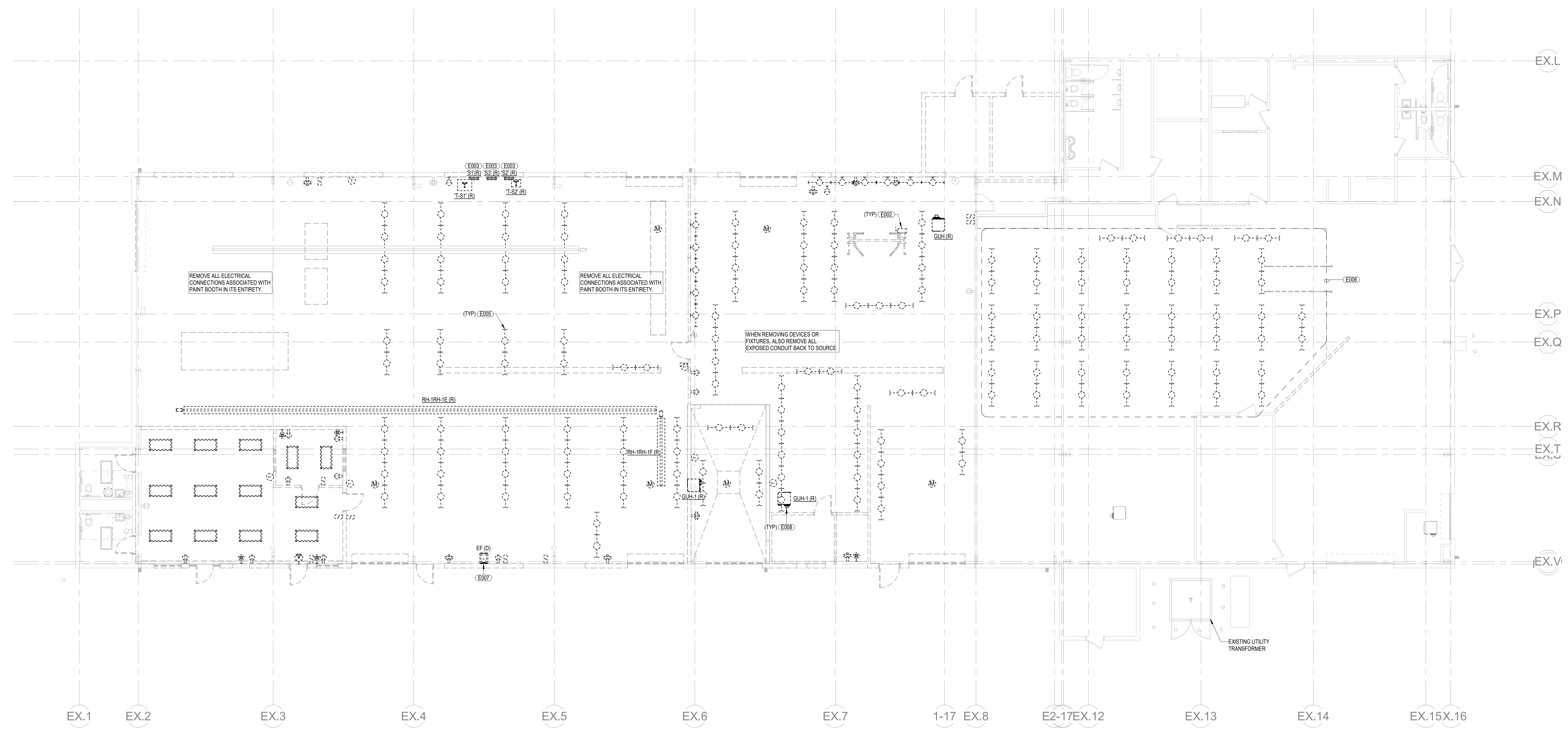
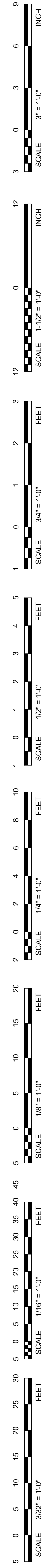
**ED1.2**

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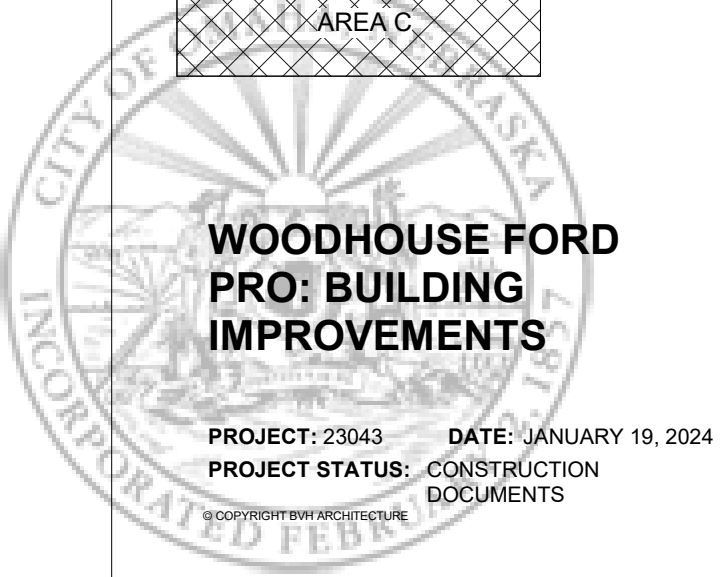
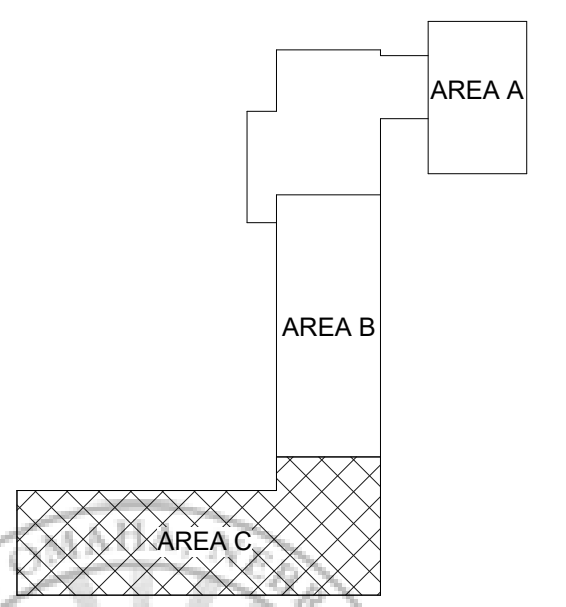
- KEYNOTES**
- E002 REMOVE FUSED DISCONNECT AND ALL ASSOCIATED WIRING BACK TO SOURCE.
  - E003 DISCONNECT ELECTRICAL PANEL FROM EXISTING LOCATION AND RELOCATE TO NEW LOCATION. INTERCEPT AND EXTEND EXISTING CIRCUITS TO REMAIN TO NEW PANEL LOCATION. SEE NEW WORK PLANS FOR NEW LOCATION.
  - E005 REMOVE LIGHT FIXTURE AND ALL WIRING BACK TO SOURCE.
  - E006 REMOVE ALL LIGHTING FIXTURES, CONDUIT, BOXES, AND WIRING ON UNDERSIDE OF MEZZANINE. MEZZANINE WILL BE REMOVED IN ITS ENTIRETY. MAINTAIN CIRCUITING AND SWITCHING CONTINUITY OF ALL OTHER LIGHTS IN THE SPACE.
  - E007 REMOVE DISCONNECT AND ALL WIRING BACK TO SOURCE.
  - E008 REMOVE DISCONNECT AND RECONNECT AT NEW LOCATION. EXTEND WIRING TO NEW LOCATION. SEE NEW WORK PLANS FOR NEW LOCATION.



**1 FIRST FLOOR - DEMOLITION - AREA C**  
1/8" = 1'-0"

**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION

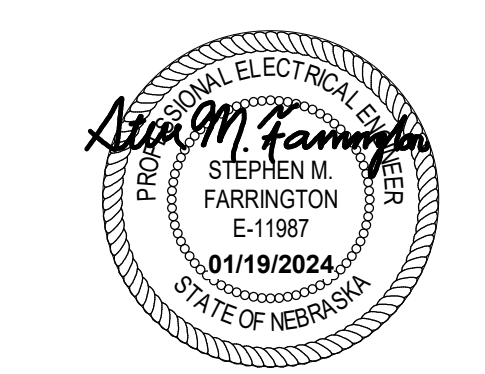


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**FLOOR PLAN - DEMOLITION - AREA C**

NORTH  
**ED1.3**

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LAMP RYNEARSON  
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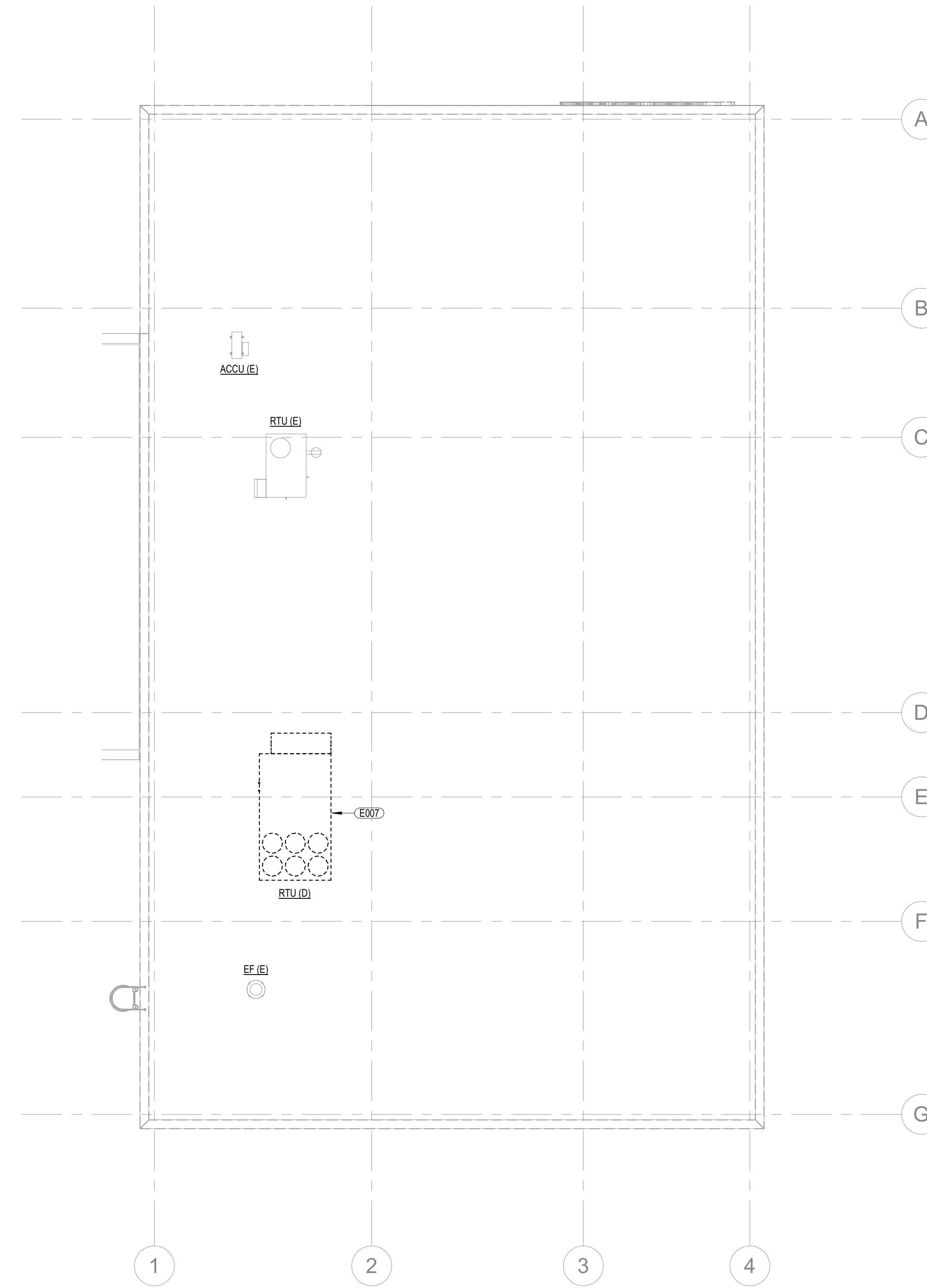
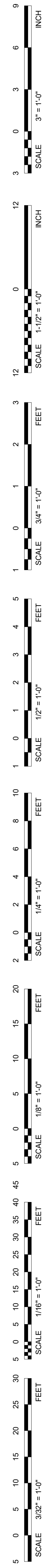
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### KEYNOTES

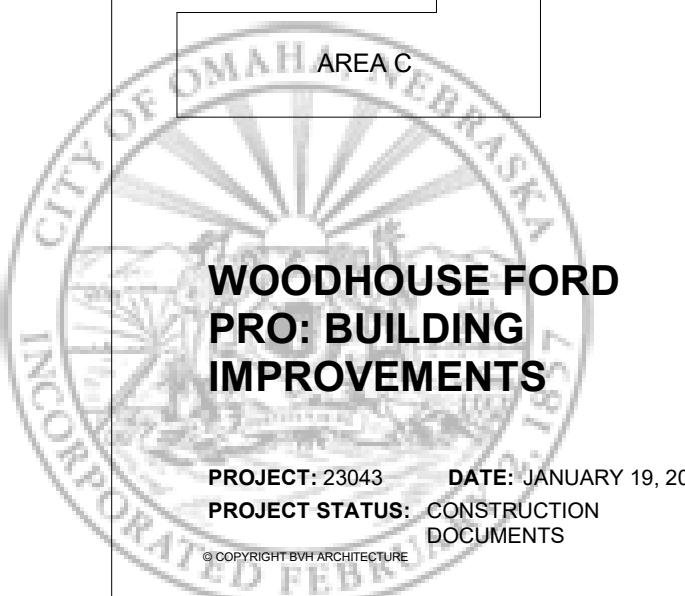
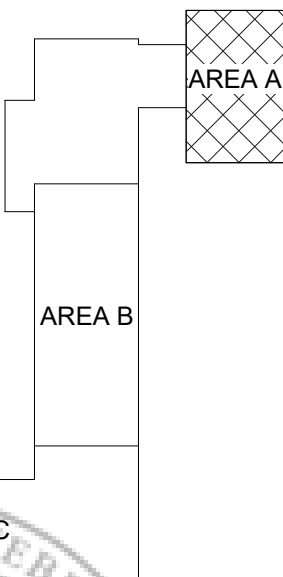
E007 REMOVE DISCONNECT AND ALL WIRING BACK TO SOURCE.



**1 ROOF LEVEL - DEMOLITION - AREA A**  
1/8" = 1'-0"

### REVISIONS SCHEDULE

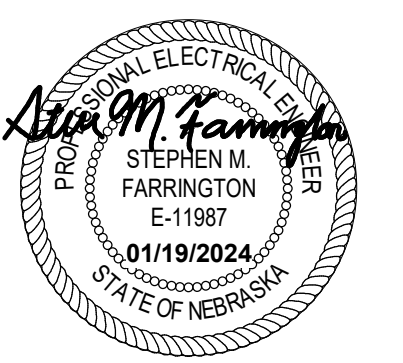
MARK	DATE	DESCRIPTION
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### ROOF PLAN - DEMOLITION - AREA A

NORTH



# ED1.4

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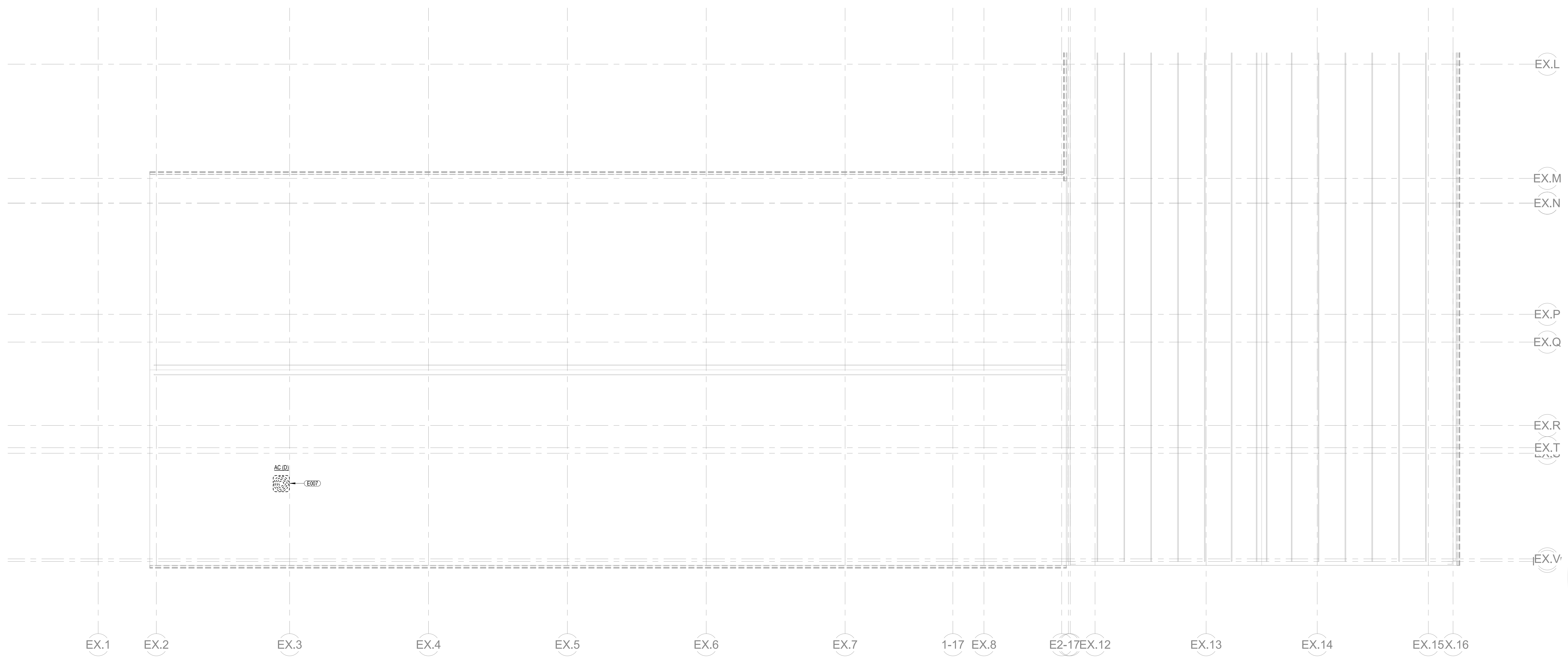
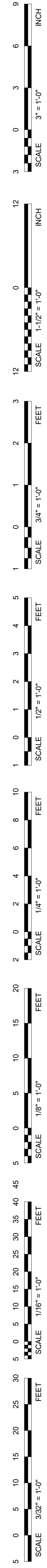
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### KEYNOTES

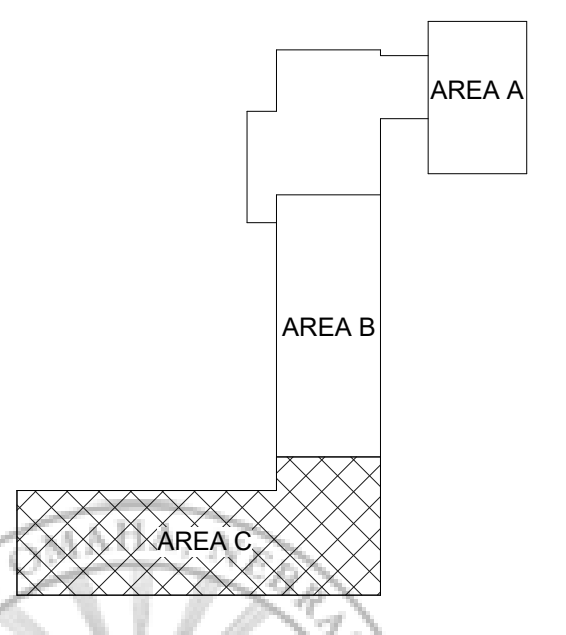
E007 REMOVE DISCONNECT AND ALL WIRING BACK TO SOURCE.



**1 ROOF LEVEL - DEMOLITION - AREA C**  
1/8" = 1'-0"

### REVISIONS SCHEDULE

MARK	DATE	DESCRIPTION

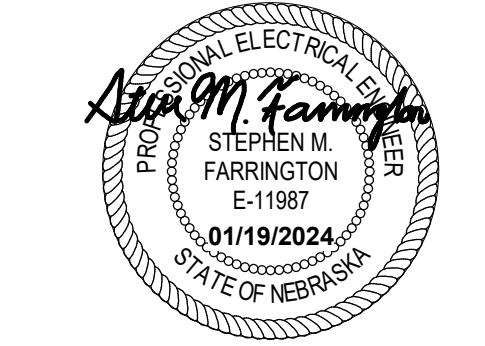


### WOODHOUSE FORD PRO: BUILDING IMPROVEMENTS

PROJECT: 23043 DATE: JANUARY 19, 2024  
PROJECT STATUS: CONSTRUCTION DOCUMENTS

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### ROOF PLAN - DEMOLITION - AREA C

NORTH  
**ED1.5**

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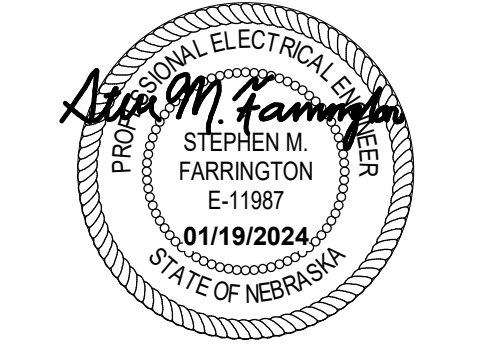
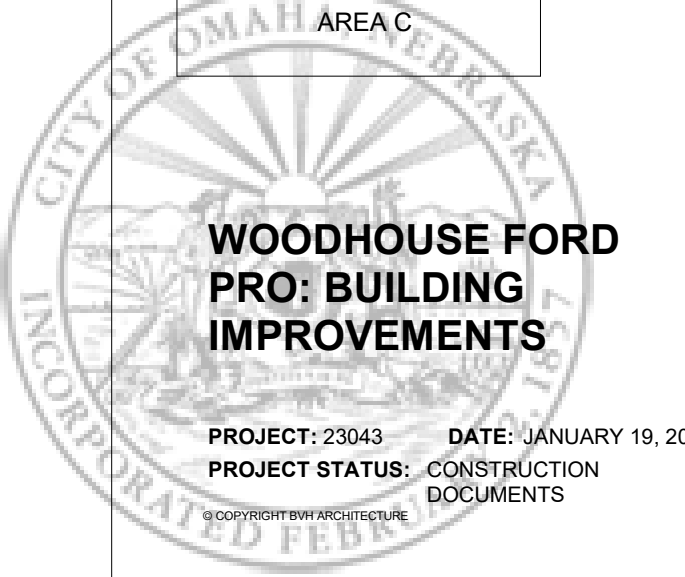
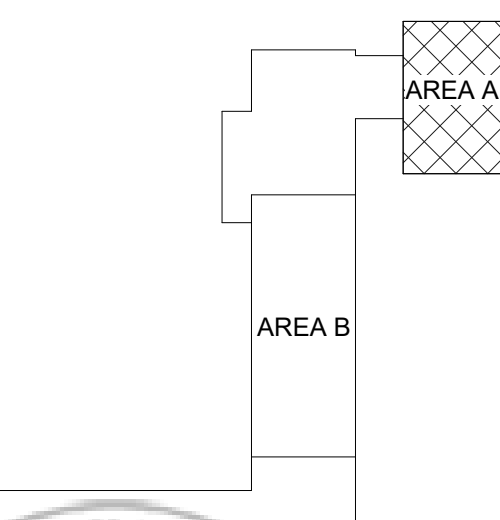
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**KEYNOTES**

- E101 PROVIDE FINAL CONNECTION TO SIGNAGE. COORDINATE LOCATION AND ALL REQUIREMENTS WITH SIGN CONTRACTOR PRIOR TO ROUGH-IN. PROVIDE AN APPROPRIATE LOCAL DISCONNECTING MEANS MOUNTED IN AN ACCESSIBLE, INCONSPICUOUS LOCATION THAT IS WITHIN SIGHT OF THE SIGN. CIRCUIT SIGN THROUGH EXISTING LIGHTING CONTROL PANEL.
- E104 CIRCUIT ALL EXTERIOR LIGHTING IN AREA A TO PANEL. THROUGH EXISTING LIGHTING CONTROL PANEL. COORDINATE THE TIME OF DAY SCHEDULING WITH ALL OTHER EXTERIOR LIGHTING THROUGHOUT THE BUILDING.
- E105 CONNECT ALL EXIT SIGNS AND EMERGENCY LIGHTING UNITS TO GENERAL LIGHTING CIRCUIT SERVING AREA AHEAD OF ALL SWITCHING AND DIMMING CONTROL. PROVIDE SENSING CONNECTIONS AS REQUIRED FOR OPERATION OF ALL EMERGENCY LIGHTING DEVICES. FOR LUMINAIRES WITH INTEGRAL BATTERIES, CONNECT BATTERY LEADS TO ROOM LIGHTING CIRCUIT AHEAD OF ALL SWITCHING AND DIMMING CONTROL.
- E108 PROVIDE 1/2" CONDUIT TO FACP.

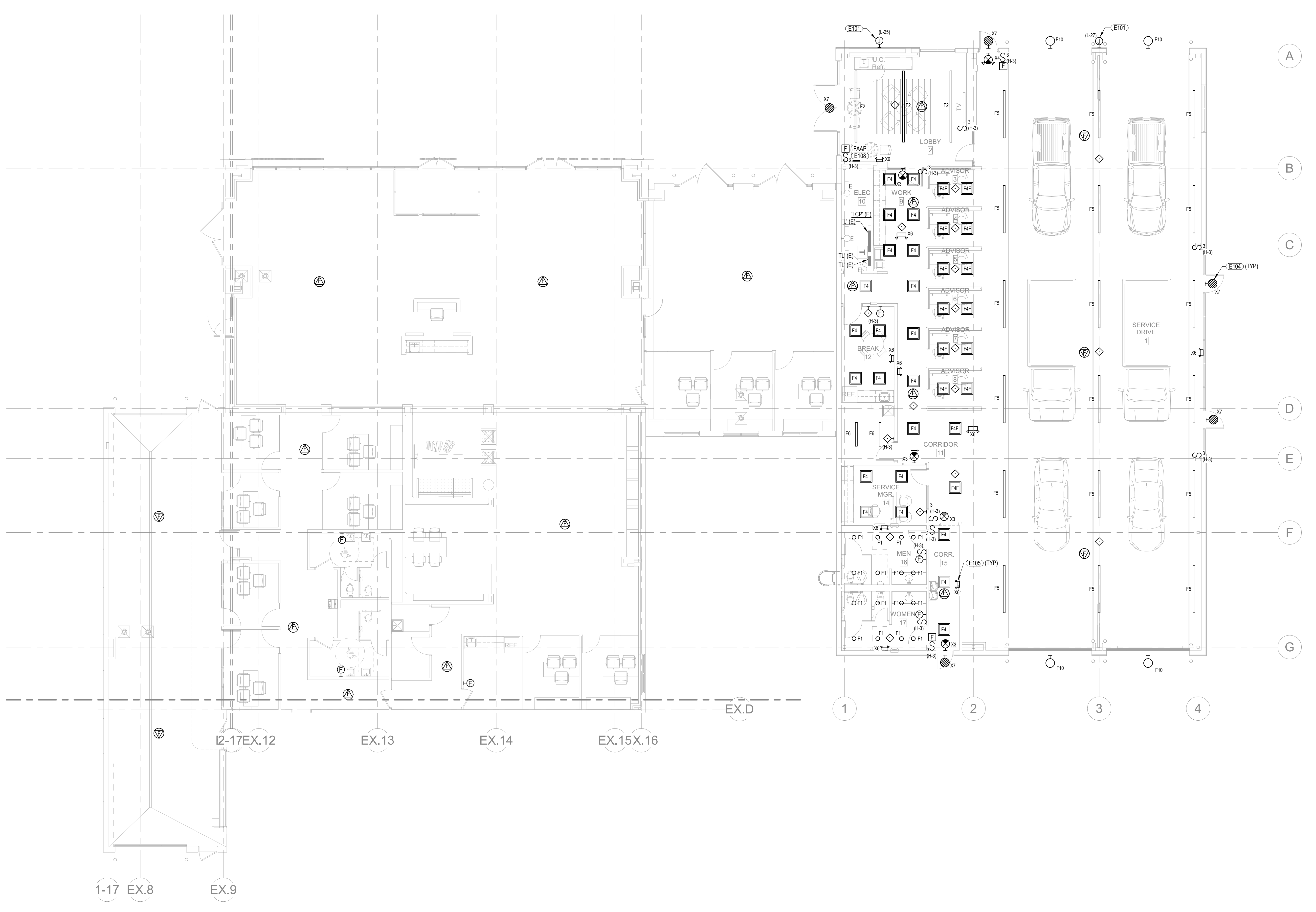
**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION



**FLOOR PLAN - LIGHTING - AREA A**

**E1.1**



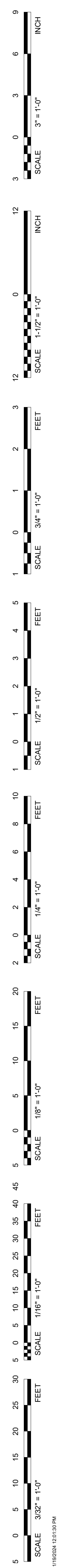
**1 FIRST FLOOR - LIGHTING - AREA A**  
 1/8" = 1'-0"

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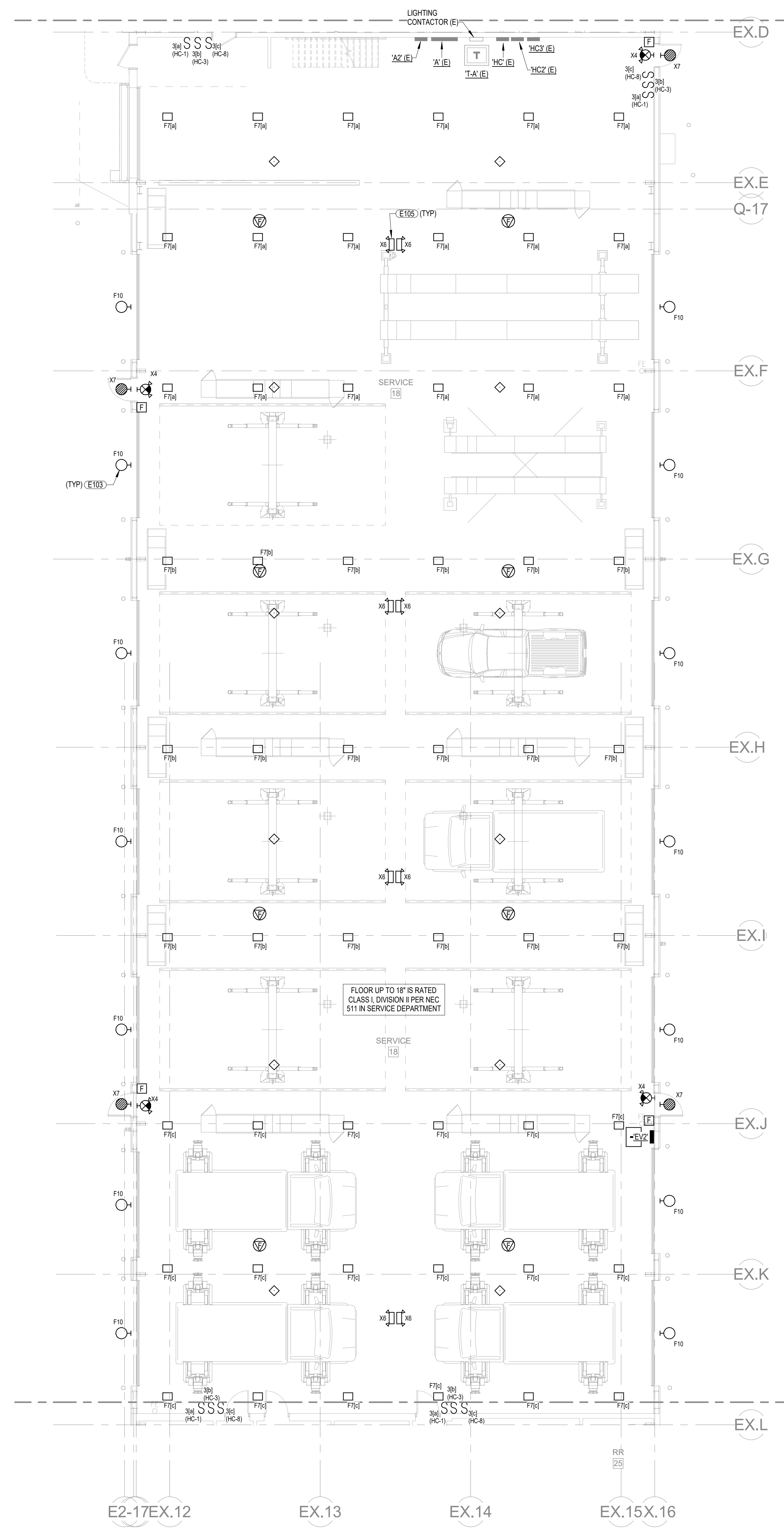
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**KEYNOTES**

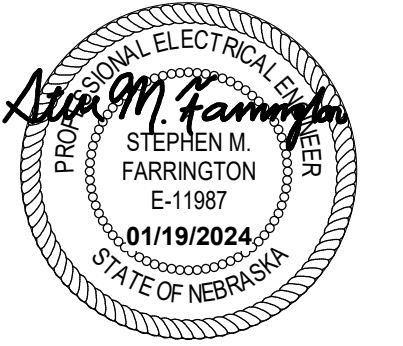
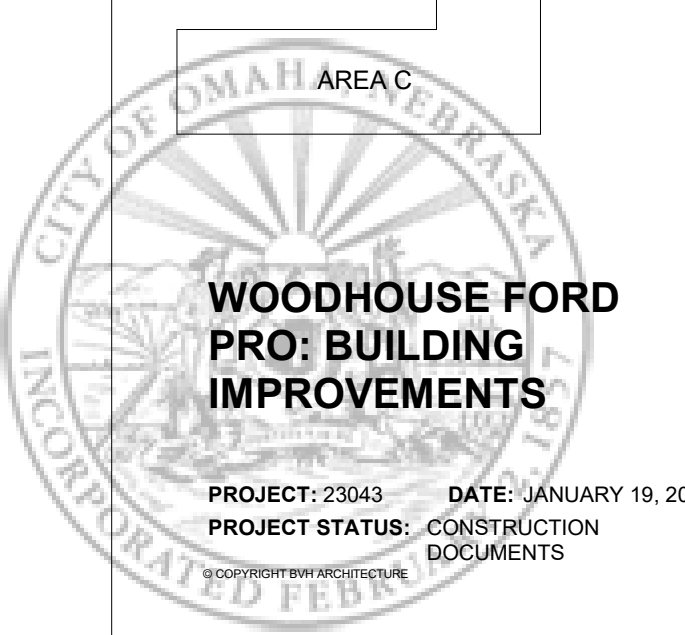
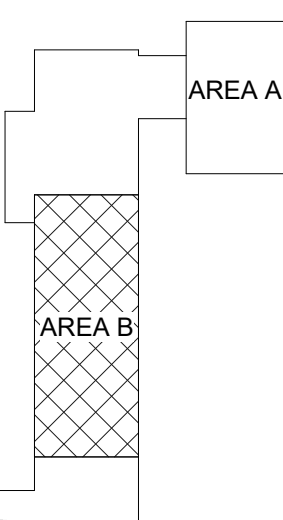
- E103 CIRCUIT ALL EXTERIOR LIGHTING IN AREA B TO PANEL HC THROUGH EXISTING LIGHTING CONTRACTORS. COORDINATE THE TIME OF DAY SCHEDULING WITH ALL OTHER EXTERIOR LIGHTING THROUGHOUT THE BUILDING.
- E105 CONNECT ALL EXIT SIGNS AND EMERGENCY LIGHTING UNITS TO GENERAL LIGHTING CIRCUIT SERVING AREA AHEAD OF ALL SWITCHING AND DIMMING CONTROL. PROVIDE SENSING CONNECTIONS AS REQUIRED FOR OPERATION OF ALL EMERGENCY LIGHTING DEVICES. FOR LUMINAIRES WITH INTEGRAL BATTERIES, CONNECT BATTERY LEADS TO ROOM LIGHTING CIRCUIT AHEAD OF ALL SWITCHING AND DIMMING CONTROL.



00002 - MPE (Frank Reida)  
 Electrical Classification

**REVISIONS SCHEDULE**

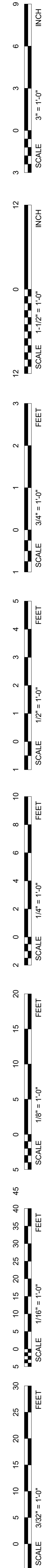
MARK	DATE	DESCRIPTION



**FLOOR PLAN - LIGHTING - AREA B**



**E1.2**



**1 FIRST FLOOR - LIGHTING - AREA B**  
 1/8" = 1'-0"

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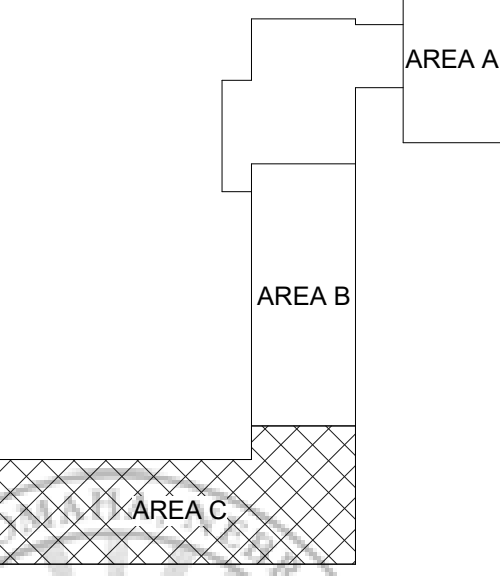


### KEYNOTES

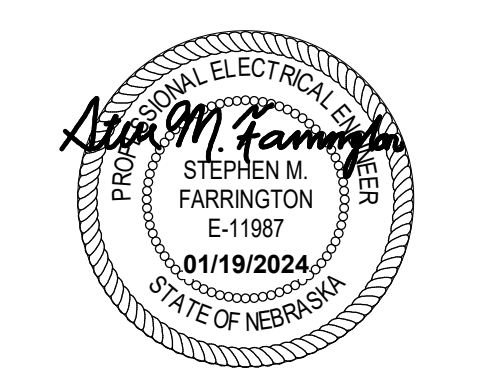
- E102 PROVIDE TIMELOCK AND CIRCUIT ALL EXTERIOR LIGHTING IN AREA C TO PANEL H2 THROUGH TIMELOCK. COORDINATE THE TIME OF DAY SCHEDULING WITH ALL OTHER EXTERIOR LIGHTING THROUGHOUT THE BUILDING.
- E105 CONNECT ALL EXIT SIGNS AND EMERGENCY LIGHTING UNITS TO GENERAL LIGHTING CIRCUIT SERVING AREA AHEAD OF ALL SWITCHING AND DIMMING CONTROL. PROVIDE SENSING CONNECTIONS AS REQUIRED FOR OPERATION OF ALL EMERGENCY LIGHTING DEVICES. FOR LUMINAIRES WITH INTEGRAL BATTERIES, CONNECT BATTERY LEADS TO ROOM LIGHTING CIRCUIT AHEAD OF ALL SWITCHING AND DIMMING CONTROL.
- E106 PROVIDE TAMPER AND FLOW SWITCH FOR NEW FIRE SERVICE ENTRANCE AND FOR EACH SPRINKLER VALVE STATION REQUIRED TO BE SUPERVISED. PROVIDE EXTERIOR WEATHERPROOF NOTIFICATION APPLIANCE MOUNTED DIRECTLY ABOVE THE FIRE DEPARTMENT CONNECTION POINT. COORDINATE THE LOCATION OF THE FIRE DEPARTMENT CONNECTION POINT WITH THE FIRE SPRINKLER CONTRACTOR PRIOR TO ROUGH-IN.
- E109 PROVIDE F.A. WIRING IN 1" CONDUIT FROM FIRE ALARM CONTROL PANEL TO ELECTRONICALLY SUPERVISED POST INDICATOR VALVE. COORDINATE EXACT LOCATION AND ALL REQUIREMENTS WITH FIRE SPRINKLER CONTRACTOR PRIOR TO ROUGH-IN.

### REVISIONS SCHEDULE

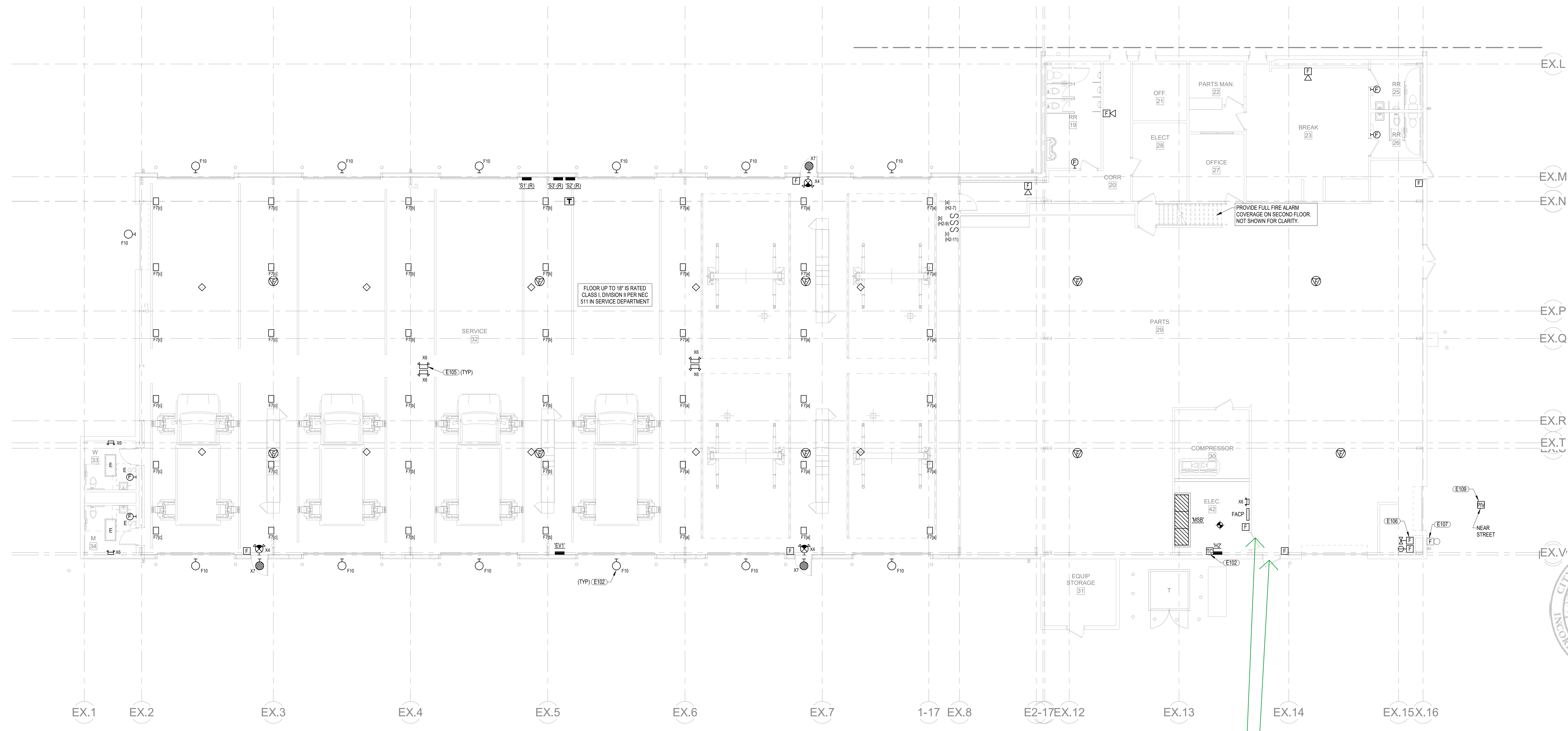
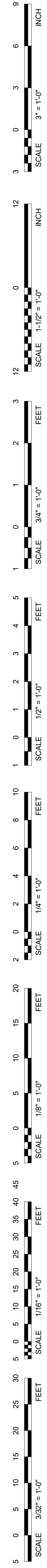
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 PROJECT: 23043 DATE: JANUARY 19, 2024  
 PROJECT STATUS: CONSTRUCTION DOCUMENTS



### FLOOR PLAN - LIGHTING - AREA C



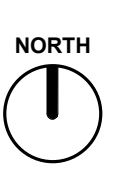
### 1 FIRST FLOOR - LIGHTING - AREA C

1/8" = 1'-0"

00003 - MPE (Frank Reid) Electric room egress doors to be equipped with listed panic hardware, 25 feet beyond the working space. NEC 2017 Section 110.26(C).

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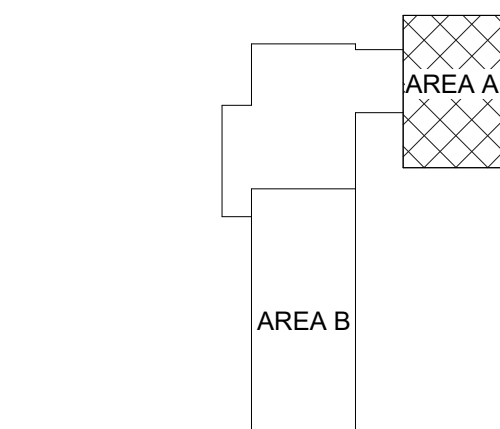


**KEYNOTES**

- E202 PROVIDE FINAL CONNECTION TO INSTANTANEOUS WATER HEATER. THE REQUIRED DISCONNECTING MEANS SHALL CONSIST OF PADLOCK ACCESSORY ON CIRCUIT BREAKER SERVING WATER HEATER BRANCH CIRCUIT TO LOCK CIRCUIT BREAKER IN OPEN (OFF) POSITION. COORDINATE ALL REQUIREMENTS WITH PLUMBING CONTRACTOR PRIOR TO ROUGH-IN.
- E203 PROVIDE FINAL CONNECTION TO GARAGE DOOR OPENER. PROVIDE ALL PUSHBUTTONS AND UNDER CONCRETE LOOPS AS REQUIRED FOR A FULLY FUNCTIONAL SYSTEM.
- E205 PROVIDE FINAL 120V CONNECTION TO GAS FIRED RADIANT HEATER.
- E210 PROVIDE JUNCTION BOX FOR TOGGLE SWITCH DOOR CONTROLLER (FURNISHED BY OTHERS). TOGGLE SWITCH DEACTIVATES OVERHEAD DOOR SENSORS FOR DOORS WITHIN THIS ROOM. COORDINATE ROUGH-IN REQUIREMENTS WITH DOOR SUPPLIER.
- E213 OVERHEAD DOOR CONTROL JUNCTION BOX PROVIDE 4" SQUARE JUNCTION BOX MOUNTED AT 24" AFF FOR CONTROL CNDUT CONNECTIONS. ELECTRICAL CONTRACTOR SHALL INSTALL ALL DOOR SENSORS ASSOCIATED WITH OVERHEAD DOORS INCLUDING MOTION DETECTORS AND THROUGH-BEAM PHOTOCELLS. COORDINATE CONNECTION REQUIREMENTS WITH DOOR SUPPLIER.

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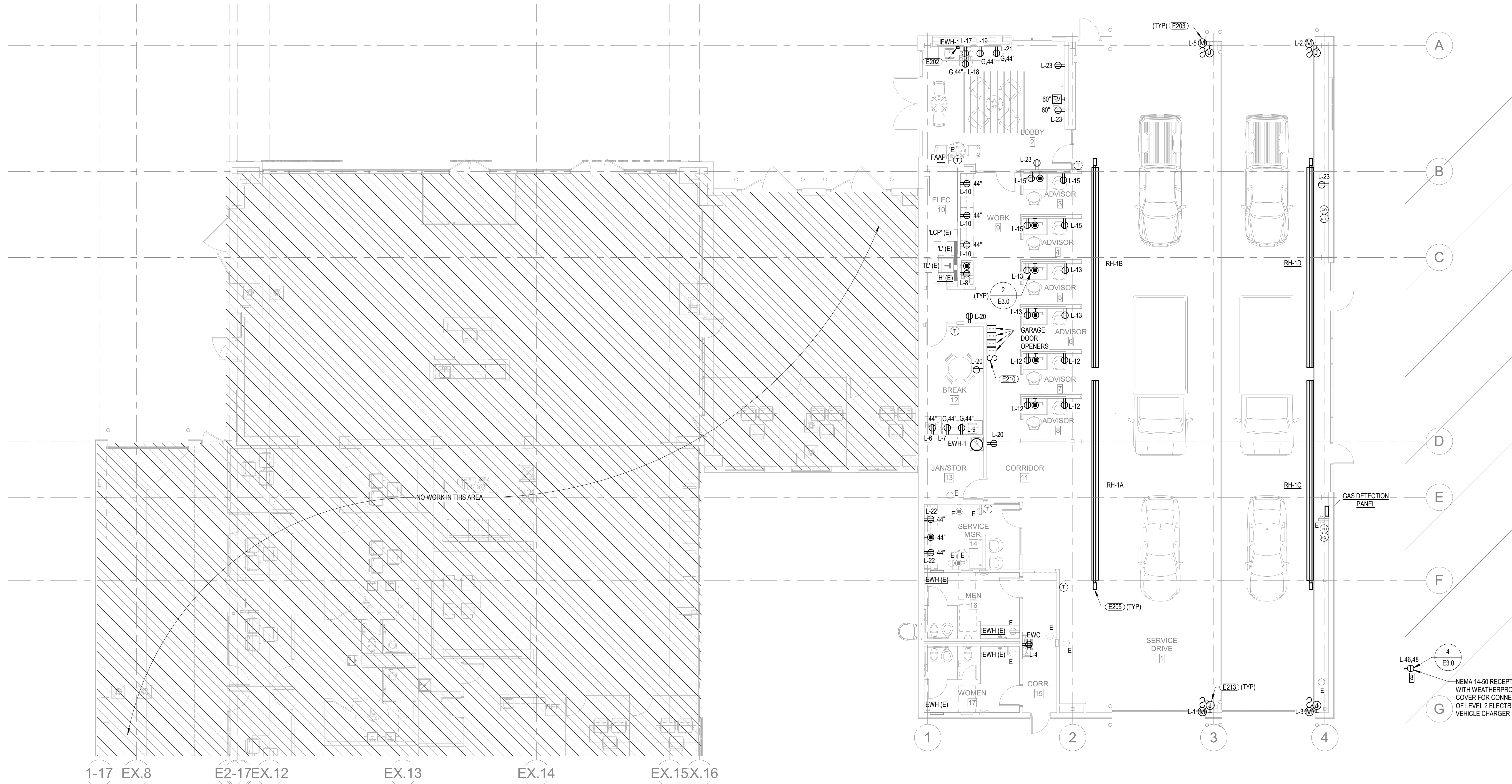
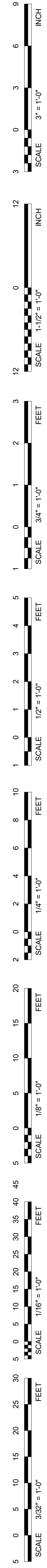


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PROJECT: 23043 DATE: JANUARY 19, 2024  
 PROJECT STATUS: CONSTRUCTION DOCUMENTS

ALLEN M. KAMMER  
 PROFESSIONAL ENGINEER  
 STATE OF NEBRASKA  
 E-11987  
 07/19/2024

**FIRST FLOOR PLAN - POWER - AREA A**



**1 FIRST FLOOR - POWER - AREA A**  
 1/8" = 1'-0"

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**BVH ARCHITECTURE**  
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 OMAHA, NE 68102  
 V 402 345 3090  
 F 402 345 7871  
 bvh.com

**CIVIL ENGINEER**  
**LAMP RYNEARSON**  
 14710 W DODGE RD #100  
 OMAHA, NE 68154  
 V 402 496 2498  
 lra-inc.com

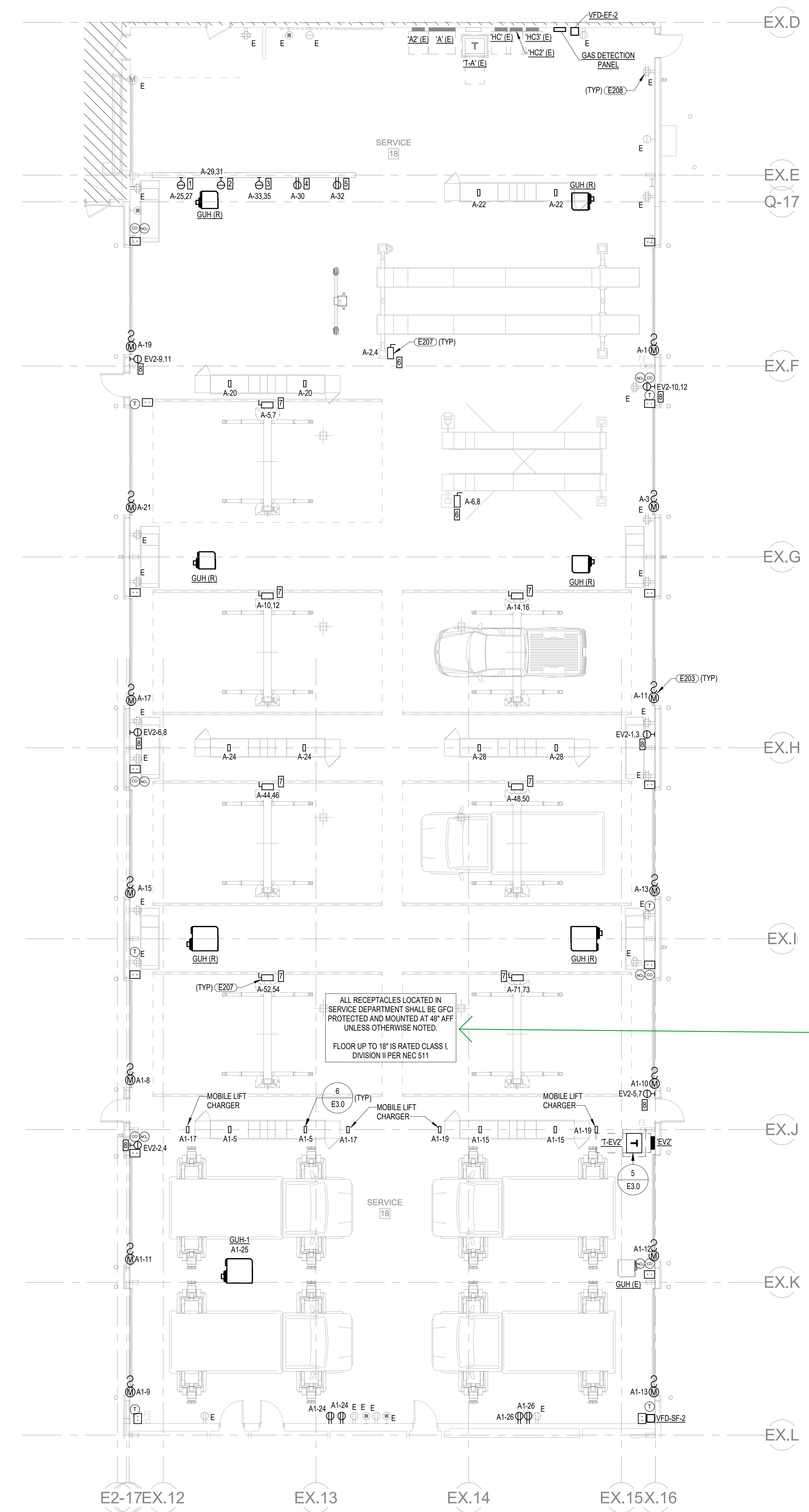
**STRUCTURAL ENGINEER**  
**LANGE STRUCTURAL GROUP**  
 1919 S 40TH STREET, SUITE 302  
 LINCOLN, NE 68506  
 V 402 421 9540  
 langestructuralgroup.com

**MEP ENGINEER**  
**MORRISSEY ENGINEERING**  
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 OMAHA, NE 68184  
 V 402 491 4144  
 morrisseyengineering.com

**CONSTRUCTION MANAGER**  
**MCL CONSTRUCTION**  
 14124 INDUSTRIAL RD  
 OMAHA, NE 68144  
 V 402 339 2221  
 mclconstruction.com

**KEYNOTES**

- E203 PROVIDE FINAL CONNECTION TO GARAGE DOOR OPENER. PROVIDE ALL PUSHBUTTONS AND UNDER CONCRETE LOOPS AS REQUIRED FOR A FULLY FUNCTIONAL SYSTEM.
- E207 PROVIDE FINAL CONNECTION TO LIFT. COORDINATE LOCATION OF CONNECTION POINT WITH EQUIPMENT MANUFACTURER PRIOR TO ROUGH-IN. SEE EQUIPMENT CONNECTION SCHEDULE FOR MORE INFORMATION.
- E208 REMOVE EXISTING RECEPTACLE AND REPLACE WITH GFCI RECEPTACLE. TYPICAL OF ALL EXISTING RECEPTABLES.



00004 - MPE (Frank Reida)  
 Electrical classification

**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION

AREA A  
 AREA B  
 AREA C

**WOODHOUSE FORD PRO BUILDING IMPROVEMENTS**  
 PROJECT: 23043 DATE: JANUARY 19, 2024  
 PROJECT STATUS: CONSTRUCTION DOCUMENTS

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**E2.2**

**1 FIRST FLOOR - POWER - AREA B**  
 1/8" = 1'-0"

9 INCH SCALE 3" = 1'-0"

12 INCH SCALE 1-1/2" = 1'-0"

3 FEET SCALE 3/4" = 1'-0"

5 FEET SCALE 1/2" = 1'-0"

10 FEET SCALE 1/4" = 1'-0"

20 FEET SCALE 1/8" = 1'-0"

30 FEET SCALE 3/32" = 1'-0"

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**BVH ARCHITECTURE**  
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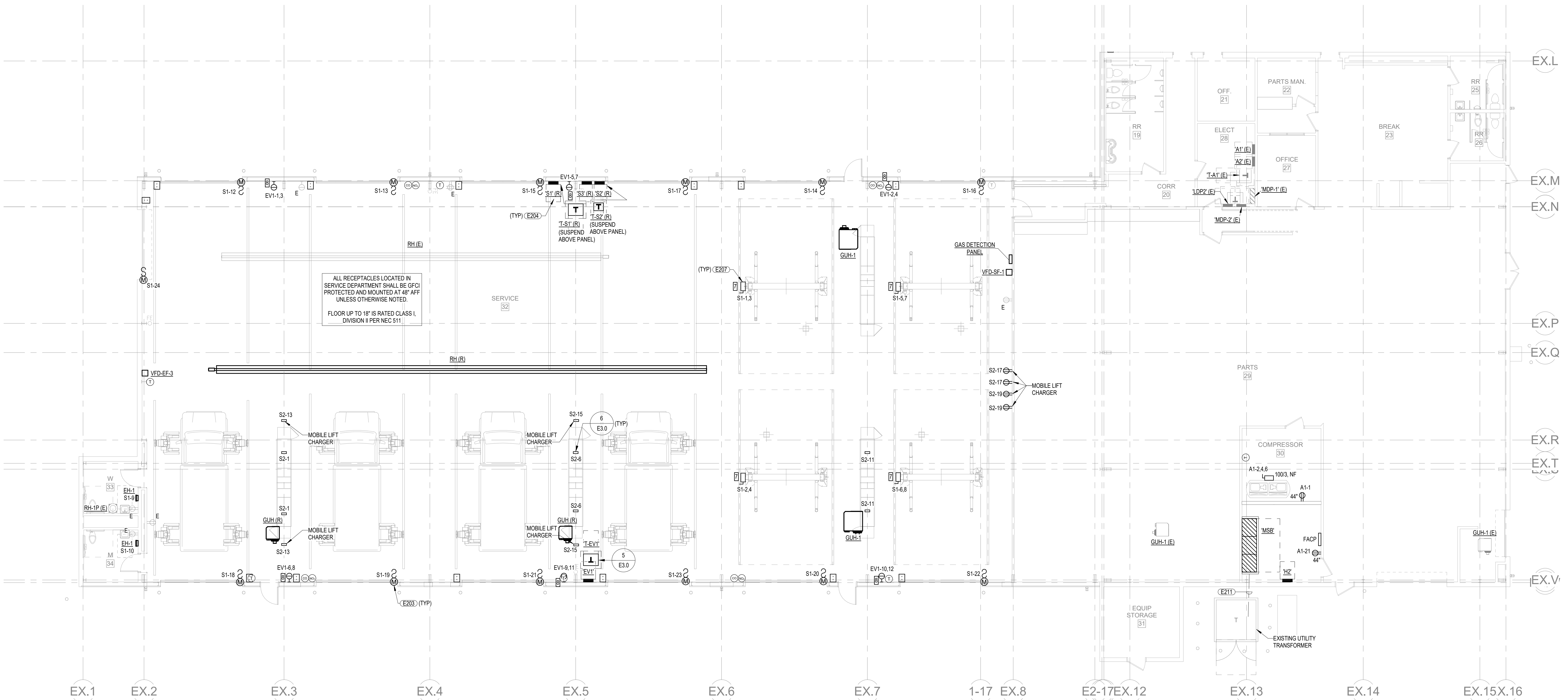
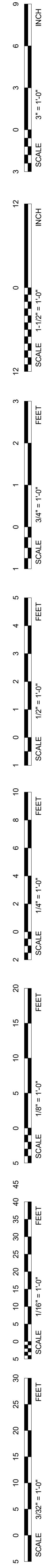
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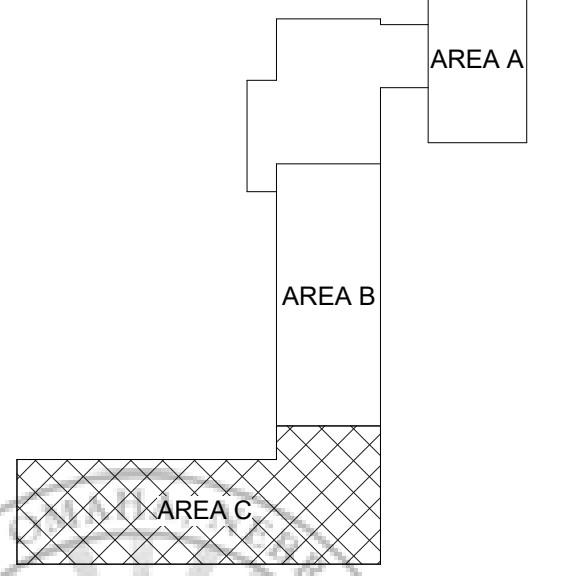
- E203 PROVIDE FINAL CONNECTION TO GARAGE DOOR OPENER. PROVIDE ALL PUSHBUTTONS AND UNDER CONCRETE LOOPS AS REQUIRED FOR A FULLY FUNCTIONAL SYSTEM.
- E204 INTERCEPT AND EXTEND EXISTING CIRCUITS TO REMAIN FROM PREVIOUS LOCATION TO PANEL'S NEW LOCATION.
- E207 PROVIDE FINAL CONNECTION TO LIFT. COORDINATE LOCATION OF CONNECTION POINT WITH EQUIPMENT MANUFACTURER PRIOR TO ROUGH-IN. SEE EQUIPMENT CONNECTION SCHEDULE FOR MORE INFORMATION.
- E211 PROVIDE UNDERGROUND SECONDARY CONDUITS AND CONDUCTORS. COORDINATE OPENING OF UTILITY TRANSFORMER WITH OPPO. SEE RISER DIAGRAM FOR ADDITIONAL INFORMATION.



ALL RECEPTACLES LOCATED IN SERVICE DEPARTMENT SHALL BE GFCI PROTECTED AND MOUNTED AT 48" AFF UNLESS OTHERWISE NOTED.  
 FLOOR UP TO 18" IS RATED CLASS I, DIVISION II PER NEC 511

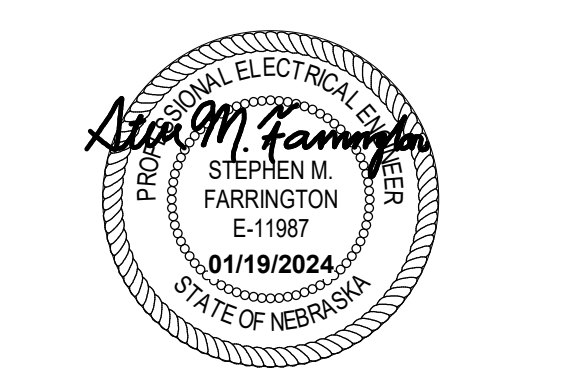
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**FIRST FLOOR PLAN - POWER - AREA C**

**E2.3**

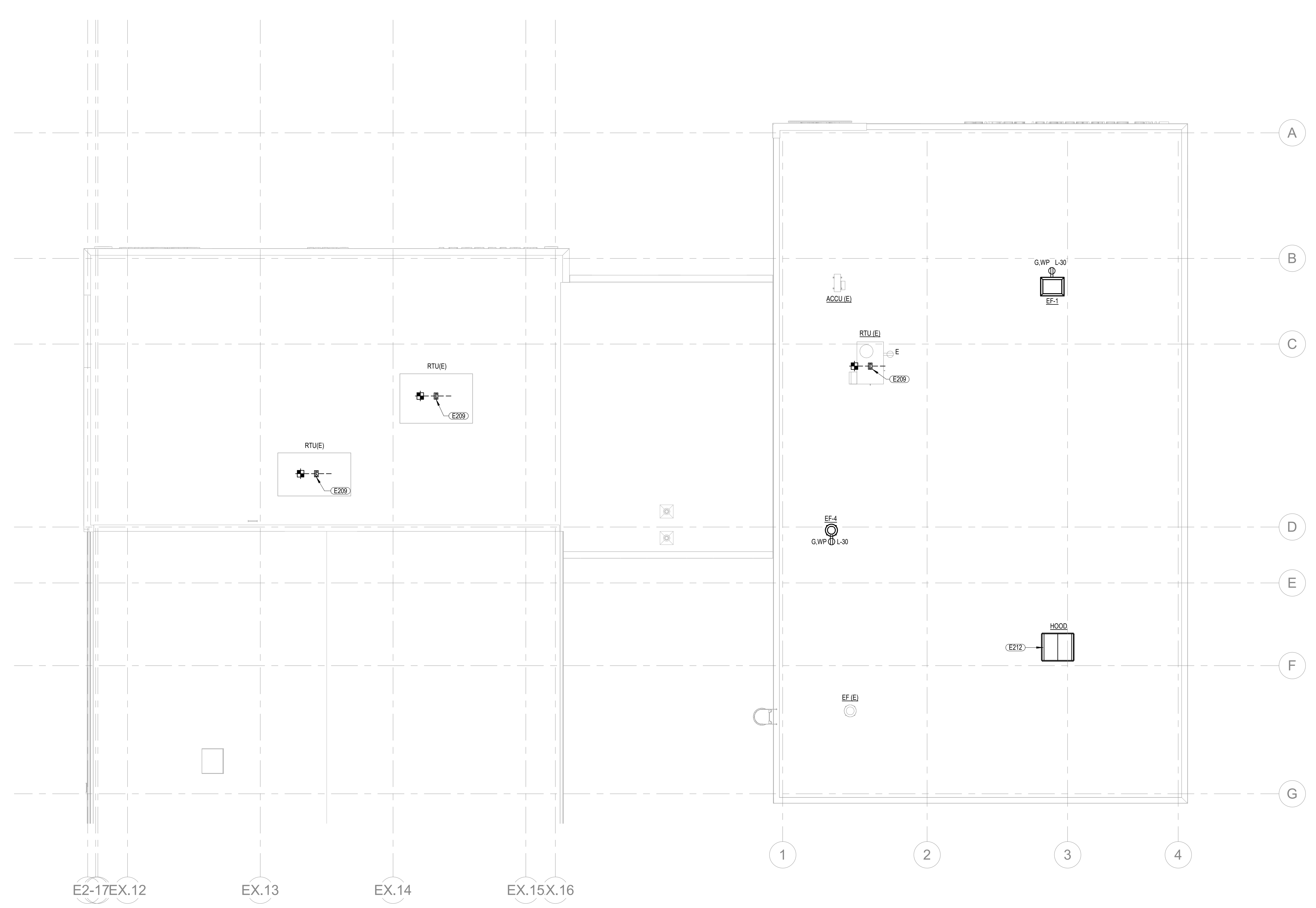
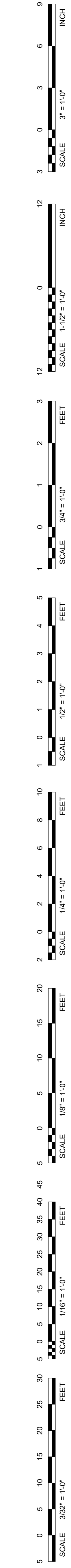
**1 FIRST FLOOR - POWER - AREA C**  
 1/8" = 1'-0"

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**KEYNOTES**

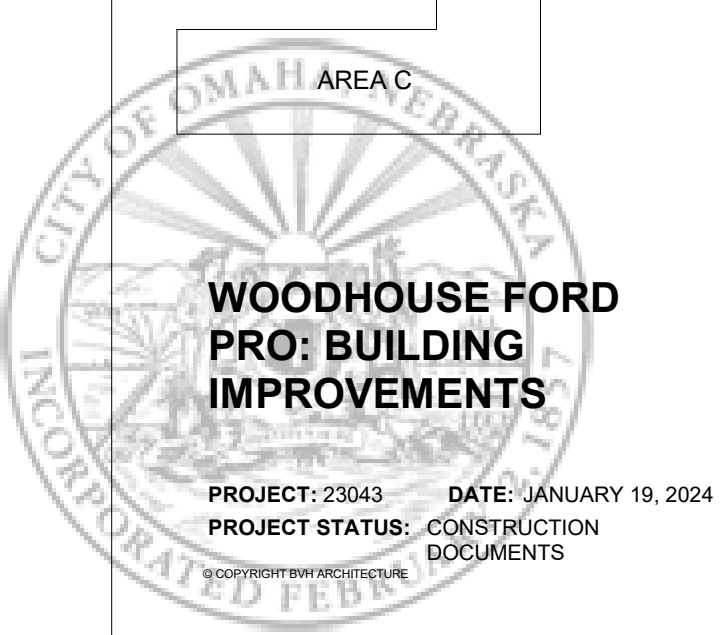
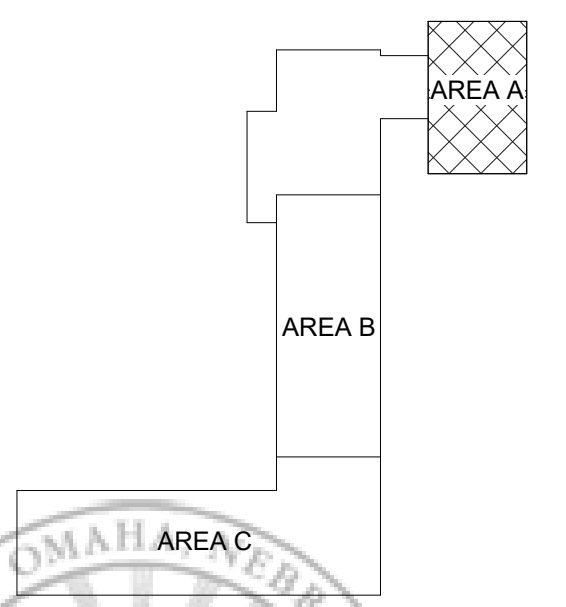
- E209 REMOVE EXISTING DUCT SMOKE DETECTOR AND RELAY FOR HVAC UNIT SUPPLY FAN. NEW DUCT SMOKE DETECTOR AND RELAY FOR HVAC UNIT SUPPLY FAN SHUTDOWN SHALL BE FURNISHED BY THE ELECTRICAL CONTRACTOR FOR INSTALLATION BY THE MECHANICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR SHALL ALSO PROVIDE A REMOTE KEYPED TEST STATION WITH VISUAL STATUS INDICATOR WHEN DUCT SMOKE DETECTOR IS INSTALLED IN A CONCEALED LOCATION GREATER THAN 10'-0" ABOVE FINISHED FLOOR OR WHEN DUCT SMOKE DETECTORS STATUS INDICATORS ARE NOT READILY VISIBLE. COORDINATE LOCATION OF REMOTE KEYPED TEST STATION WITH AUTHORITY HAVING JURISDICTION AND OWNER PRIOR TO ROUGH-IN. ALL FINAL WIRING SHALL BE BY THE ELECTRICAL CONTRACTOR.
- E212 PROVIDE CONNECTION TO MOTORIZED DAMPER AND INTERLOCK WITH ASSOCIATED EXHAUST FAN.



**1 ROOF LEVEL - POWER - AREA A**  
 1/8" = 1'-0"

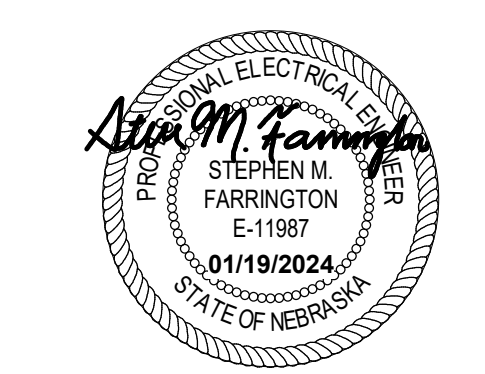
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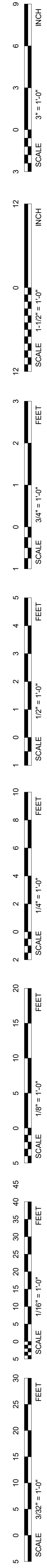


**ROOF PLAN - POWER - AREA A**



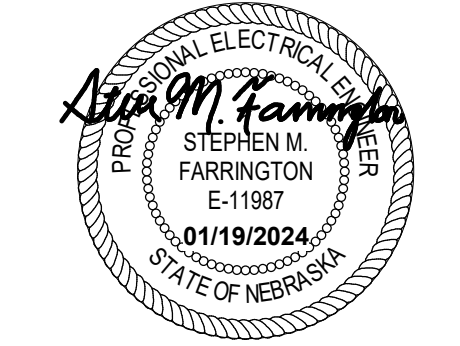
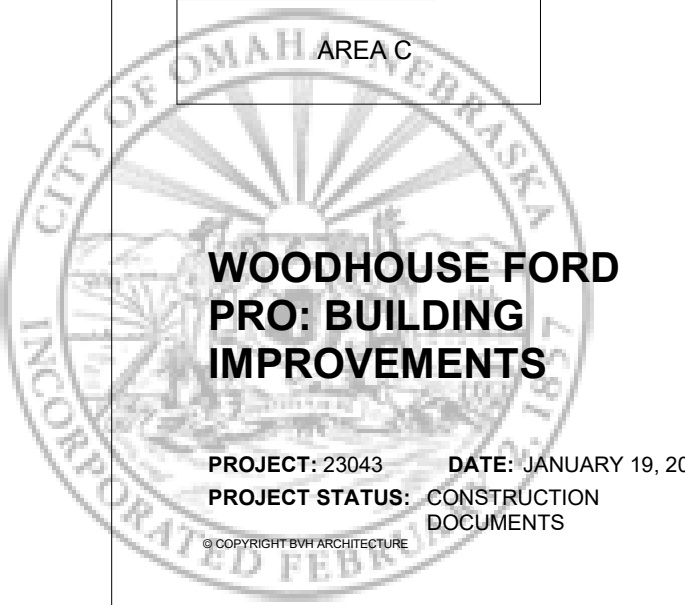
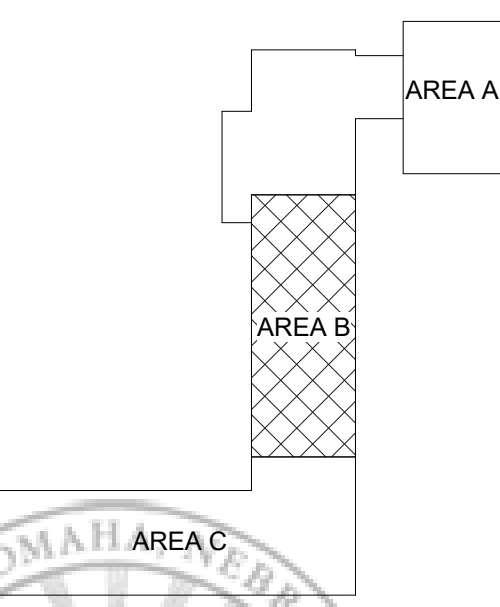
**KEYNOTES**

E206 DUCT SMOKE DETECTOR AND RELAY FOR HVAC UNIT SUPPLY FAN SHUTDOWN SHALL BE FURNISHED BY THE ELECTRICAL CONTRACTOR FOR INSTALLATION BY THE MECHANICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR SHALL ALSO PROVIDE A REMOTE KEYPED TEST STATION WITH VISUAL STATUS ANNUNCIATOR WHEN DUCT SMOKE DETECTOR IS INSTALLED IN A CONCEALED LOCATION GREATER THAN 10' ABOVE FINISHED FLOOR OR WHEN DUCT SMOKE DETECTOR'S STATUS INDICATORS ARE NOT READILY VISIBLE. COORDINATE LOCATION OF REMOTE KEYPED TEST STATION WITH AUTHORITY HAVING JURISDICTION AND OWNER PRIOR TO ROUGH-IN. ALL FINAL WIRING SHALL BE BY THE ELECTRICAL CONTRACTOR.

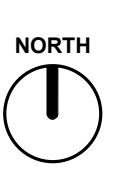


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MARK	DATE	DESCRIPTION



**ROOF PLAN - POWER - AREA B**



**E2.5**

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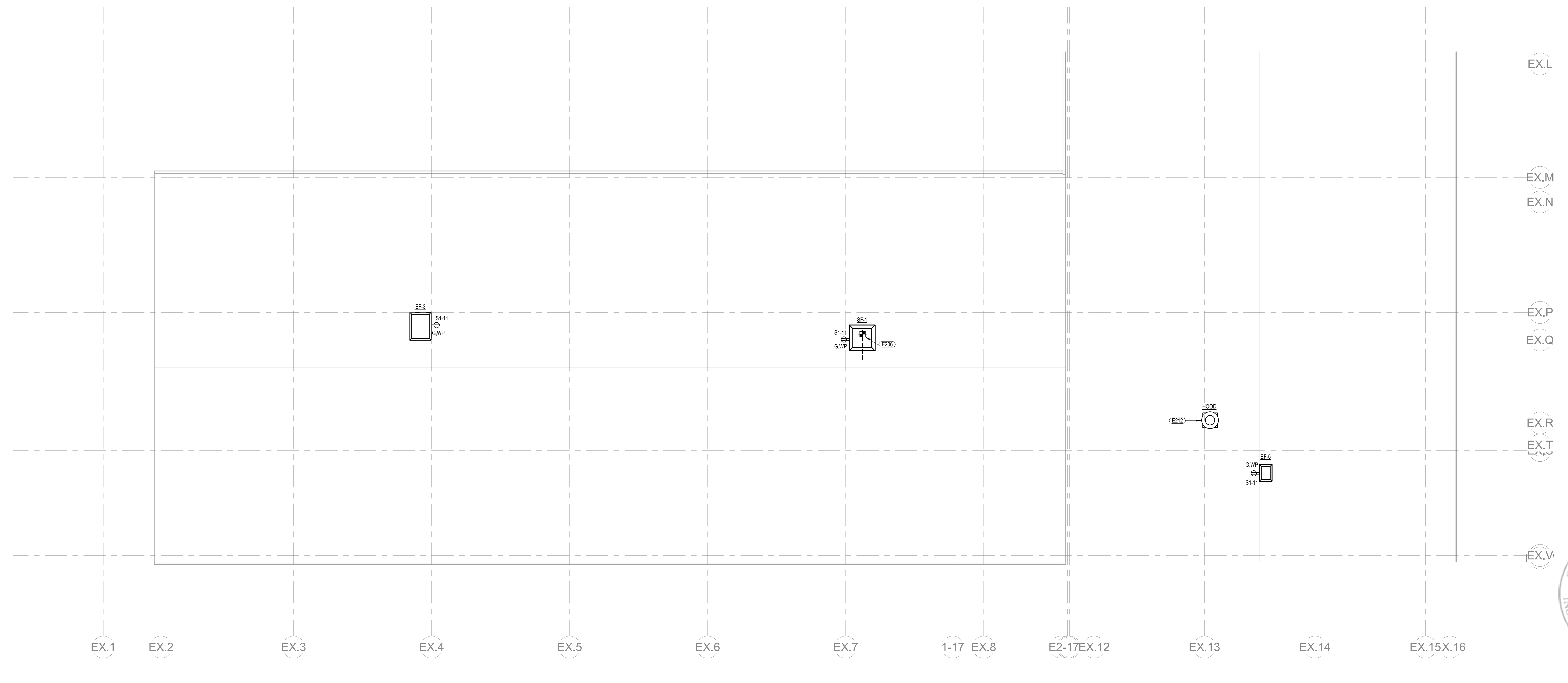
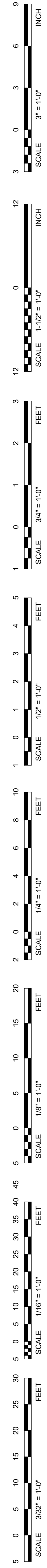
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**1 ROOF LEVEL - POWER - AREA B**  
 1/8" = 1'-0"

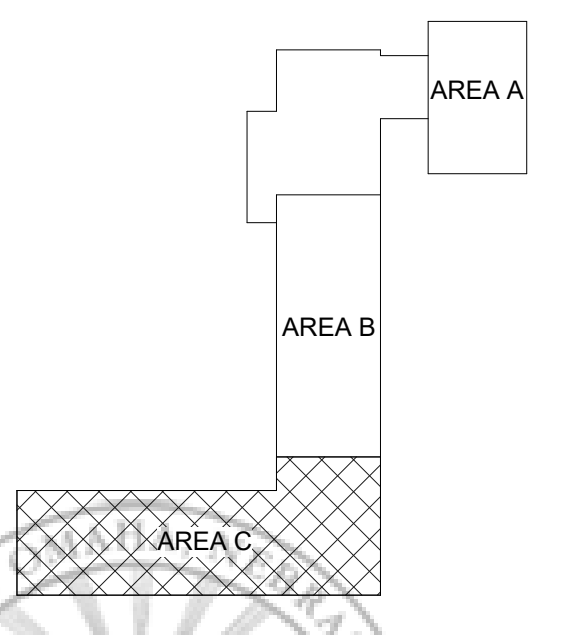
**KEYNOTES**

- E206 DUCT SMOKE DETECTOR AND RELAY FOR HVAC UNIT SUPPLY FAN SHUTDOWN SHALL BE FURNISHED BY THE ELECTRICAL CONTRACTOR FOR INSTALLATION BY THE MECHANICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR SHALL ALSO PROVIDE A REMOTE KEYPED TEST STATION WITH VISUAL STATUS ANNUNCIATOR WHEN DUCT SMOKE DETECTOR IS INSTALLED IN A CONCEALED LOCATION GREATER THAN 10' ABOVE FINISHED FLOOR OR WHEN DUCT SMOKE DETECTOR'S STATUS INDICATORS ARE NOT READILY VISIBLE. COORDINATE LOCATION OF REMOTE KEYPED TEST STATION WITH AUTHORITY HAVING JURISDICTION AND OWNER PRIOR TO ROUGH-IN. ALL FINAL WIRING SHALL BE BY THE ELECTRICAL CONTRACTOR.
- E212 PROVIDE CONNECTION TO MOTORIZED DAMPER AND INTERLOCK WITH ASSOCIATED EXHAUST FAN.

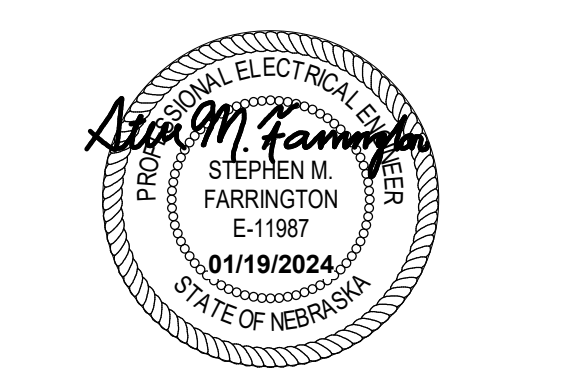


**1 ROOF LEVEL - POWER - AREA C**  
 1/8" = 1'-0"

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION



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**ROOF PLAN - POWER - AREA C**

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note:  
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**ARCHITECT**  
**BVH ARCHITECTURE**  
 901 JONES STREET  
 OMAHA, NE 68102  
 V 402 345 3090  
 F 402 345 7871  
 bvh.com

**CIVIL ENGINEER**  
**LAMP RYNEARSON**  
 14710 W DODGE RD #100  
 OMAHA, NE 68154  
 V 402 496 2498  
 lra-inc.com

**STRUCTURAL ENGINEER**  
**LANGE STRUCTURAL GROUP**  
 1919 S 40TH STREET, SUITE 302  
 LINCOLN, NE 68506  
 V 402 421 9540  
 langestructuralgroup.com

**MEP ENGINEER**  
**MORRISSEY ENGINEERING**  
 4940 N 118TH ST  
 OMAHA, NE 68184  
 V 402 491 4144  
 morrisseyengineering.com

**CONSTRUCTION MANAGER**  
**MCL CONSTRUCTION**  
 14124 INDUSTRIAL RD  
 OMAHA, NE 68144  
 V 402 339 2221  
 mclconstruction.com

9 INCH  
 6 INCH  
 3 INCH  
 0 INCH  
 3 3" = 1'-0"  
 SCALE

12 INCH  
 0 INCH  
 1 1/2" = 1'-0"  
 SCALE

3 FEET  
 2 FEET  
 1 FEET  
 0 FEET  
 3/4" = 1'-0"  
 SCALE

5 FEET  
 4 FEET  
 3 FEET  
 2 FEET  
 1 FEET  
 0 FEET  
 1/2" = 1'-0"  
 SCALE

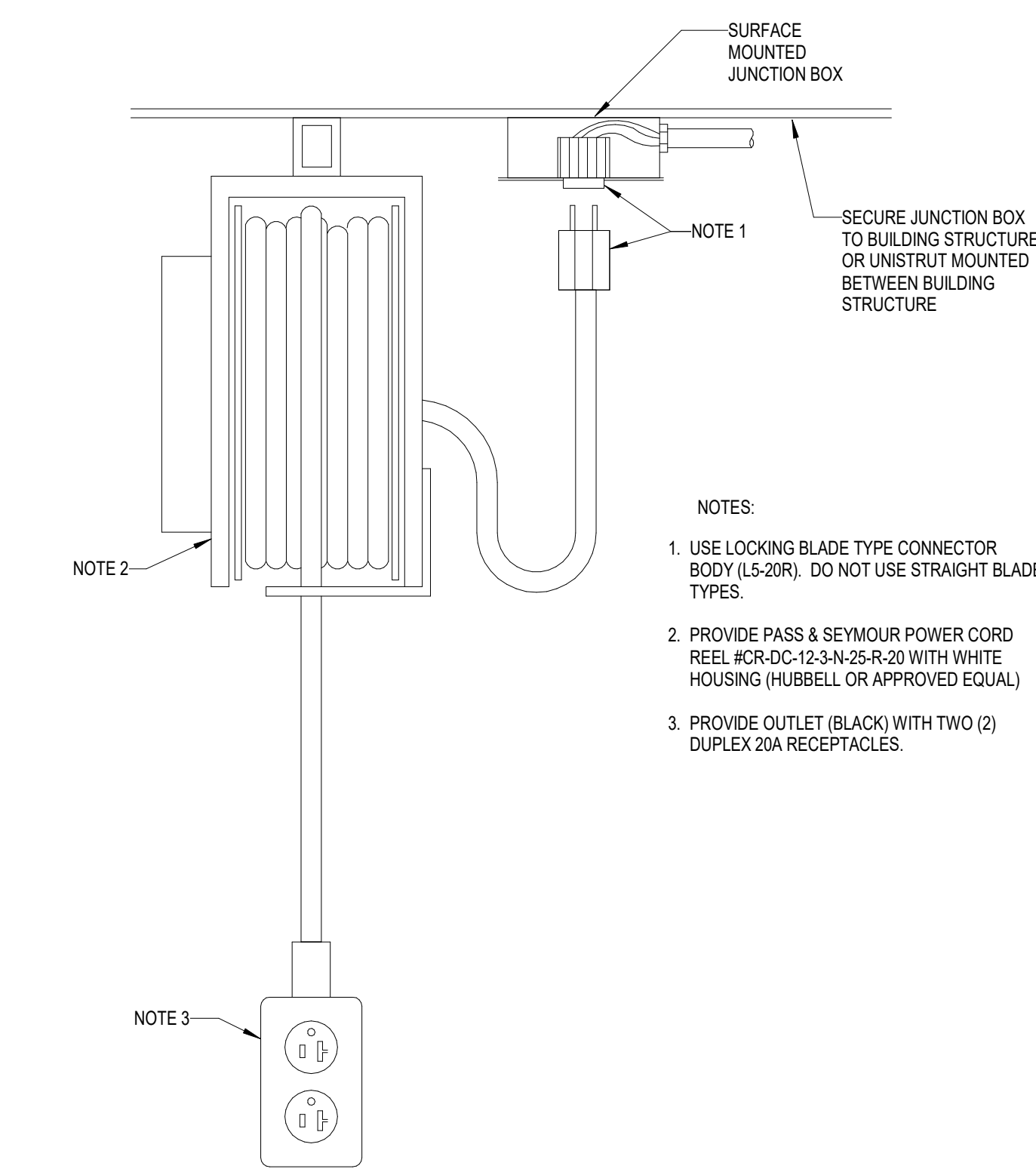
10 FEET  
 8 FEET  
 6 FEET  
 4 FEET  
 2 FEET  
 0 FEET  
 1/4" = 1'-0"  
 SCALE

20 FEET  
 15 FEET  
 10 FEET  
 5 FEET  
 0 FEET  
 1/8" = 1'-0"  
 SCALE

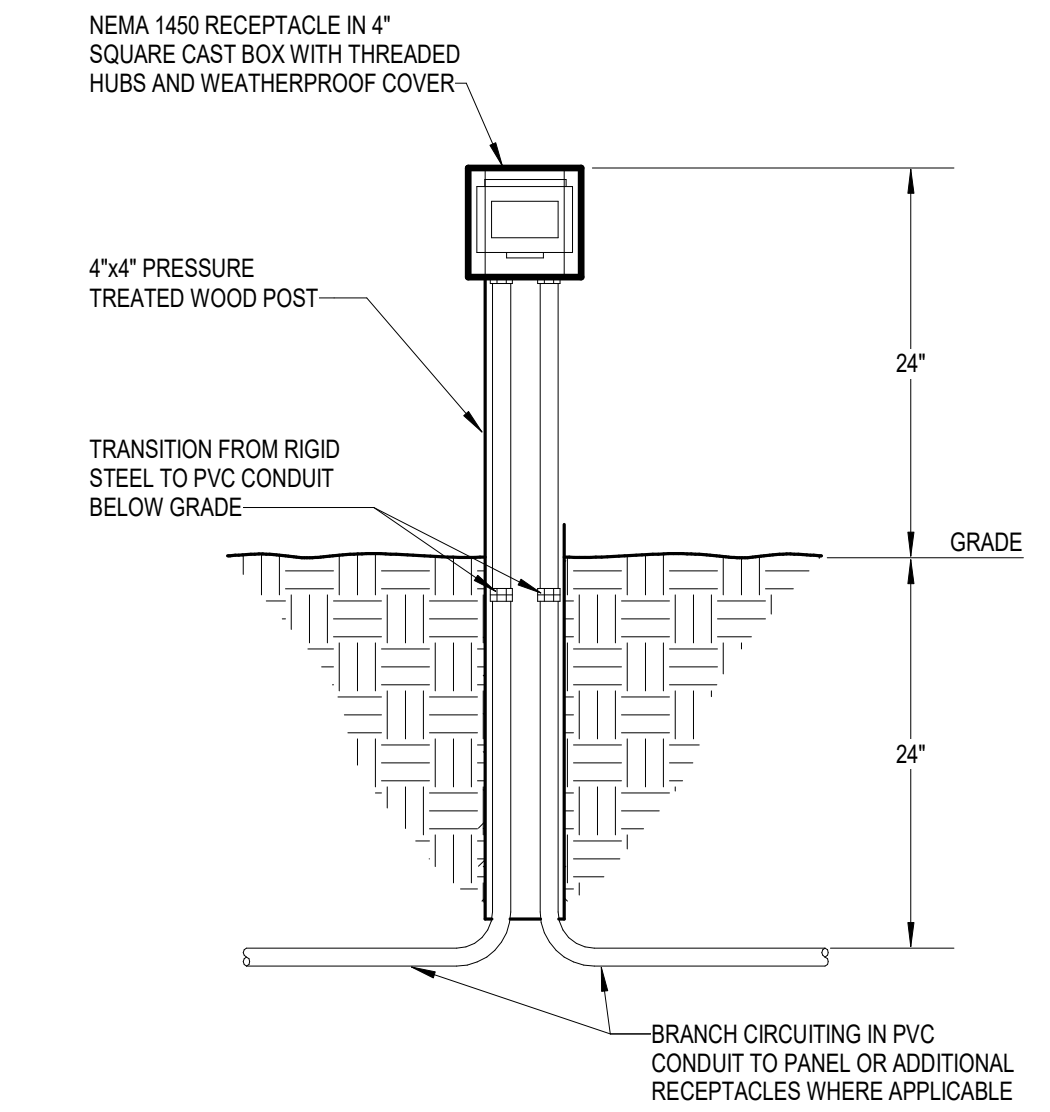
30 FEET  
 25 FEET  
 20 FEET  
 15 FEET  
 10 FEET  
 5 FEET  
 0 FEET  
 1/16" = 1'-0"  
 SCALE

40 FEET  
 35 FEET  
 30 FEET  
 25 FEET  
 20 FEET  
 15 FEET  
 10 FEET  
 5 FEET  
 0 FEET  
 3/32" = 1'-0"  
 SCALE

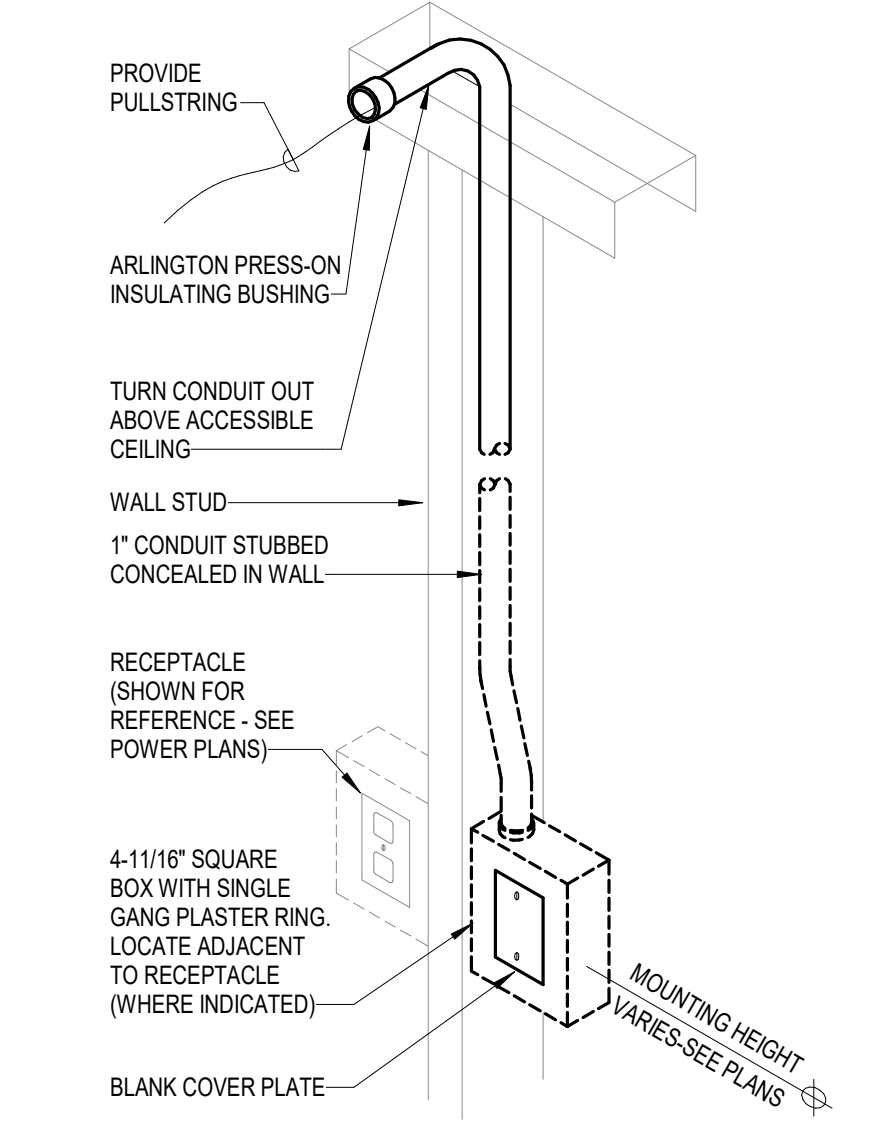
1/8" = 1'-0" (30 FEET)



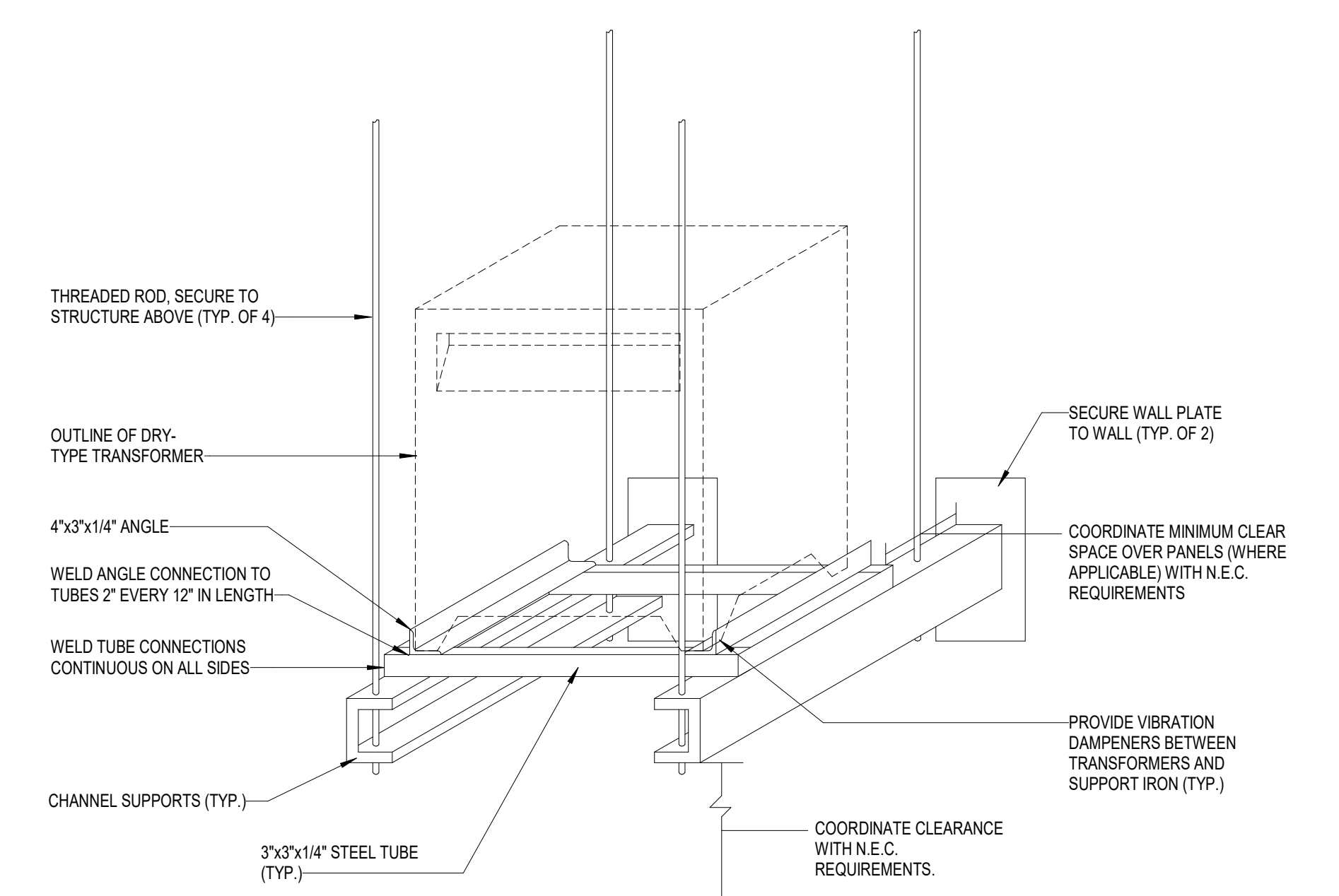
6 CORD REEL  
 NOT TO SCALE



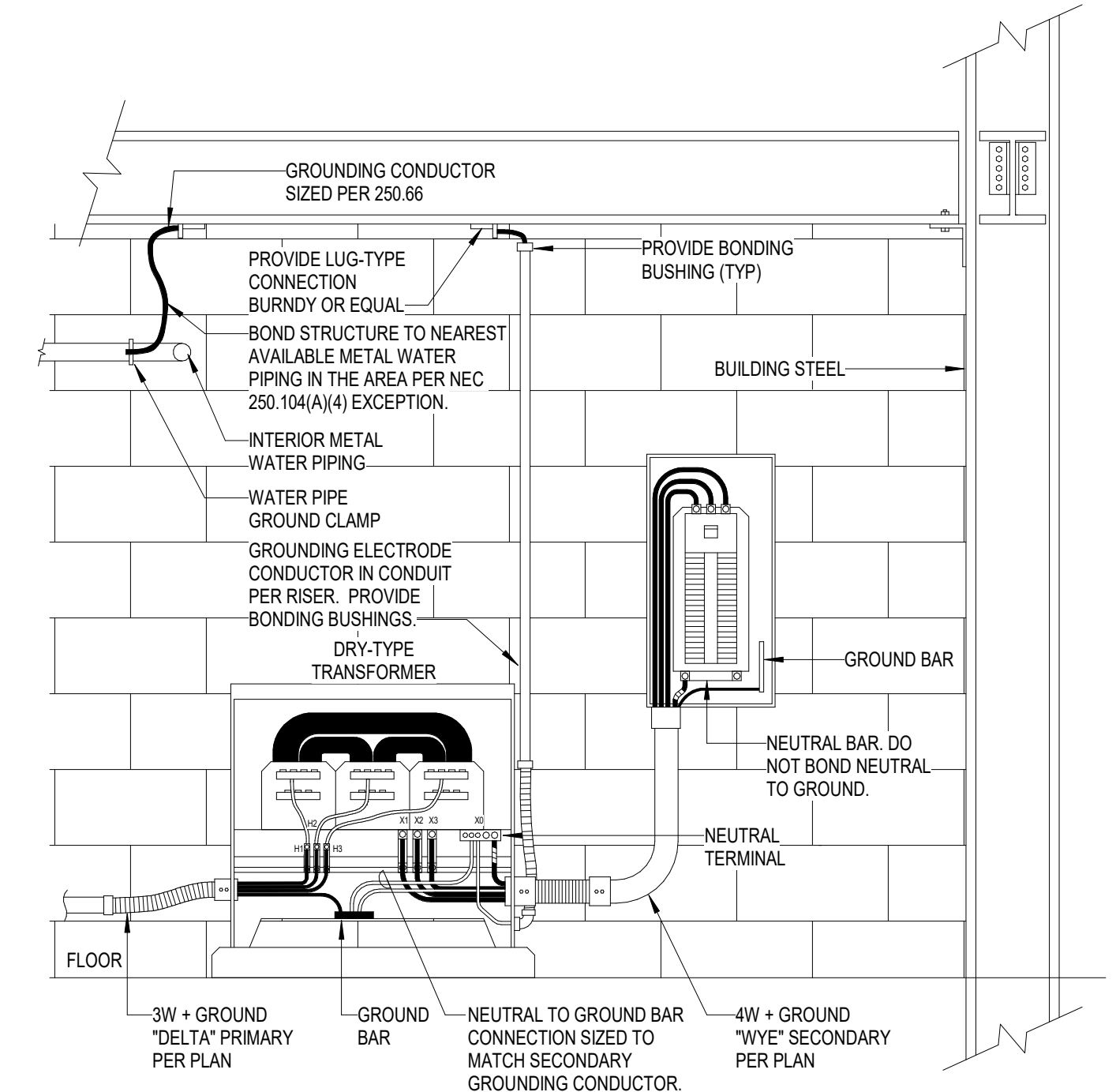
4 LANDSCAPE RECEPTACLE  
 NOT TO SCALE



2 DATA/COMM ROUGH-IN DETAIL  
 NOT TO SCALE

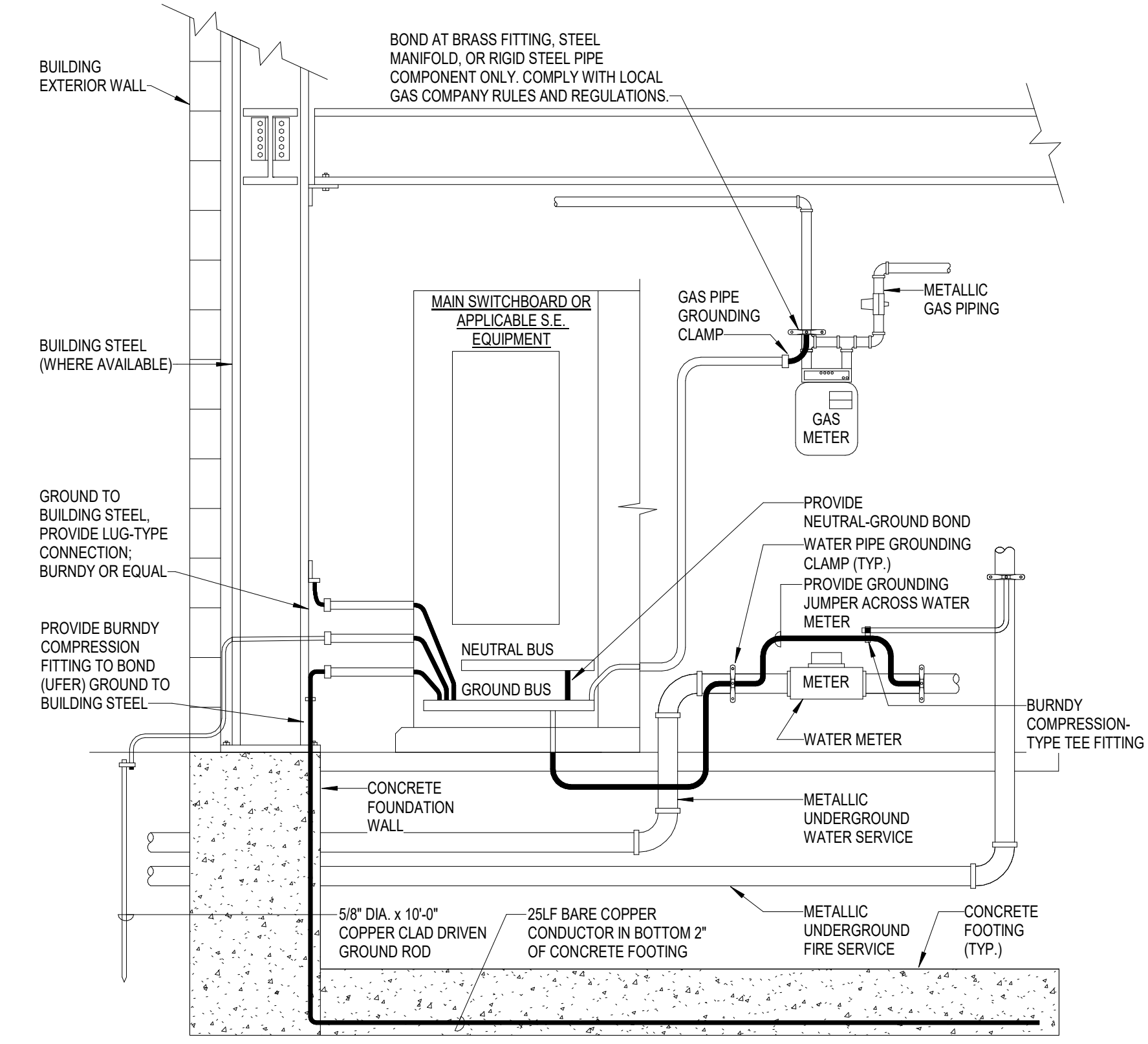


5 TRANSFORMER MOUNTING DETAIL  
 NOT TO SCALE



NOTE: PHYSICAL LAYOUT SHOULD BE DETERMINED FROM FLOOR PLAN DRAWINGS AND FIELD DIMENSIONS.

3 DRY-TYPE TRANSFORMER GROUNDING DETAIL  
 NOT TO SCALE

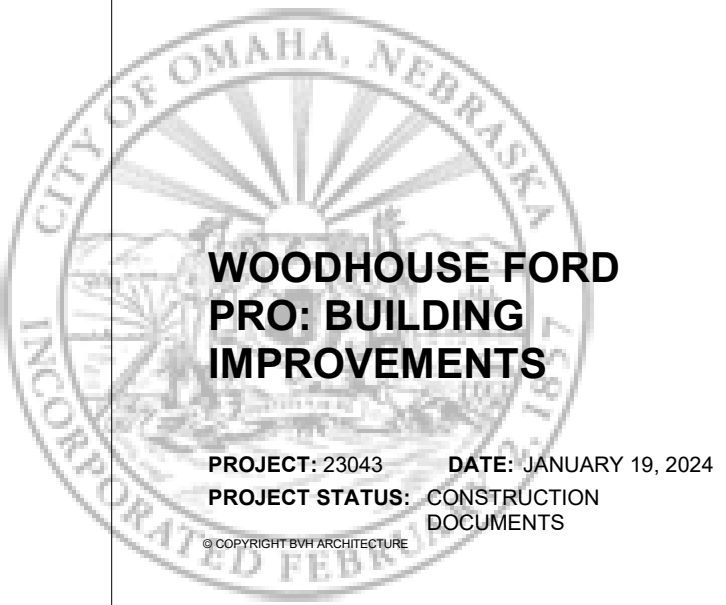


NOTES:  
 1. PHYSICAL LAYOUT SHOULD BE DETERMINED FROM FLOOR PLAN DRAWINGS AND FIELD DIMENSIONS.  
 2. ALL GROUNDING CONDUCTORS SIZED IN ACCORDANCE WITH NEC TABLE 250.66.  
 3. ALL CLAMPS AND FITTINGS SHALL BE UL LISTED FOR THE APPLICATION.

1 MAIN SERVICE GROUNDING DETAIL  
 NOT TO SCALE

**REVISIONS SCHEDULE**

MARK	DATE	DESCRIPTION



MEI PROJECT NO. 23416  
**morrissey engineering inc**  
 mechanical | electrical | lighting | technology | sustainability  
 4940 North 118th Street  
 Omaha, NE 68184  
 P. 402.491.4144  
 Nebraska COA Number: CA-0835  
 www.morrisseyengineering.com

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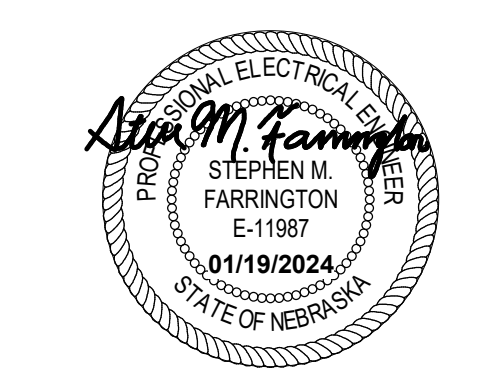
**ELECTRICAL DETAILS**



REVISIONS SCHEDULE table with columns MARK, DATE, DESCRIPTION



WOODHOUSE FORD  
PROJ: BUILDING  
IMPROVEMENTS  
PROJECT STATUS: CONSTRUCTION DOCUMENTS



ELECTRICAL SCHEDULES AND DIAGRAMS

LUMINAIRE SCHEDULE table with columns MARK, DESCRIPTION, MANUFACTURER, CATALOG NUMBER, LIGHT SOURCE, ELECTRICAL, FINISH, MOUNTING, REMARKS

- GENERAL REQUIREMENTS: 1. CONTRACTOR SHALL VERIFY CATALOG NUMBERS AND INSTALLATION REQUIREMENTS PRIOR TO ORDERING...

- LUMINAIRE SCHEDULE NOTES: 1. PRICING AND SPECIFICATION ASSISTANCE: DAN RODRIGUEZ - CED AUTOMOTIVE...

EQUIPMENT CONNECTION SCHEDULE table with columns MARK, ITEM, VOLTAGE, PH, HP (KW), AMPS, CONNECTION, WIRE, GROUND, CONDUIT, REMARKS

MECHANICAL CONNECTION SCHEDULE table with columns PLAN TAG, VOLTAGE, PHASE, DISCONNECT, CIRCUIT, WIRE AND CONDUIT, REMARKS

- NOTES: 1. INTERLOCK FAN WITH ASSOCIATED MOTORIZED DAMPER, DAMPER SHALL BE AT SAME VOLTAGE AS FAN.

ELECTRIC HEAT SCHEDULE table with columns MARK, MANUFACTURER, CATALOG NUMBER, WATTS, VOLTAGE, PHASE, REMARKS

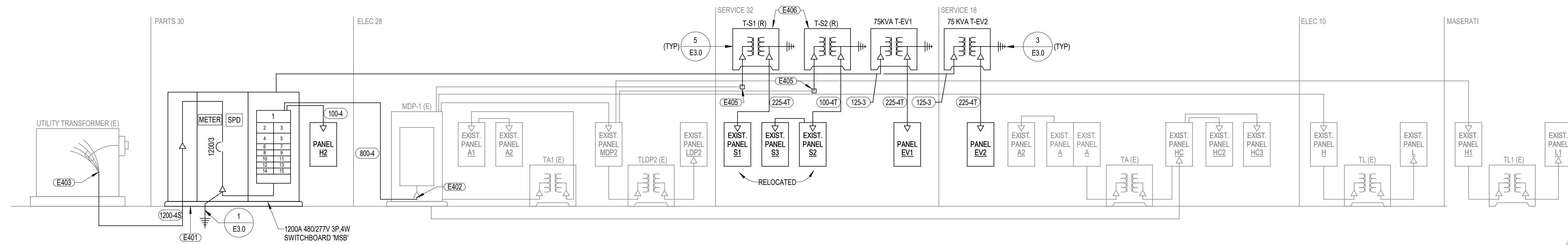
- NOTES: 1. PROVIDE WITH INTEGRAL SERVICE DISCONNECT AND THERMOSTAT. INSTALL PER MANUFACTURERS INSTRUCTIONS.

COPPER FEEDER SCHEDULE table with columns FEEDER, WIRE AND CONDUIT

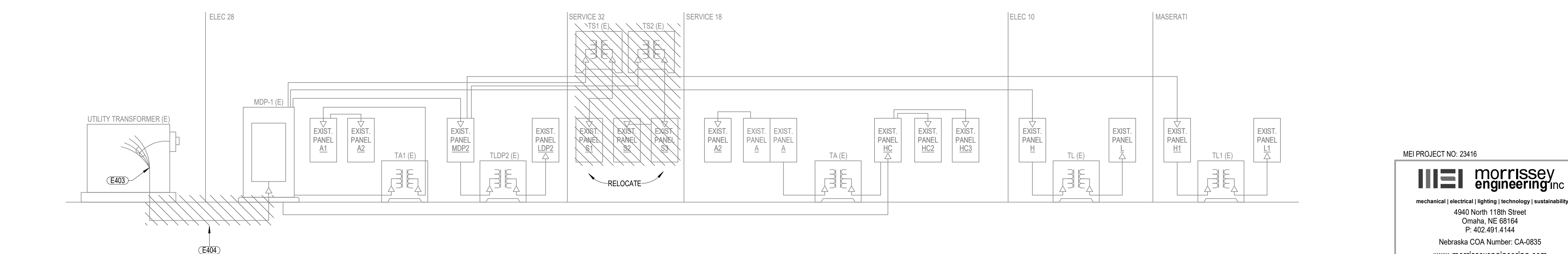
- KEYNOTES: E401 PROVIDE 3/4" THICK CONCRETE HOUSEKEEPING PAD WITH 3/4" CHAMFER EDGE AROUND ALL SIDES EXCEPT THOSE ABUTTING A WALL.

SWITCHBOARD SCHEDULE table with columns CKT, NAMEPLATE DESIGNATION, RATING, Comments

- NOTES: 1. THE CURRENT LIMITING PLUG IN THE CIRCUIT BREAKER OR THE BREAKER ITSELF MUST BE THE NEXT LOGICAL SIZE ABOVE THE SERVICE CONDUCTOR SIZE.



2 ELECTRICAL RISER DIAGRAM - NEW NOT TO SCALE



1 ELECTRICAL RISER DIAGRAM - EXISTING NOT TO SCALE

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4940 North 118th Street  
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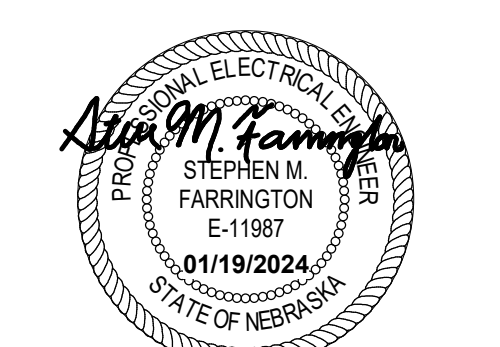
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Vertical scale bars for 1/8", 1/4", 1/2", 3/4", 1", 1 1/2", 2", 3", 4", 5", 6", 8", 10", 12", 15", 20", 25", 30", 40", 45" scales in feet and inches.

REVISIONS SCHEDULE  
MARK DATE DESCRIPTION



WOODHOUSE FORD  
PRO: BUILDING  
IMPROVEMENTS  
PROJECT STATUS: CONSTRUCTION  
DATE: JANUARY 19, 2024



ELECTRICAL PANEL  
SCHEDULES

LIGHTING PANEL SCHEDULE  
Panel: EV1  
Rating: 225 A  
Mounting: SURFACE  
Type: MCB W/IFED THRU LUGS AND GND BAR  
Integral SPD: NO  
Voltage: 120/208  
Phase: 3  
Wire: 4  
A.I.C. Rating: EXISTING  
Series Rated with Upstream Overcurrent Protective Device

EXISTING LIGHTING PANEL SCHEDULE  
Panel: HC3  
Rating: 225 A  
Mounting: SURFACE  
Type: MLO W/GND BAR  
Integral SPD: NO  
Voltage: 480/277  
Phase: 3  
Wire: 4  
A.I.C. Rating: EXISTING

LIGHTING PANEL SCHEDULE  
Panel: H2  
Rating: 100 A  
Mounting: SURFACE  
Type: MLO W/GND BAR  
Integral SPD: NO  
Voltage: 480/277  
Phase: 3  
Wire: 4  
A.I.C. Rating: EXISTING

RELOCATED LIGHTING PANEL SCHEDULE  
Panel: S1  
Rating: 200 A  
Mounting: SURFACE  
Type: MCB W/GND BAR  
Integral SPD: NO  
Voltage: 120/208  
Phase: 3  
Wire: 4  
A.I.C. Rating: EXISTING

EXISTING LIGHTING PANEL SCHEDULE  
Panel: A2  
Rating: 225 A  
Mounting: SURFACE  
Type: MCB W/GND BAR  
Integral SPD: NO  
Voltage: 120/208  
Phase: 3  
Wire: 4  
A.I.C. Rating: EXISTING

EXISTING LIGHTING PANEL SCHEDULE  
Panel: HC2  
Rating: 100 A  
Mounting: SURFACE  
Type: MLO W/GND BAR  
Integral SPD: NO  
Voltage: 480/277  
Phase: 3  
Wire: 4  
A.I.C. Rating: EXISTING

RELOCATED LIGHTING PANEL SCHEDULE  
Panel: S3  
Rating: 125 A  
Mounting: SURFACE  
Type: MCB W/GND BAR  
Integral SPD: NO  
Voltage: 120/208  
Phase: 1  
Wire: 3  
A.I.C. Rating: EXISTING

RELOCATED LIGHTING PANEL SCHEDULE  
Panel: S2  
Rating: 100 A  
Mounting: SURFACE  
Type: MCB W/GND BAR  
Integral SPD: NO  
Voltage: 120/208  
Phase: 3  
Wire: 4  
A.I.C. Rating: EXISTING

EXISTING LIGHTING PANEL SCHEDULE  
Panel: A2  
Rating: 225 A  
Mounting: SURFACE  
Type: MCB W/GND BAR  
Integral SPD: NO  
Voltage: 120/208  
Phase: 3  
Wire: 4  
A.I.C. Rating: EXISTING

EXISTING LIGHTING PANEL SCHEDULE  
Panel: HC  
Rating: 225 A  
Mounting: SURFACE  
Type: MLO W/GND BAR  
Integral SPD: NO  
Voltage: 480/277  
Phase: 3  
Wire: 4  
A.I.C. Rating: EXISTING

EXISTING DISTRIBUTION PANEL SCHEDULE  
Panel: MDP-1  
Rating: 200 A  
Mounting: SURFACE  
Type: W/GND BAR  
Integral SPD: NO  
Voltage: 480/277  
Phase: 3  
Wire: 4  
A.I.C. Rating: EXISTING

EXISTING LIGHTING PANEL SCHEDULE  
Panel: A1  
Rating: 200 A  
Mounting: SURFACE  
Type: MCB W/GND BAR  
Integral SPD: NO  
Voltage: 120/208  
Phase: 3  
Wire: 4  
A.I.C. Rating: EXISTING

EXISTING LIGHTING PANEL SCHEDULE  
Panel: H  
Rating: 225 A  
Mounting: SURFACE  
Type: MCB W/GND BAR  
Integral SPD: YES  
Voltage: 480/277  
Phase: 3  
Wire: 4  
A.I.C. Rating: EXISTING

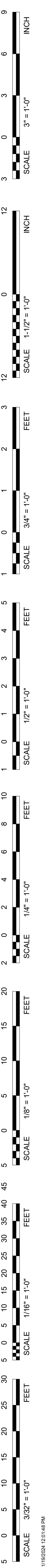
EXISTING LIGHTING PANEL SCHEDULE  
Panel: LDP2  
Rating: 200 A  
Mounting: SURFACE  
Type: MCB W/GND BAR  
Integral SPD: NO  
Voltage: 120/208  
Phase: 3  
Wire: 4  
A.I.C. Rating: EXISTING

EXISTING LIGHTING PANEL SCHEDULE  
Panel: MDP-2  
Rating: 225 A  
Mounting: SURFACE  
Type: MCB W/GND BAR  
Integral SPD: NO  
Voltage: 480/277  
Phase: 3  
Wire: 4  
A.I.C. Rating: EXISTING

EXISTING LIGHTING PANEL SCHEDULE  
Panel: A  
Rating: 225 A  
Mounting: SURFACE  
Type: MCB W/IFED THRU LUGS AND GND BAR  
Integral SPD: NO  
Voltage: 120/208  
Phase: 3  
Wire: 4  
A.I.C. Rating: EXISTING

LIGHTING PANEL SCHEDULE  
Panel: EV2  
Rating: 225 A  
Mounting: SURFACE  
Type: MCB W/IFED THRU LUGS AND GND BAR  
Integral SPD: NO  
Voltage: 120/208  
Phase: 3  
Wire: 4  
A.I.C. Rating: EXISTING

EXISTING LIGHTING PANEL SCHEDULE  
Panel: L  
Rating: 150 A  
Mounting: SURFACE  
Type: MCB W/GND BAR  
Integral SPD: YES  
Voltage: 120/208  
Phase: 3  
Wire: 4  
A.I.C. Rating: EXISTING



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