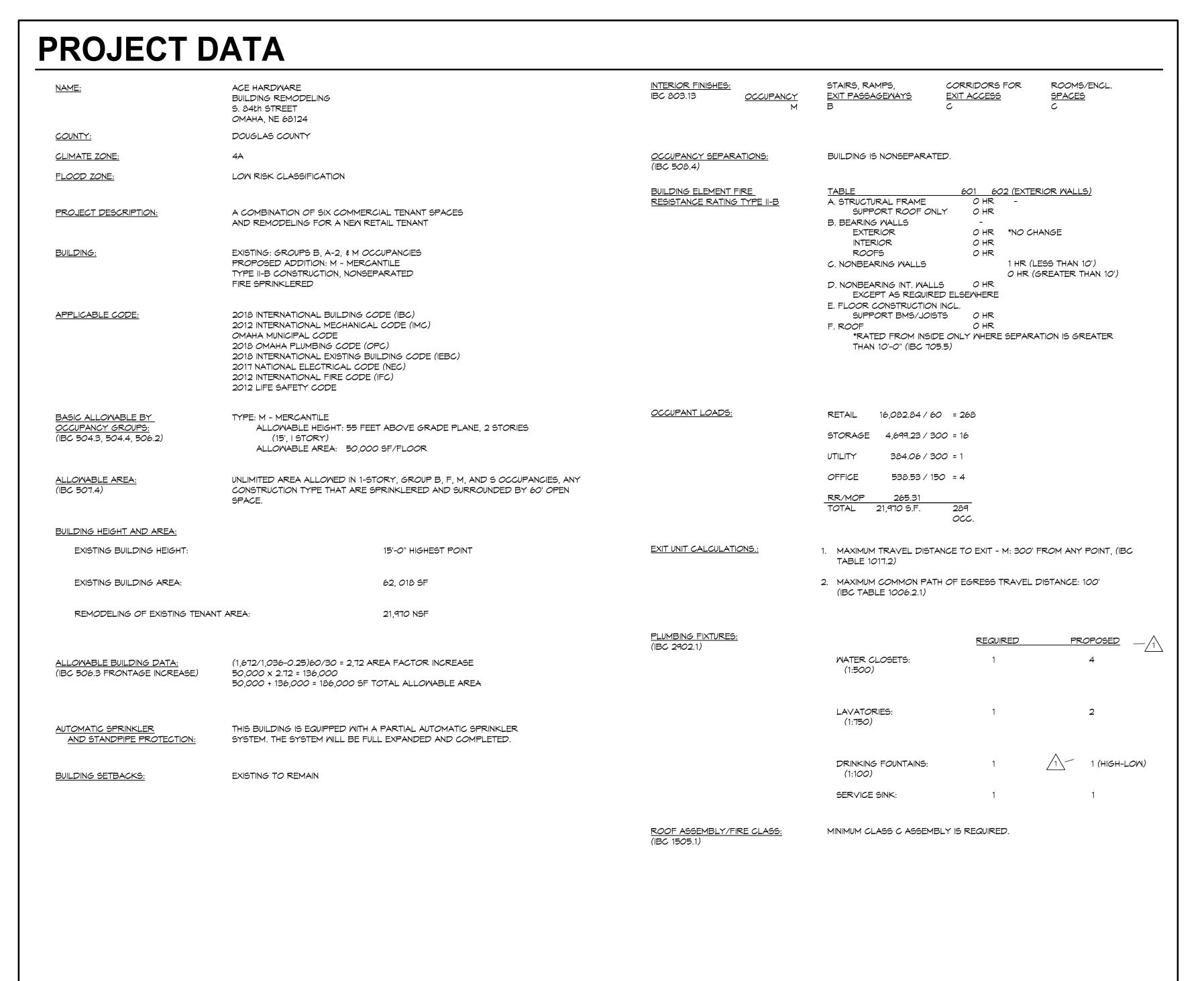
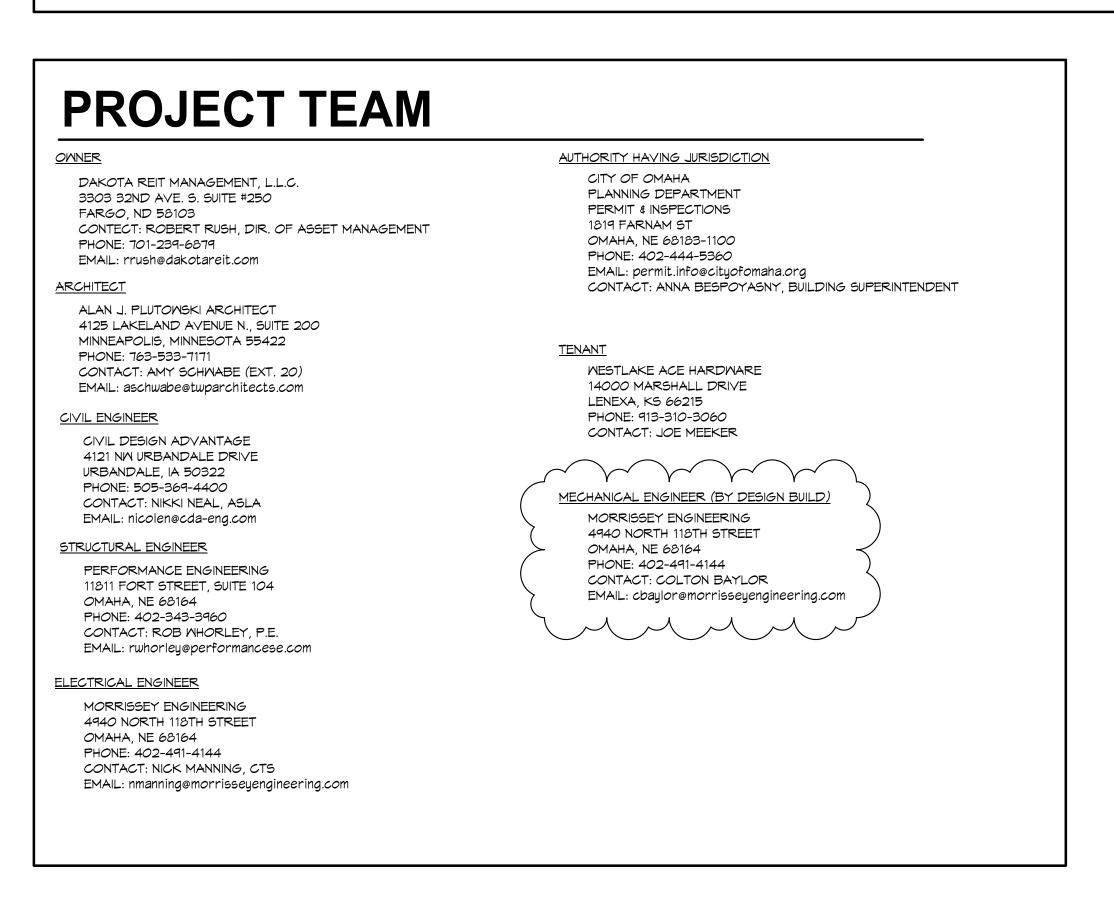
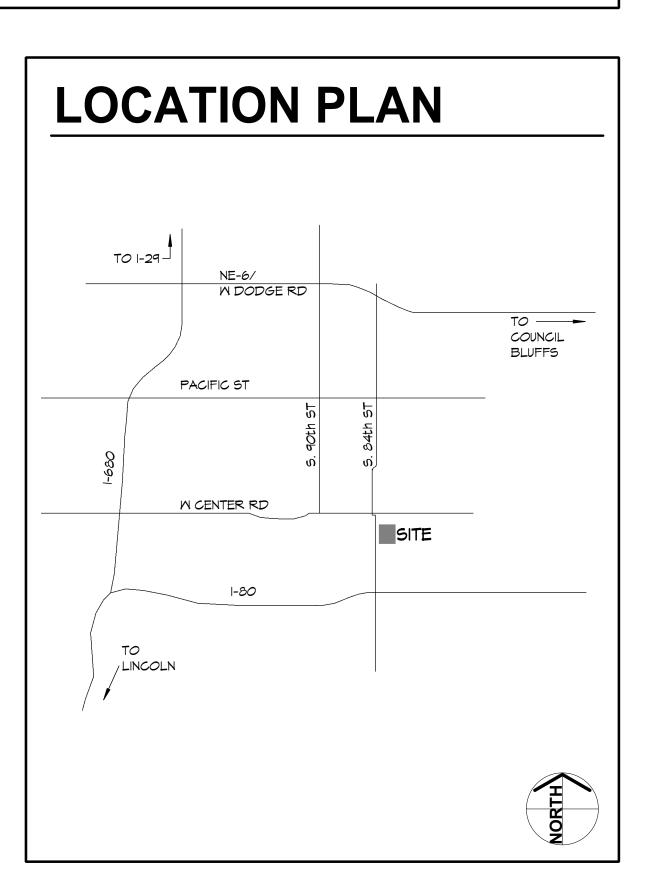
Consultants

WESTGATE PLAZA ACE HARDWARE

BUILDING REMODELING 3401 S. 84TH STREET, OMAHA, NE 68124

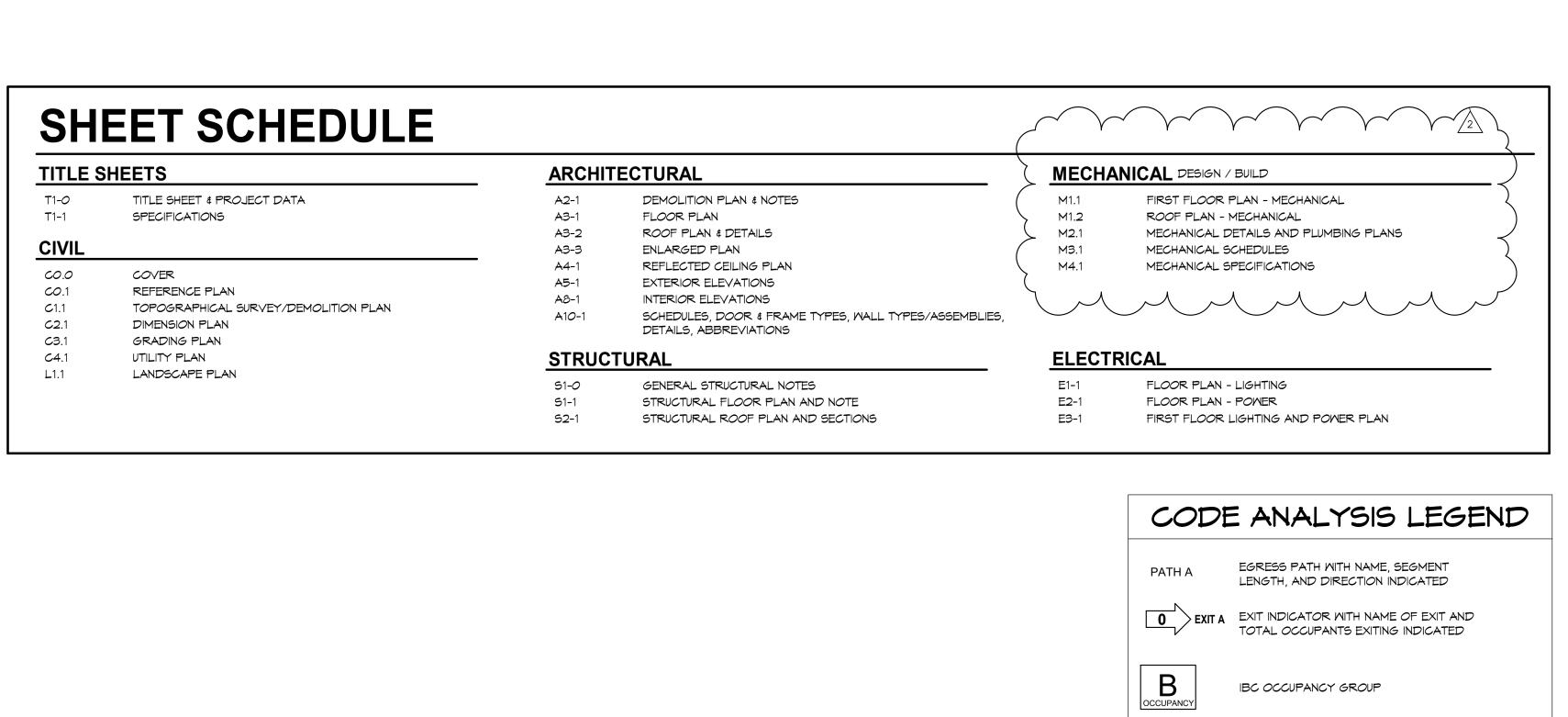


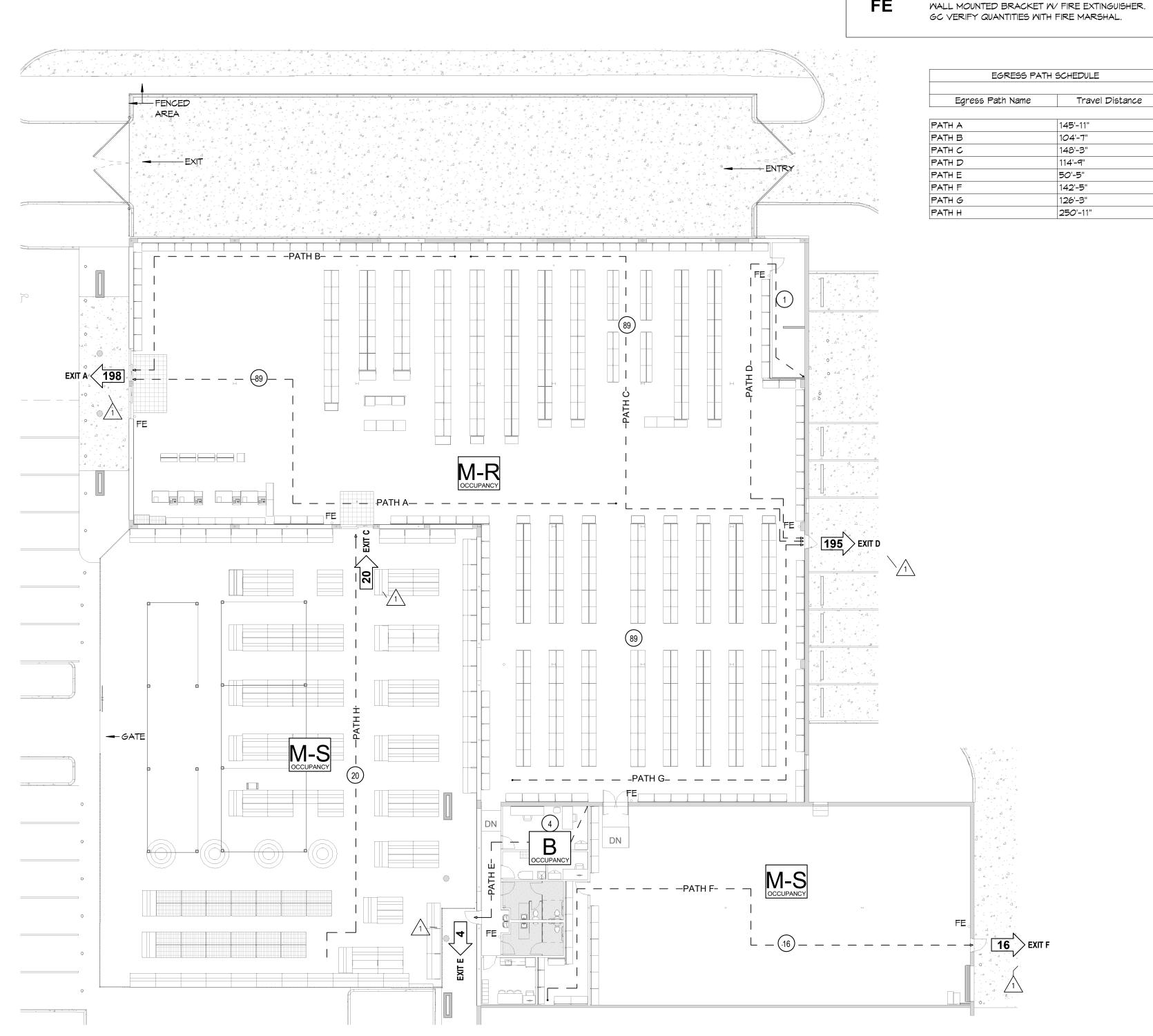


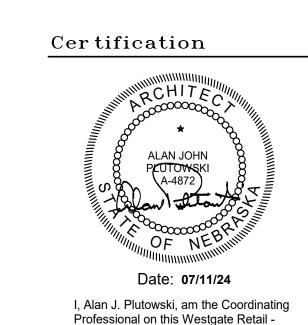


1 LIFE SAFETY PLAN

T1-0 1/16" = 1'-0"







Project Information
WESTGATE PLAZA
ACE HARDWARE

ACE Hardware project.

3401 S. 84TH STREET OMAHA, NE 68124

Revisions

1 05/30/24 TENANT REVISIONS
2 07/11/24 TENANT REVISIONS

 Date:
 03/12/2024

 Dr awn By:
 DM

 Checked By:
 AS/DC

 Job Number:
 00324



Sheet Information

TITLE SHEET & PROJECT DATA

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T1 - 0

1. GENERAL REQUIREMENTS

operator and slide locks dock door.

- a. Exterior storefront/sign backdrop is required as "focal" point over main store entrance/exit. 18x Individual Channel Letter Sign (by owner) to be installed over EIFS backdrop w/ faux Trex "Spiced Rum" picket detail. Lighting required specified in this "Electrical-Exterior Signs" section of this document. Typical storefront finishes: standing seam roof panels in Firestone "Silver Metallic", corrugated wall panels UC-601 in Firestone "Acrylume" and sealed split face CMU.
- b. Receiving dock shall be at grade with a 9'-0"H x 8'-6" W insulated coil-over w/manual chain
- c. Outside seasonal sales area to be located on the west building side. Seasonal sales area floor to be concrete finished at grade, front sidewalk, and parking lot. Seasonal sales area will be fenced with Ameristar Montage Plus Classic Style fence or similar to be 8' tall. Fence will be gated with two minimum 6' openings at front of store for access to parking lot and an 8' gate at rear to allow forklift access to the area. All gates are to be cantilever style. A swing style 4ft gate will be provided from seasonal sales area to pallet goods sales location. Lighting shall be as specified in "Electrical-Lighting" section of this document.
- d. Provide an interior illuminated monument sign base set up for the sign assembly TT will place.

- a. Sidewalk to have zero-entry (no curb) at main entry/exit and handicap parking with bollards for crash protection. The handicap parking that is placed on either side of this zero entry shall have covered bollards for the ADA sign installations. The galvanized square sign post will extend out of the concrete filled bollard through a neatly cut hole in the bollard cover.
- b. All dock and truck traffic areas, as well as the pallet goods space, shall be min 6" concrete. c. Provide 6" diameter pipe bollards at receiving dock overhead door, lawn & garden area, and all exposed building corners. Install bollard covers on all customer facing bollards - Reliance Foundry grey w/red reflective stripes (or approved similar). Provide protection posts at
- d. Provide concrete slab for propane tank. Size and location to be as shown ±320sqft of concrete and a maximum of 14 pipe bollards. Concrete shall be 6" with thickened slab to 36" at the base of the propane tank.
- e. Provide thickened slab for sufficient anchoring of the shade structure in seasonal sales area 9 anchors typically.
- f. Provide 6' thick concrete slab in pallet sales area, garden area and east parking area as shown. Slope for drainage. See civil engineer's drawings.
- g. Provide custom-profile cast-in-place concrete bumper curb along the building in the pallet sales area as shown and detailed.

exposed downspouts.

- i. Provide concrete block or brick infill at storefront window replacement infill areas as shown
- and detailed. Note alternates described and provide a separate cost. j. Provide a unit cost for tuckpointing of the existing masonry to remain.

3. EXTERIOR FINISH SYSTEM

a. Exterior insulation and finish system as shown in designated infill areas of the exterior walls.

4. CARPENTRY

a. Install DanBack Flexible Wood Backing at 8'-0" and 12'-0" AFF on all sales area stud walls for Ace fixture anchoring. These DanBack sections fit within the stud cavity, at the same height, to create a smooth wall surface for installers to anchor shelves. Walls with a masonry surfaces do not need these anchor blocks. Confirm wall fixture locations with tenant project manager.

b. Provide plastic laminate base and overhead cabinets and countertop in break room. Style and

- c. Provide a 27" deep x 85" to 96" laminated countertop Wilsonart "Graphite Nebula supported
- by 2- drawer file cabinets in the operations office. d. Install 3 sections of DanBack blocking for the glass cutter. A drawing will be provided for exact
- location. (the shelving installers will mount the cutter) e. Install a ¾"x 48" x 96" fire rated plywood next to the electrical at the designated data/telco

5. THERMAL & MOISTURE PROTECTION

area (horizontal placement with top at 96" AFF.

- a. Provide sound transmission reducing materials in stud walls around all offices, break room and
- b. Insulation provide exterior wall insulation as required, roof insulation to be poly-iso under the membrane which leaves the clean look of the steel deck from below R-Value to meet code. the natural finish. c. Roofing - 30-year warranty commercial EPDM fully adhered, with tapering to drain properly.
- d. Replace all prefinished metal gutters, roof drains and downspouts to be located on the outside perimeter of the building. Ensure proper drainage in all areas. Any downspouts prone to damage from pallets, forklift or vehicle traffic shall have painted steel guards.

This includes canopy areas. All metal flashing shall be prefinished metal.

6. DOORS, WINDOWS

- a. Front entry/exit doors to be 14' bi-parting, motion-activated automatic door unit Stanley Dura-Glide 3000 series or approved equal. Finish shall be thermally-broken clear anodized aluminum with tinted insulating glass. Doors to have the factory supplied alarm contact feature and be topped by a transom glass area to 10' AFF height as shown in the plan.
- b. Seasonal sales area entry/exit doors to be a pair of 3' wide sliding, motion activated automatic doors. Door to have the factory supplied alarm contact feature and be topped with a transom glass area to 10' AFF. This door requires an awning of at least 4ft depth to prevent false triggering of the door and precipitation entry.
- c. Provide double-acting impact traffic door for opening between sales and stock/receiving area (6ft wide by 8ft tall) - Eliason LWP-3 with 30" stainless base plates and 9" jamb guard options
- d. One 8'-6" wide by 9'-0" high, chain operated, insulated, coiling overhead steel door with slide locks at grade is required for access to rear stock/receiving areas. 3 ft. wide personnel/egress door is required next to overhead door with buzzer, door closer w/hold-open feature and peephole. These two doors will require an awning of at least 4ft depth spanning over both openings to prevent precipitation entry.

e. Exterior man doors shall be metal doors and frames per code with weather-strip and drip

molding; fire exit doors to be equipped with panic bar hardware that features an audible alarm.

(no exterior hardware) and be equipped with a 15 second delay which will require 120v power

- f. Interior office and restroom doors are to be solid core wood with metal jambs and closers with the "hold-open" function. Minwax "Slate" stain with a Minwax "Polycrylic" satin is the preferred finish. The Break room door shall have a half-lite. All locksets should be stainless ADA compliant lever style. Lock functions: Multi-user Restrooms – Push/Pull, Operations Office & Cash room – Storeroom function, Managers Office – Entrance/Office function.
- g. One 4'x4' one-way glass window w/ steel frame (matching the interior doors) is required in the operations office.
- h. Storefront: anodized aluminum thermal-separation with solar-tinted insulated glass, tempered to meet code.

7. FINISHES

Ceiling systems:

- a. The Sales area ceiling system is to be open with all joist work, deck, and utilities exposed. Sales area: paint all exposed sales area ceiling components including beams, joists and decking with dryfall coating – color to be confirmed by tenant (light gray). If the deck is galvanized or gray in color and the structural steel is finished in foundry gray, then painting can be reduced to just touch-up and natural finishes. The electrical and HVAC equipment/ducting can remain
- b. Offices, Hallway: Provide Armstrong 2910A 2'x 4' acoustical ceiling tile and a 15/16" suspension system at the height shown.

c. Stock/receiving area, Service area, Utility room: ceiling is open with natural finishes.

- a. Sales Floor, Break room, Hall: Diamond polished ground hardened finished concrete. During polishing process, apply Prosoco LS densifier and after polishing, apply Prosoco Polish Guard per manufacturer's instruction. Install black 5" vinyl base only where walls are not covered by
- Stock/Receiving Areas, and Service Area: Exposed concrete sealed by the application of Prosoco densifier. No vinyl base is required. Restrooms: Porcelain floor tile with porcelain tile extending up the walls to just over the light switches. The Tile Shop: Dyrewood Sage 15x60mm (wood look planks) The wall terminations and floor transitions should be the appropriate cosmetic profile and the floor stock should be ADA compliant. (aluminum)

c. Vestibule or Entry Area: First ±10'x door area or vestibule width using Mats Inc. Diagonal Tile "Beige" installed quarter turn with Release-Bond adhesive. Install 2-3/4" aluminum transition

b. Offices, Breakroom: LVT: provide samples & allowances.

- edge to surrounding floor surfaces. Wall finishes, painting and decorating: a. Apply 5/8" sheetrock to all interior walls (Sales area, Offices, Restrooms, Corridor, and Break room). Sand, prime and finish for all areas not covered by fixtures. If any Sales walls are clean
- will be an acceptable finish. b. Sales Floor wall colors to be approved by tenant's project manager - two coats of latex eggshell finish. Walls can include combinations of four colors. With a 5th trim color for jambs and frames.
- c. Interior doors, frames, trim, and columns to be primed and finished with semi-gloss enamel. d. Offices, Stock/receiving area and Service area to be painted w/ two coats of latex eggshell. Install 1/2" unpainted plywood on designated stud walls in the Stock/receiving area in lieu of

masonry block surface, then block seal and a top coat of eggshell paint

e. Install barnwood on the two walls adjacent to the register area and the approach to the Restrooms/Breakroom. Register area will match the height of the transom glass and the approach area will be from floor to drop ceiling. This is a pre-finished barnwood product from Home Depot and will require a plywood backer instead of the sheetrock. Verify and install per manufacturer's strictest recommendations.

8. SPECIAL CONSTRUCTION

- a. Provide automatic fire protection sprinkler/alarm system complete with all necessary related pieces and conforming to requirements of insurance underwriters and local governing authorities. Subcontractor to field verify all existing conditions and provide a complete engineered system for approval including: flow switch, tamper switch, backflow assembly, correct FDC, pull stations, smoke detector wiring, annunciators, horns, strobes, cellular
- communicator, panels and key pads. Verify capacity of existing pump and supply piping. b. Provide and install all required fire extinguishers and sign/decals. Coordinate placement with tenant project manager prior to mounting to avoid shelving/foot traffic clearance. Verify quantity and locations with Fire Marshal.
- c. Install and anchor the Garden Center Shade Structure supplied by TT. This is a W-Truss assembly from Poly-Tex and will be a level installation requiring post cuts to accommodate the slab grade prior to assembly. The concrete expansion anchors to be provided by installer. The structure will be no less than 3 connected 20ft x 20ft squares requiring 32 anchors not less than 8" long. The TT shall install the fabric on the structure.
- Burglar Alarm System: Install all components to provide a fully functioning system with door contacts, motion sensors, keypads, and burglar panel. Westlake would prefer the LL use our existing service provider – ADT.

8. PLUMBING

- a. One men's and one women's A.D.A. compliant restroom with solid surface partitions if applicable. If single use restrooms, men's must include a urinal.
- b. A floor mounted mop sink with FRP wall panels and mop holders typically located in the stock
- c. Break room to include a single bowl sink and a garbage disposer.
- d. 10 gallon electric hot water heater located over the restrooms or mop sink. e. One bi-level A.D.A. water cooler is typically located near the restrooms: salvage and re-use the
- existing unit, if feasible.
- f. Exterior hose bibs (frost proof if climate requires) at each side of front entrance. One additional hose bib should be located adjacent to the dock for cleaning needs.
- g. Two (2) yard hydrants in outside seasonal sales area. (wall hydrants may also be installed pending the location of the garden center).
- h. Provide an irrigation system for lawn and plantings with a separately metered source of water.
- i. Provide a complete fire sprinkler system. Use components of existing partial system as feasible. Field verify service capacity and modify as needed.

a. Unit(s) should be roof mounted with insulated ducts preferred gas-fired or electric if no natural gas availability. RTUs should have hail guards, economizers, and smoke detectors (if required by code). Minimum one (1) ton per 350 non-stock square feet.

b. Units shall be sized to maintain not less than 70 degrees F. for an outside design temperature of

- 10 degree F. and 10% fresh air intake and 72 degree F. with 100% relative humidity at ambient outdoor temperature of 95 degrees F. Provide 7-day programmable setback thermostats with a lock-out feature, tenant's project
- manager to determine locations. Sales floor thermostats are typically on columns. Office areas are to have a separate RTU system with thermostat. Provide additional supply to the cash register area.
- c. Stockroom should have a suspended gas fired heater sized for the room's area and a thermostat located by the tenant project manager (Reznor "B" model or similar)
- d. Provide a high volume exhaust fan in the service area (typically wall mounted w/ 3-speed switch). Install all conduit and boxes required for thermostats installed with a neat installed appearance.

10. ELECTRICAL Requirements:

- a. Electrical service to typically be 120/208 volt, 3 phase 4 wire, 600 amp minimum.
- b. Business class broadband service must be available to the building. c. Separate overhead duct or cable raceway required for low voltage line.
- d. Office Power 2 isolated ground circuits with 2 quad and 1 duplex receptacles, 1 circuit with 5
- e. Break Room 1 isolated ground circuits with two duplex receptacles, 3 circuits with 4 duplex
- and 1 quad receptacles (includes switched receptacle for disposer) f. Sales Floor Walls- 1 IG & 4 dirty circuits with 14 duplex receptacles
- g. Provide separate conduit or dual channel power pole drops to conceal cabling/power from above ceiling space to any column/counter-mounted equipment. All wiring and cabling to be dropped from ceiling, not in floor. Typically 4 Wiremold DTP415 GRAY are utilized and approximately 15 conduit drops. (circuit/receptacle counts are noted below)
- h. Stock Room & Service 1 isolated ground circuit with 2 quad receptacles, 3 circuits with 9 duplex receptacles
- i. Restroom I ground fault duplex per restroom and one at the mop sink (one circuit) j. Overhead conduits or cable trays can be deleted for low voltage phone/computer cabling if
- code allows wires to run exposed. k. 2-120v 20amp dedicated circuits to building front required with photo cell and a 7-day programmable time clock control, verify additional exterior sign lighting requirements with
- tenant project manager. Install an override switch for maintenance needs.
- I. Doors Provide electrical service above door header for automatic doors and receptacles over the transom glass for lighted signs.
- m. Provide GFI weatherproof duplex receptacles at exterior front, throughout the garden center
- and rear of building. (10 receptacles on 4 circuits) n. Explosion-proof electrical circuit to Propane filling station and emergency shut-off on the exterior of the building.
- o. 120v 20amp GFI weatherproof duplex receptacles (2 per 1,000 sq. ft.) in outside seasonal sales
- p. Direct wire the exhaust fans for the service and restrooms. Restroom fans should be controlled with the room lighting.
- q. Provide power for the irrigation control box

r. Direct wire the Burglar and Fire panels

and a tie into the fire panel.

- s. Wire the egress doors with the delayed option t. Make the final connections for the monument sign installed by TT
- Sales Area Displays & Equipment Power Requirements:
- a. Fixture (Shelving) mounted Receptacles
- Provide wall mount duplex receptacles for wall fixtures as shown on plan. Duplex receptacles are mounted in the fixture and wired into the wall box with an MC whip. Verify receptacle height and locations from the electrical plan.
- Gondola units ceiling mount junction box above island fixtures as shown on plan or as per retailer. Drop conduit from ceiling junction box down to top of fixture. Bend a 90 degree radius and run on top of the fixture strapping to the top cap as required. Mount a steel handy box with a 20amp, 120volt duplex receptacle facing up at the desired location. If a gondola has receptacles extending both directions down the gondola from the drop point a junction box can be set in lieu of the radius bend. Verify final electrical dropped locations with electrical plan. These devices will add up to approximately 2 isolated ground circuits with 2 quad and 1 duplex receptacles, 12 circuits 0 quad and 31 duplex receptacles. This count includes 5 receptacles at the ceiling for Westlake supplied cord reels that should be installed by LL.
- Several of these drops need to be tied into the lighting controls if the lighting is 120v. If lighting is 277, then utilize separate contactors to control these areas.

Paint chip displays

- LED tool headers (drop has 24hr circuit needed as well) LED strips in sales floor valences (Stihl runs with a tablet and/or video player require 24hr as well)
- The shelved and suspended Edison lamp and lighting displays Fan & heater receptacles
- Seasonal gondola receptacles
- All drop cord reel receptacles
- b. Provide20 amp duplex receptacle on each interior column (may not be required on each column – pending the final merchandising plan. Mount duplex receptacle to code at typical height. Verify the positioning of the column mounted receptacle with the fixture plan and
- tenant project manager. c. Point of sale (POS) checkout counters/service counter- provide one standard 120v 20amp duplex receptacle and one 120v 20amp quad receptacle with isolated ground per register location for a total of 2 IG and 2 dirty circuits.

<u>Lighting</u> (see reference plan)

- a. Sales area lighting level to be targeted at 100 foot-candle at 5'. Must meet local energy usage requirements based on municipality.
- b. Light fixtures: Lithonia TZL1N L96 10000LM FST MVOLT 40K 80CRI WH (4ft fixtures may be require to fit tight areas or finish rows. Appropriate hangers for open or acoustical ceilings will be required at 2 per fixture. Provide for after hours security lighting in sales area and stock/receiving. All remaining sales, stock/receiving, as well as 50% of the wall pack and soffit lighting should be controlled by a master switch and contactors. Switch to be located in the
- operations office. Lighting on sales floor to be at 45 degrees to side walls max 10ft on center c. Offices, break room and corridor lighting to be 70 foot-candles (minimum); provide troffer fixtures: Lithonia 2GTL 4 48L EZ1 LP840 Restroom lighting to be surface mount low profile wrapa-round: Lithonia SBL4 48LEZ1_LP840 if hard lid ceiling (or troffers if acoustical system)

d. Stock/receiving and utility room lighting to be 50 foot-candles (minimum); Lithonia TZL1N L96 10000LM FST MVOLT 40K 80CRI WH (4ft fixtures may be require to fit tight areas or finish rows. Appropriate hangers for open or acoustical ceilings will be required at 2 per fixture. e. Provide and install emergency lighting and exit signs/lights as required by code.

- f. Exterior flood light required above rear receiving door, and over storage areas. 50% controlled by photocell and the remaining controlled by photocell and timer as storefront sign lighting. Provide a photocell override switch for service needs. Only LED fixtures allowed g. Soffit Lighting: Cree fixtures with trim ring as required CPY250-A-DM-D-B-UL-WH h. Provide lighting for outside seasonal sales area. Typically wall pack lighting controlled 50/50 as
- above along with wash from lot pole lighting. i. Sign Lighting will be Abolite RLM fixtures with Satco S2750 LED lamps (RLM head: AD200-INC-120-GBK-LDS96WL, Arm/base: GB-P-3-GBK & Nursery sign Arm/base: GB-D-3-GBK)
- j. Propane fill station needs adequate coverage from wall pack or pole lights. If that is not feasible, then add a dedicated light source to that fill station – must be explosion proof. k. Provide and install LED strip lights into Westlake supplied and installed shelving valance. This
- and 2-4ft fixtures. These should be controlled with the sales floor lighting master switch. I. Provide and install an 8ft vapor-tight LED fixture in the front 20ft x 20ft section of the shade structure. (Williams 96-8-L166/850-HIAFR-DIM-UNV or approved similar) Installation will require a 20ft x 1-5/8in x 1-5/8in galvanized Unistrut and two end anchors for spanning truss assembly. (this assumes an overall 20ft x 60ft structure – If the final plan shows a 40ft, or two

is typical for the Stihl sales & service areas as well as the BBQ shelving. (approximately 22-8ft

11. Computer Equipment Cabling

- Property must have Multiple Carrier Internet Ingress a. All computer equipment to be provided and installed by retailer. Data cabling, conduit runs,
- boxes, terminations, and port wall plates to be provided and installed by LL. b. Use Cat-5 or better low voltage cable for all computer (data) lines.
- c. CAT 5 Cable run terminations to be located:
- 2 at customer service counter 9 in offices
- 1in break room (training pc) 2 in service area (Citrix terminal & future STIHL PC/Laptop)

sections, wide then double the items listed above)

- 3 at paint mixing area
- 1 located in Sales floor ceiling per plan (antenna –scan access point) 1 located inside exterior wall adjacent to Garden Center (external antenna)
- 4 runs to Elec/Telco area (extended frame, extended dsl, music & extended phone)
- All CAT5 runs should terminate at a patch panel located near the D-MARC. (This is typically located adjacent to the electrical panels and will require a 3/" x 4' x 8' mounting board) Patch panel required.

12. TELEPHONE EQUIPMENT

- a. All phone equipment to be provided and installed by retailer. Voice cabling and, conduit runs and boxes by General Contractor. All terminations and port wall plates will be provided by a vendor contracted directly to Westlake.
- b. Use Cat-5 or better low voltage cable for all phone (voice) lines. c. CAT-5 phone runs to be located:
- 1 at each checkout counter (3 total)
- 1 at customer service counter 3 in offices (1-manager, 1 fax & 1 phone – operations)
- 1 in service area 1 in receiving/storage

d. Patch panel required

- 13. SECURITY EQUIPMENT a. Confirm security system electrical requirements with tenant project manager. Burglar alarm, 16
- b. Provide and make all CAT5 cable runs for camera system. (15 total terminating on data/telco plywood). Patch panel required.

4 column mounts (max) throughout sales area for phone locations

All phone lines terminate at the Elec/Telco location on the plans

channel closed circuit TV, to be provided and installed by owner.

14. MUSIC/PAGING

a. Install the music paging speakers, volume controls and wiring with all terminations at the Data Telco mounting board. Westlake will provide a layout and materials specification for the project. Westlake will contract with Sound Products for the monthly service. Westlake would prefer the LL use our existing service provider – Sound Products

15. MISCELLANEOUS:

- -Toilet Partitions: Solid phenolic, floor supported with wall bracing. -Toilet Accessories: Bobrick, Bradley or equal, surface mounted, brushed chrome finish.
- -All shelving shall be furnished and installed by the tenant. -All furniture shall be furnished by the tenant and installed by the general contractor. -Provide Danback wood blocking in designated areas.
- -Provide Prefinished Barnwood product from Home Depot over ½" CDX plywood sheathing in designated areas behind the POS Station area. -Provide 16' long x 4' deep Canvas Awning on Aluminum wall-mounted framing with bottom at 10'-0" at Dock/Access door – see plan. Provide color samples to Tenant.

All posts shall be set in concrete. All work shall be per Manufacturer's Strictest Recommendations.

-Garden Center Fence shall be Ameristar Montage plus Classic style 8' high with cantilever style gates as shown.

Sliding Doors

Complete Sliding Door Package- Power Operator, Motion-Activated See notes: with Strike-Guard, Cylinder-Keyed

1-1/2 Pair Butt Hinges 1 Wall Stop

1 Closer with Hold-Open 1 Air Louver: vsl Slimline 6x27, Blk -Breakroom Only

2A. Cash Office

Mop Room Sim. to 2, but no Closer, Peephole

1-1/2 Pair Butt Hinges 1 Wall Stop

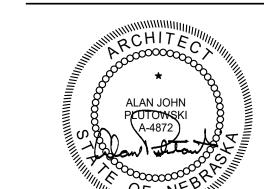
- 1 Closer with Hold-Open Stockroom Egress 1-1/2 Pair Butt Hinges
- 1 Panic Exit Device Detex V40 EB 1 Keyed Entry 1 ADA Threshold 1 Sweep
- 1 Peephole

1 Closer with Hold-Open Device

- with Chain-Keeper/Lock, Slide Locks Common Electrical 1-1/2 Pair Butt Hinges
- Pair Double-Acting

Complete Package with Vision Panel as Noted.

Cer tification



Alan J. Plutowski

4125 Lakeland Ave N., Suite 200 Minneapolis, Minnesota 55422

ARCHITECT

Phone: 763-533-7171

Consultants

I, Alan J. Plutowski, am the Coordinating Professional on this Westgate Retail -ACE Hardware project. Project Information

ACE HARDWARE

Revisions

03/12/2024 Drawn By: AS/DC Checked By:

00324

TENANT REVISIONS

Sheet Information

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Hardware Groups

Both Sides

Office, Breakroom

1 Lever Handle Office Lockset

1 Peephole – Omit at Breakroom

Sim to 2, but Storage Lockset

Restrooms

1 Push Pad 1 Pull Bar with Scratch Plate 1 Closer with Hold-Open Feature

1 Kickplate

Egress 1-1/2 Pair Butt Hinges 1 Panic Exit Device 1 ADA Threshold 1 Sweep

1 Gasket

1 Closer

Secure Storage 1-1/2 Pair Butt Hinges 1 Wall Stop

1 Lever Handle Storage Lockset

1 Gasket 1 Drip Cap 1 Buzzer

Coiling Overhead Delivery Complete Package as Noted, Chain Operated

1 Lever Handle Storage Lockset

1 Closer with Hold-Open WESTGATE PLAZA

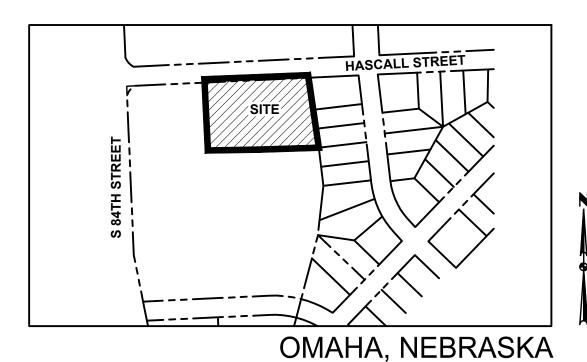
3401 S. 84TH STREET

OMAHA, NE 68124

1 05/30/24

Job Number:

SPECIFICATIONS



OWNER

DAKOTA UPREIT LIMITED PARTNER 3003 32 AVENUE, SUITE 250 FARGO, ND 58103

ENGINEER

CDA ENGINEERING, LLC 4121 NW URBANDALE DRIVE URBANDALE, IA 50322 CONTACT: NIKKI NEAL EMAIL: NICOLEN@CDA-ENG.COM PH. (515) 369-4400

SURVEYOR

HUSKER SURVEYING 4535 NORMAL BLVD LINCOLN, NE 68506 CONTACT: JAYME MALONE EMAIL: JAYME@HUSKERSURVEYING.COM PH. (402) 423-5202

ARCHITECT

TWP ARCHITECTS 4125 LAKELAND AVENUE N, SUITE 200 MINNEAPOLIS, MN 55422 CONTACT: DAN CAYEMBERG EMAIL: DCAYEMBERG@TWPARCHITECTS.COM PH: (763) 533-7171

SUBMITTAL DATES

FIRST SUBMITTAL: 04/26/2024 SECOND SUBMITTAL: 07/02/2024 ZONING BOARD OF APPEALS: 07/20/2024 PERMIT SUBMITTAL: 07/24/2024

TITLE DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUTY OF DOUGLAS, STATE OF NEBRASKA, AND IS DESCRIBED AS LOT 985, WESTGATE, A SUBDIVISION IN DOUGLAS COUNTY,

ZONING

NEBRASKA.

CC-FF - COMMUNITY COMMERCIAL/FLOOD FRINGE DISTRICT CC - COMMUNITY COMMERCIAL DISTRICT

PROJECT SITE ADDRESS

3457 SOUTH 84TH STREET OMAHA, NEBRASKA 68124

EXISTING/ PROPOSED USE

MULTI-TENANT RETAIL CENTER PROPOSED: MULTI-TENANT RETAIL CENTER

DEVELOPMENT SUMMARY

AREA: 8.25 ACRES (359,473 SF) **ZONING:** COMMUNITY COMMERCIAL DISTRICT

25 FEET STREET SIDE: 15 FEET INTERIOR SIDE: NONE 15 FEET

<u>PARKING</u> REQUIRED

MULTI-TENANT RETAIL CENTER (85,819 SF/250 SF): 343 SPACES MEDICAL OFFICE (14,722 SF/200 SF): 74 SPACES OUTDOOR SALES (16,064 SF/2,000 SF): RESTAURANT (228 CAPACITY) (1/4 SEATS): 57 SPACES ÀÚTOMOTIVÉ REPAIR (4 X CAPACITY): 12 SPACES RESTAURANT (2,770 SF/40 SERVICE SF) 28 SPACES 522 SPACES* *5% PKNG REDUCTION FOR PUBLIC 22 SPACES 500 SPACES TRANSIT ACCESS: UPDATED REQUIRED PKNG: PROVIDED: 518 SPACES OPEN SPACE 53,921 SF (15%) **REQUIRED:**

DATE OF SURVEY

04/01/2024

EXISTING:

PROVIDED:

BASIS OF BEARINGS

1. NORTH 87°19'27" EAST, BEING NORTH LINE OF LOT 732 OF WESTGATE SUBDIVISION, DOUGLAS COUNTY, OMAHA,

30,233 SF (8%)

35,484 SF (10%)

OMAHA, NEBRASKA

INDEX OF SHEETS

NO.	DESCRIPTION
C0.0	COVER SHEET
C0.1	REFERENCE PLAN
C1.1	TOPOGRAPHIC SURVEY/DEMOLITION PLAN
C2.1	DIMENSION PLAN
C3.1	GRADING PLAN
C4.1	UTILITY PLAN
L1.1	LANDSCAPE PLAN



UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

GENERAL LEGEND

PROPOSED	
PROPERTY BOUNDARY	
SECTION LINE	
CENTER LINE	
RIGHT OF WAY	
BUILDING SETBACK	
PERMANENT EASEMENT	—— —P/E— ——
TEMPORARY EASEMENT	—— —т/Е — ———
STORM INTAKE	
STORM INTAKE	
STORM INTAKE	<u> </u>
STORM INTAKE	ST
STORM MANHOLE	
SANITARY MANHOLE	
STORM/SANITARY CLEANOUT	© ^C
WATER VALVE	H
FIRE HYDRANT ASSEMBLY	DM-
SIGN	- o-
DETECTABLE WARNING PANEL	00000 0000 0000
WATER CURB STOP	⊗
SANITARY SEWER	
SANITARY SERVICE	—s—s—s—
STORM SEWER	
STORM SERVICE	—— ST —— ST ——
WATERMAIN WITH SIZE	8"W
WATER SERVICE	ww
SAWCUT (FULL DEPTH)	777777777777777777777777777777777777777
SILT FENCE	• • • • •
USE AS CONSTRUCTED	(UAC)
MINIMUM PROTECTION ELEVATION	MPE
FINISH FLOOR ELEVATION	FFE

EXISTING	
SANITARY MANHOLE	S
WATER VALVE BOX	W
FIRE HYDRANT	ď
WATER CURB STOP	CS M
WELL	WELL
STORM SEWER MANHOLE	ST
STORM SEWER SINGLE INTAKE	
STORM SEWER DOUBLE INTAKE	
FLARED END SECTION	
DECIDUOUS TREE	$\langle \cdot \rangle$
CONIFEROUS TREE	X
DECIDUOUS SHRUB	
CONIFEROUS SHRUB	a
ELECTRIC POWER POLE	
GUY ANCHOR	\rightarrow
STREET LIGHT	○
POWER POLE W/ TRANSFORMER	-
UTILITY POLE W/ LIGHT	↓ ——≪
ELECTRIC BOX	 []E
ELECTRIC TRANSFORMER	E
ELECTRIC MANHOLE OR VAULT	E
TRAFFIC SIGN	•
TELEPHONE JUNCTION BOX	T
TELEPHONE MANHOLE/VAULT	T
TELEPHONE POLE	-
GAS VALVE BOX	G ⊠
CABLE TV JUNCTION BOX	TV
CABLE TV MANHOLE/VAULT	TV
MAIL BOX	M
BENCHMARK	\bigcirc^{BM}
SOIL BORING	⇔ SB
UNDERGROUND TV CABLE	TV
GAS MAIN	——————————————————————————————————————
FIBER OPTIC	————FO———
UNDERGROUND TELEPHONE	
OVERHEAD ELECTRIC	OE
UNDERGROUND ELECTRIC	————E———
FIELD TILE	— — — TILE — — —
SANITARY SEWER W/ SIZE	8"S
STORM SEWER W/ SIZE	— — 15"ST — — —
WATER MAIN W/ SIZE	8"W

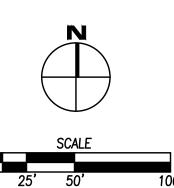
ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.



CDA ENGINEERING

4121 NW URBANDALE DRIVE, URBANDALE, IA 50322 PH: (515) 369-4400 PROJECT NO. 2403.225

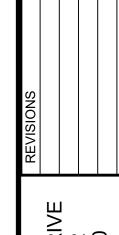


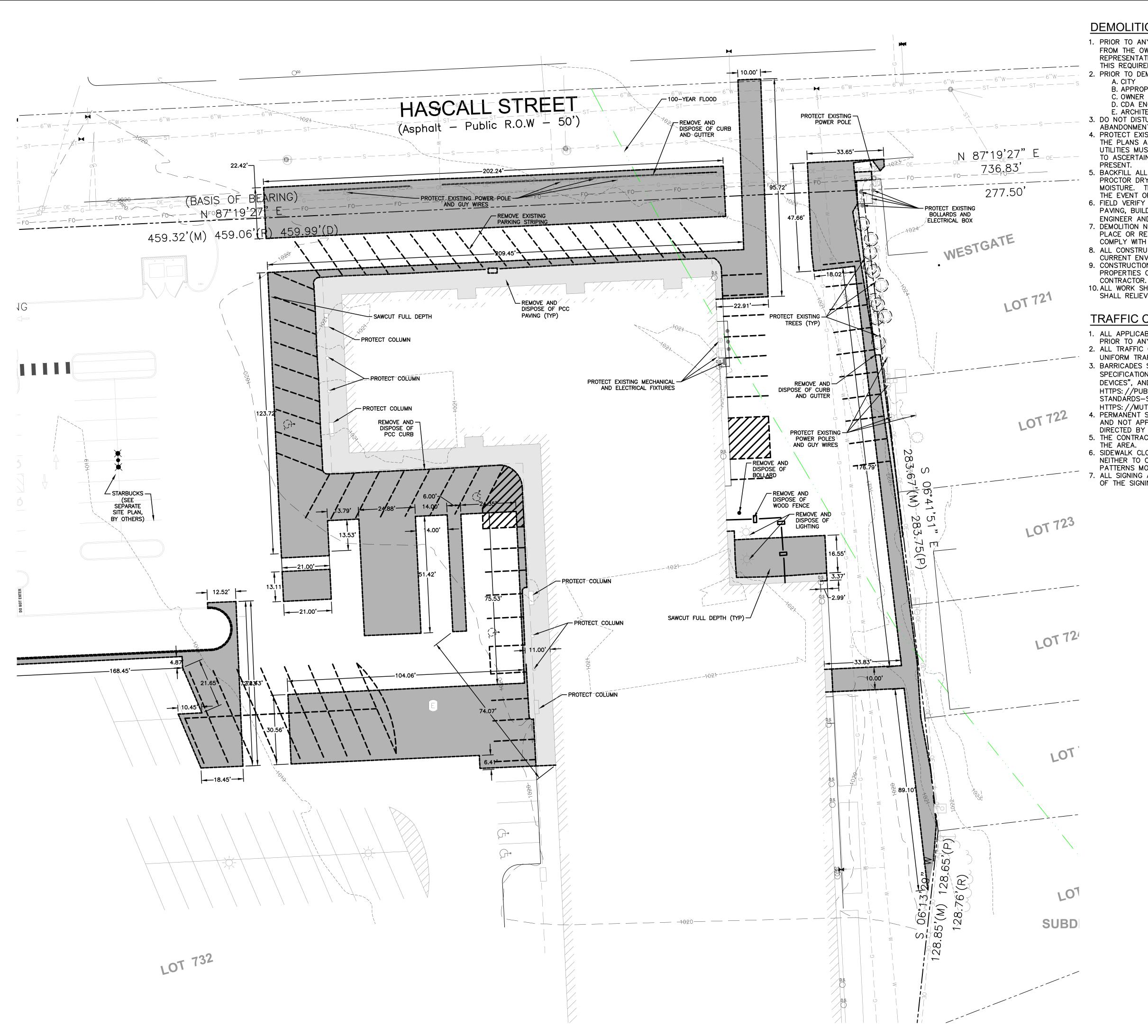
VESTGATE PLAZA - ACE HARDWARE

07/24/2024

SIGN ADVANTAGE

4121 NW URBANDALE DF URBANDALE, IA 50322 PHONE: (515) 369-440(FAX: (515) 369-4410





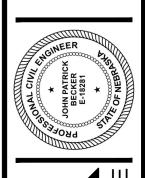
DEMOLITION NOTES

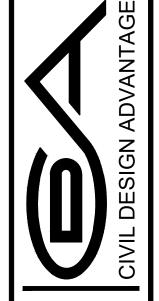
- 1. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT
- 2. PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - B. APPROPRIATE UTILITY COMPANIES
 - D. CDA ENGINEERING
 - E. ARCHITECT
- 3. DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR
- ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES. 4. PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE
- 5. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
- 6. FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
- 7. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
- 8. ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
- 9. CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE
- 10. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

TRAFFIC CONTROL NOTES

- 1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
- 2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 3. BARRICADES SHALL CONFORM TO THE OMAHA PUBLIC WORKS "BARRICADING STANDARDS, SPECIFICATIONS, METHODS AND MATERIALS", AND/OR THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", AND ANY ADDITIONS THERETO. THE AFOREMENTIONED PUBLICATIONS CAN BE FOUND AT HTTPS: //PUBLICWORKS.CITYOFOMAHA.ORG/IMAGES/PDF/BARRICADING-STANDÁRDS-SPECS-METHODS-AND-MATÉRIALS.PDF AND
 - HTTPS: //MUTCD.FHWA.DOT.GOV/PDFS/2009R1R2/PDF_INDEX.HTM
- 4. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
- 5. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN
- 6. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- 7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

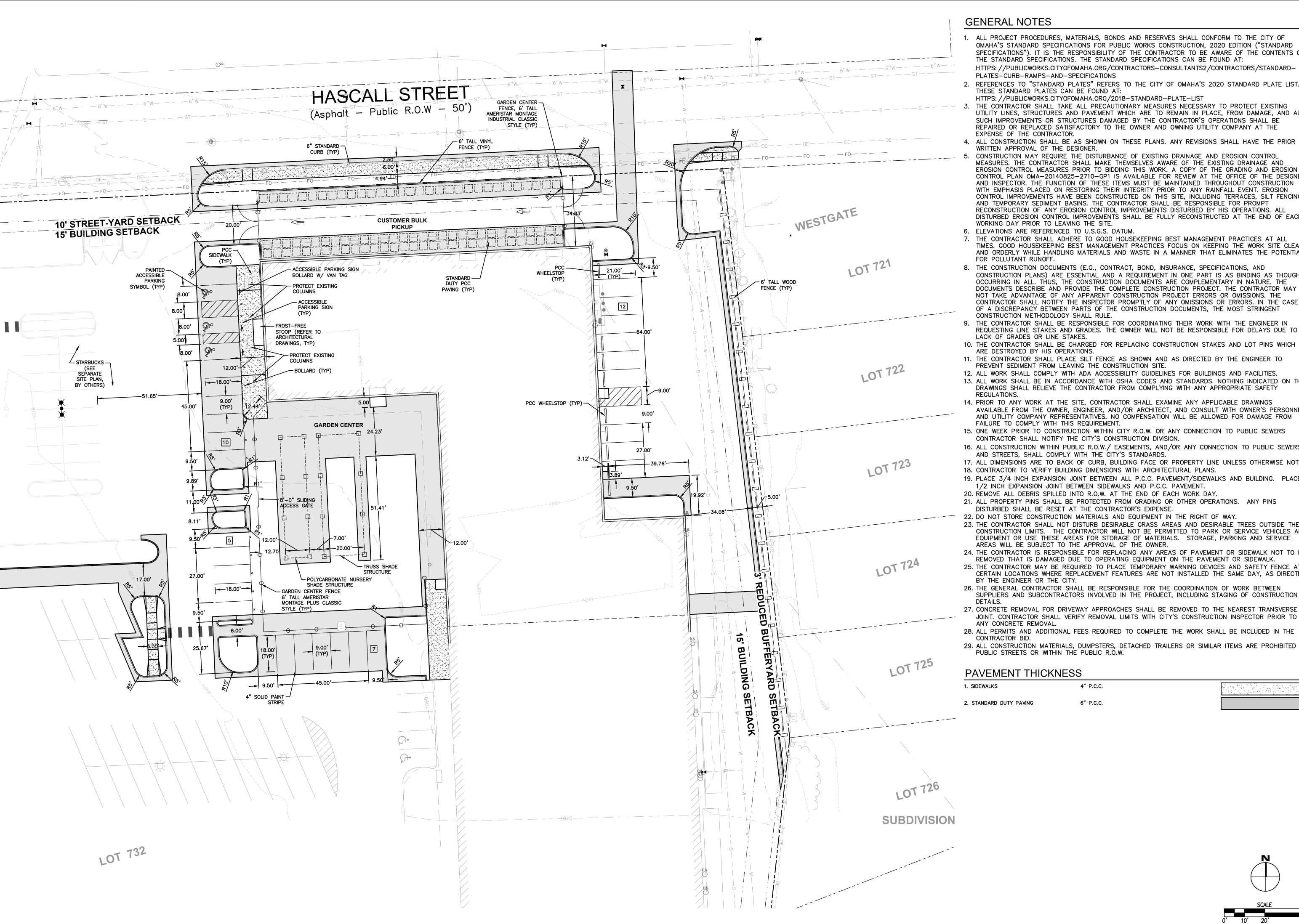
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HARDWARE **DEMOLITION** ACE AZ **P**





ALL PROJECT PROCEDURES, MATERIALS, BONDS AND RESERVES SHALL CONFORM TO THE CITY OF OMAHA'S STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2020 EDITION ("STANDARD SPECIFICATIONS"). IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE AWARE OF THE CONTENTS OF THE STANDARD SPECIFICATIONS. THE STANDARD SPECIFICATIONS CAN BE FOUND AT:

HTTPS: //PUBLICWORKS.CITYOFOMAHA.ORG/CONTRACTORS-CONSULTANTS2/CONTRACTORS/STANDARD-

2. REFERENCES TO "STANDARD PLATES" REFERS TO THE CITY OF OMAHA'S 2020 STANDARD PLATE LIST.

THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES AND PAVEMENT WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED SATISFACTORY TO THE OWNER AND OWNING UTILITY COMPANY AT THE

4. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS. ANY REVISIONS SHALL HAVE THE PRIOR

CONSTRUCTION MAY REQUIRE THE DISTURBANCE OF EXISTING DRAINAGE AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL MAKE THEMSELVES AWARE OF THE EXISTING DRAINAGE AND EROSION CONTROL MEASURES PRIOR TO BIDDING THIS WORK. A COPY OF THE GRADING AND EROSION CONTROL PLAN OMA-20140825-2710-GP1 IS AVAILABLE FOR REVIEW AT THE OFFICE OF THE DESIGNER AND INSPECTOR. THE FUNCTION OF THESE ITEMS MUST BE MAINTAINED THROUGHOUT CONSTRUCTION WITH EMPHASIS PLACED ON RESTORING THEIR INTEGRITY PRIOR TO ANY RAINFALL EVENT. EROSION CONTROL IMPROVEMENTS HAVE BEEN CONSTRUCTED ON THIS SITE, INCLUDING TERRACES, SILT FENCING, AND TEMPORARY SEDIMENT BASINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPT RECONSTRUCTION OF ANY EROSION CONTROL IMPROVEMENTS DISTURBED BY HIS OPERATIONS. ALL DISTURBED EROSION CONTROL IMPROVEMENTS SHALL BE FULLY RECONSTRUCTED AT THE END OF EACH

THE CONTRACTOR SHALL ADHERE TO GOOD HOUSEKEEPING BEST MANAGEMENT PRACTICES AT ALL TIMES. GOOD HOUSEKEEPING BEST MANAGEMENT PRACTICES FOCUS ON KEEPING THE WORK SITE CLEAN AND ORDERLY WHILE HANDLING MATERIALS AND WASTE IN A MANNER THAT ELIMINATES THE POTENTIAL

8. THE CONSTRUCTION DOCUMENTS (E.G., CONTRACT, BOND, INSURANCE, SPECIFICATIONS, AND CONSTRUCTION PLANS) ARE ESSENTIAL AND A REQUIREMENT IN ONE PART IS AS BINDING AS THOUGH OCCURRING IN ALL. THUS, THE CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY IN NATURE. THE DOCUMENTS DESCRIBE AND PROVIDE THE COMPLETE CONSTRUCTION PROJECT. THE CONTRACTOR MAY NOT TAKE ADVANTAGE OF ANY APPARENT CONSTRUCTION PROJECT ERRORS OR OMISSIONS. THE CONTRACTOR SHALL NOTIFY THE INSPECTOR PROMPTLY OF ANY OMISSIONS OR ERRORS. IN THE CASE OF A DISCREPANCY BETWEEN PARTS OF THE CONSTRUCTION DOCUMENTS, THE MOST STRINGENT

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THEIR WORK WITH THE ENGINEER IN REQUESTING LINE STAKES AND GRADES. THE OWNER WILL NOT BE RESPONSIBLE FOR DELAYS DUE TO

10. THE CONTRACTOR SHALL BE CHARGED FOR REPLACING CONSTRUCTION STAKES AND LOT PINS WHICH

11. THE CONTRACTOR SHALL PLACE SILT FENCE AS SHOWN AND AS DIRECTED BY THE ENGINEER TO

13. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY

14. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM

15. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS

16. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS

17. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.

19. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE

20. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.

22. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.

23. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE

24. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE

25. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED

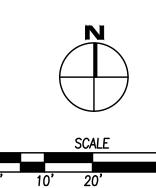
26. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION

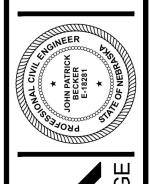
27. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE

28. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE

29. ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON







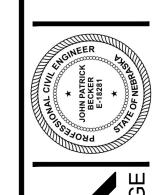




GRADING NOTES

- 1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
- 2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
- 3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF ALL CITY SUPPLEMENTALS, IF APPLICABLE,
- 4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
- 5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE
- 6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
- 7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- 8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
- 10. REFER TO SEPARATE EROSION CONTROL PLAN FOR DETAILS ON EROSION CONTROL.
- 11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
- 12. SIDEWALKS:

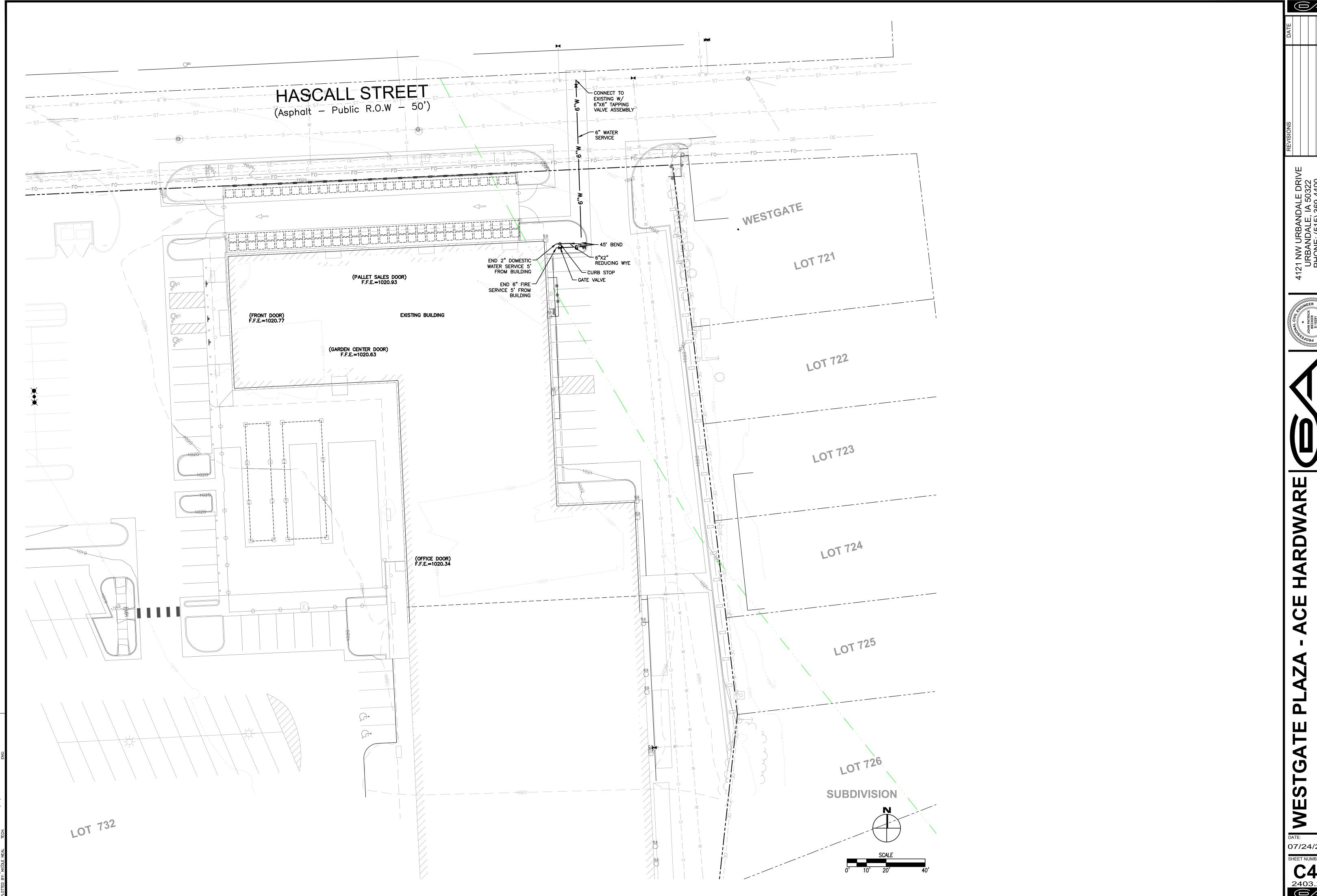
 MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS
 TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.





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LANDSCAPE NOTES

LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
 THE MOST RECENT EDITION OF THE <u>SUDAS STANDARD SPECIFICATIONS</u> AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
 TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
 ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
 SEED (TYPE 1) OR SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.

6. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
7. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. SHREDDED FOR TO A CANAL SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL

PLANTING BEDS TO A (MIN) DEPTH OF 3".

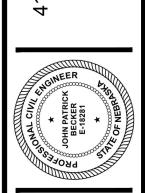
9. ALL EDGING SHALL BE SPADE CUT EDGE.

10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE. 11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.

12. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.

13. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

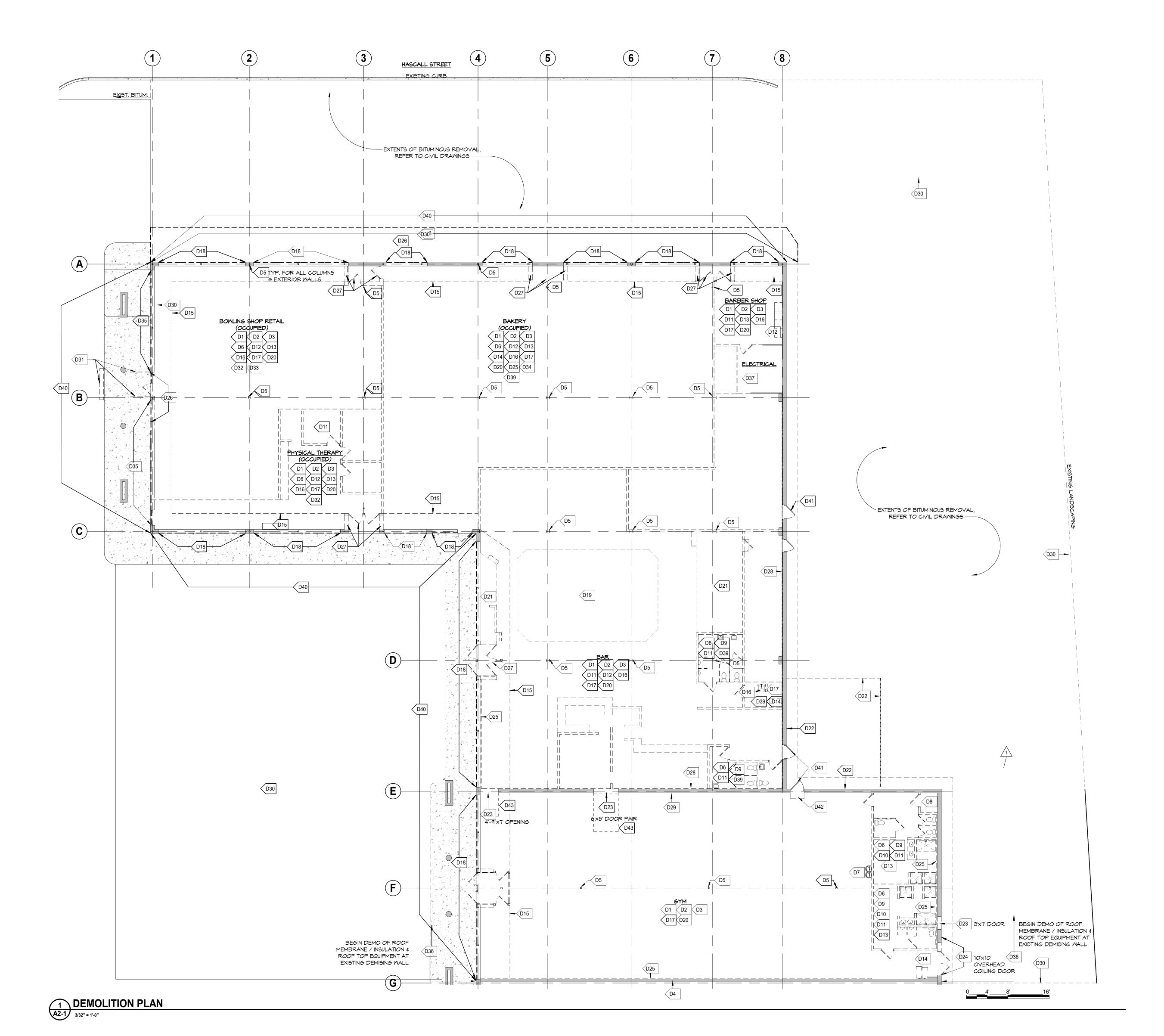
CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
OVERS	TORY	TREES		
AN	5	Green Column Maple	Acer nigrum 'Greencolumn'	B&B, 2" CALIPER
GS	1	Skyline Honey Locust	Gleditsia triacanthos inermis 'Skyline'	B&B, 2" CALIPER
TC	5	Littleleaf Linden	Tilia cordata	B&B, 2" CALIPER
VS MAA	8	Summersweet Vanilla Spice	Clethra alnifolia 'Vanilla Spice'	CONT, 3 GAL
SM	4	Golden Sunrise Spirea	Spiraea x bumalda 'Monhud' TM	3 GAL
WM	6	Minuet Weigela	Weigela florida 'Minuet'	CONT, 3 GAL
WP	8	Pink Poppet Weigela	Weigela florida 'Plangen'	3 GAL
GRASS				100117 4 041
CK	14	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	CONT, 1 GAL
PB	10	Little Bunny Fountain Grass	Pennisetum alopecuroides 'Little Bunny'	CONT, 1 GAL
SB	6	Standing Ovation Little Bluestem	Schizachyrium scoparium 'Standing Ovation'	CONT, 1 GAL





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GENERAL DEMO NOTES:

THE GENERAL CONTRACTOR SHALL ACCEPT THE PROJECT AS IT EXISTS. AS-BUILT DRAWINGS HAVE NOT BEEN FIELD VERIFIED. ALL EXISTING CONDITIONS, WHETHER OR NOT SPECIFICALLY NOTED ON THE DRAWINGS (INCLUDING BUT NOT LIMITED TO ADDITIONAL WALLS, DOORS, PLUMBING, ELECTRICAL, ETC. NOT SHOWN ON THE PLANS), SHALL BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.

- DEMOLITION DRAWINGS INDICATE GENERAL SCOPE OF WORK ONLY. NOT ALL DEMOLITION WORK NECESSARY IS SPECIFICALLY INDICATED. THE EXTENT AND METHOD OF DEMOLITION SHALL BE AS NEEDED TO ACCOMMODATE THE NEW WORK AS DETAILED.
- ACCESS ITEMS INDICATED FOR DEMOLITION IN A MANNER DESIGNED TO MINIMIZE IMPACT ON EXISTING WORK INDICATED TO REMAIN. WHENEVER POSSIBLE, PERFORM DEMOLITION

ACTIVITIES FROM AREAS TO BE CONCEALED BY NEW WORK.

- PATCH AND REPAIR ALL EXISTING CONSTRUCTION WHICH IS DAMAGED OR DISTURBED TO MATCH EXISTING OR RESTORE TO ORIGINAL CONDITION. WHERE AREAS OR ITEMS THAT ARE INDICATED TO BE REMOVED ABUT OR ADJOIN EXISTING CONSTRUCTION INDICATED TO REMAIN, SAWCUT OR OTHERWISE REMOVE TO PROVIDE A CLEAN EDGE. IF EVIDENCE OF DEMOLITION WILL NOT BE CONCEALED BY NEW WORK, PATCH AND/OR REPAIR TRANSITION TO MATCH ADJACENT SURFACE AND FINISH.
- ALL CONSTRUCTION SCHEDULING AND SEQUENCING SHALL BE COORDINATED WITH THE OWNER PRIOR TO BEGINNING ANY MORK. COORDINATE ALL DEMOLITION WORK TO ACCOMMODATE OWNER'S NORMAL OPERATIONS.
- ERECT TEMPORARY PARTITIONS/BARRIERS AS REQUIRED TO PREVENT CONTAMINATION OF ADJACENT AREAS THAT ARE OR WILL BE USED BY THE OWNER FROM DUST, DEBRIS, AND EXCESSIVE NOISE CAUSED BY DEMOLITION ACTIVITIES.
- SHORE AND/OR BRACE EXISTING WORK AS REQUIRED TO SAFELY REMOVE ITEM(S) OR EXISTING CONSTRUCTION WITHOUT DAMAGE TO EXISTING CONSTRUCTION INDICATED TO

DO NOT MODIFY EXISTING STRUCTURE UNLESS SPECIFICALLY INDICATED ON THE DRAWINGS OR APPROVED IN ADVANCE BY BOTH THE ARCHITECT AND STRUCTURAL ENGINEER.

DEMOLITION LEGEND: EXISTING TO BE REMOVED EXISTING TO REMAIN EXISTING DOOR TO BE REMOVED EXISTING DOOR TO REMAIN

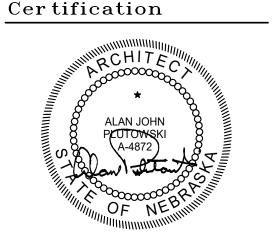
DEMOLITION KEY NOTES:

- REMOVE FLOOR ADHESIVES, CORRECT SLAB IMPERFECTIONS, PROVIDE FLOOR LEVELER AND PREP CONCRETE SLAB TO BE SMOOTH, LEVEL, AND FREE OF IMPERFECTIONS AS REQUIRED FOR
- DEMO & REMOVE ALL EXISTING INTERIOR WALLS. THIS SHALL INCLUDE BASES, TRIMS, MIRRORS, POLES, ETC. WHERE APPLICABLE. REMOVE ALL UNUSED CONDUIT & WIRING BACK TO EXISTING ELECTRICAL PANELS.
- DEMO & REMOVE EXISTING INTERIOR DOORS, FRAMES AND HARDWARE. D4 EXISTING DEMISING WALL TO REMAIN. PATCH TO MATCH AS NEEDED.
- EXISTING STRUCTURAL STEEL COLUMN TO BE REMOVED IF FEASEABLE. GC TO INVESTIGATE.
- REMOVE ANY DECORATIVE COVER / WRAPS. DEMO & REMOVE EXISTING WATER CLOSETS / URINALS, LAVATORIES, COUNTERTOPS, GRAB BARS
- AND ALL RESTROOM ACCESSORIES. CAP OR REROUTE PLUMBING TO MEET CODE. DEMO & REMOVE EXISTING DRINKING FOUNTAIN. SALVAGE FOR RELOCATION.
- DEMO & REMOVE EXISTING WATER HEATER. DEMO & REMOVE EXISTING TOILET STALL PARTITIONS / DOORS.
- DIO DEMO & REMOVE EXISTING SHOWERS, CURTAINS, GYP. BD. CEILING / SOFFITS, AND ANY ASSOCIATED ACCESSORIES.
- DEMO & REMOVE ALL EXISTING VCT FLOOR FINISH & WALL BASE. PATCH, REPAIR AND PREP FLOOR SLAB AS NEEDED TO RECEIVE NEW FINISHES.
- D12 DEMO & REMOVE EXISTING SHELVES / STORE FIXTURES / CASEMORK.
- D13 DEMO & REMOVE EXISTING ACOUSTICAL CEILING TILE & GRID, INCLUDING ANY LIGHT FIXTURES, CEILING MOUNTED EQUIPMENT, ETC. IN ITS ENTIRETY. REMOVE EXISTING DUCTWORK, WIRING, CONTROLS, ETC. CONNECTED TO CEILING MOUNTED ITEMS BACK TO THE SOURCE (RTU, PANEL, ETC.) REMOVE ALL CONDUIT & WIRING BACK TO EXISTING ELECTRICAL PANELS.
- D14 DEMO & REMOVE EXISTING ELECTRICAL PANEL AND TIMECLOCK. D15 EXISTING SOFFIT TO REMAIN. PATCH TO MATCH OR REPLACE GYP. BD. SHEATHING.
- D16 DEMO & REMOVE ALL PLUMBING FIXTURES, WATER HEATERS AND ASSOCIATED ACCESSORIES. CAP OR REROUTE PLUMBING TO MEET CODE.
- DEMO & REMOVE ALL ELECTRICAL FIXTURES AND ASSOCIATED ACCESSORIES. REMOVE ALL UNUSED CONDUIT & WIRING BACK TO EXISTING ELECTRICAL PANELS.
- D18 DEMO & REMOVE EXISTING STOREFRONT DOORS, WINDOWS, FRAMES AND PREP AS NEEDED FOR
- D19 DEMO & REMOVE EXISTING WOOD FLOOR PLATFORM. D20 DEMO & REMOVE EXISTING CEILING MOUNTED EQUIPMENT INCLUDING LIGHT FIXTURES AND
- DUCTWORK. REMOVE WIRING, CONTROLS, ETC. CONNECTED TO CEILING MOUNTED ITEMS BACK TO EXISTING ELECTRICAL PANELS.
- D21 DEMO & REMOVE EXISTING RAISED PLATFORM / STAGE, RAILING, STAIRS AND ALL ASSOCIATED D22 DEMO & REMOVE EXISTING FENCE AND ALL ASSOCIATED PATIO ITEMS.
- D23 CAREFULLY SAMOUT & REMOVE PORTION OF EXISTING CMU WALL AS NEEDED FOR LINTEL AND D24 DEMO & REMOVE EXTING DOOR PAIR, FRAME, ASSOCIATED HARDWARE AND PORTION OF EXISTING
- CMU WALL AS NEEDED FOR LINTL AND OVERHEAD COILING DOOR INSTALLATION. D25 DEMO & REMOVE EXISTING FURRING WALLS.
- DEMO & REMOVE PORTION OF EXISTING STOREFRONT AND EXTERIOR WALLS AS NEEDED FOR NEW
- DEMO & REMOVE EXISTING INTERIOR STOREFRONT DOORS / WINDOWS AND WALLS AT ALCOVES. D28 REMOVE ALL PANELING / FURRING. STRIP AND CLEAN INTERIOR FACE OF EXISTING CMU WALLS IN
- PROPOSED SALES AREA AS NEEDED FOR PAINT FINISH. D29 EXISTING CMU BEARING WALL TO REMAIN.
- D30 DEMO & REMOVE EXISTING BITUMINOUS. PREP AS NEEDED FOR CONCRETE INFILL. D31 DEMO & REMOVE PORTION OF EXISTING CONCRETE CURB AND SIDEWALK AS NEEDED FOR
- ADA-COMPLIANT CURB CUT FROM ADA-COMPLIANT ACCESS AISLE. DEMO & REMOVE EXISTING EXTERIOR VINYL CANOPY.
- DBMO & REMOVE ALL EXISTING CARPET FLOOR FINISH AND WALL BASE. PATCH, REPAIR AND PREP FLOOR SLAB AS NEEDED TO RECEIVE NEW FINISHES.
- D33 DEMO & REMOVE EXISTING SLAT WALLS AND FURRING.
- D34 DEMO & REMOVE EXISTING TILE FLOOR AND WALL BASE. PATCH, REPAIR AND PREP FLOOR SLAB AS NEEDED TO RECEIVE NEW FINISHES.
- D35 DEMO & REMOVE EXISTING STOREFRONT DOORS, WINDOWS, FRAMES AND PREP AS NEEDED FOR STOREFRONT REPLACEMENT.
- D36 DEMO & REMOVE EXISTING ROOF MEMBRANE AND INSULATION DOWN TO EXISTING METAL DECK, AND ALL ROOFTOP EQUIPMENT ABOVE AREA OF REMODEL. SEE PLAN FOR EXTENT OF DEMO.
- D37 DEMO & REMOVE ELECTRICAL PANELS AND ELECTRICAL COMPONENTS / WIRING AS NEEDED TO COMBINE EXISTING SEPARATE SERVICES INTO ONE SERVICE FOR REMODELED SPACE.
- D38 DEMO & REMOVE EXISTING CONCRETE SIDEWALK.
- D39 DEMO & REMOVE EXISTING GYP. BD. CEILING / SOFFIT AND FRAMING. D40 DEMO & REMOVE EXISTING E.I.F.S. FINISH AS NEEDED FOR NEW E.I.F.S. FINISH.
- D41 EXISTING DOOR TO REMAIN. CLOSE AND LOCK DOOR. TACK WELD AND SEAL. D42 SAWCUT & REMOVE EXISTING CONCRETE RAISED STEP TO PROVIDE FOR FURRING OF WALL
- ACROSS OPENING FLUSH TO MATCH EXISTING. D43 SAWCUT & REMOVE PORTION OF EXISTING CONCRETE SLAB TO PROVIDE FOR NEW POURED CONCRETE RAMP.

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ACE Hardware project. Project Information WESTGATE PLAZA

ACE HARDWARE

3401 S. 84TH STREET

OMAHA, NE 68124

1 05/30/24

Revisions

TENANT REVISIONS

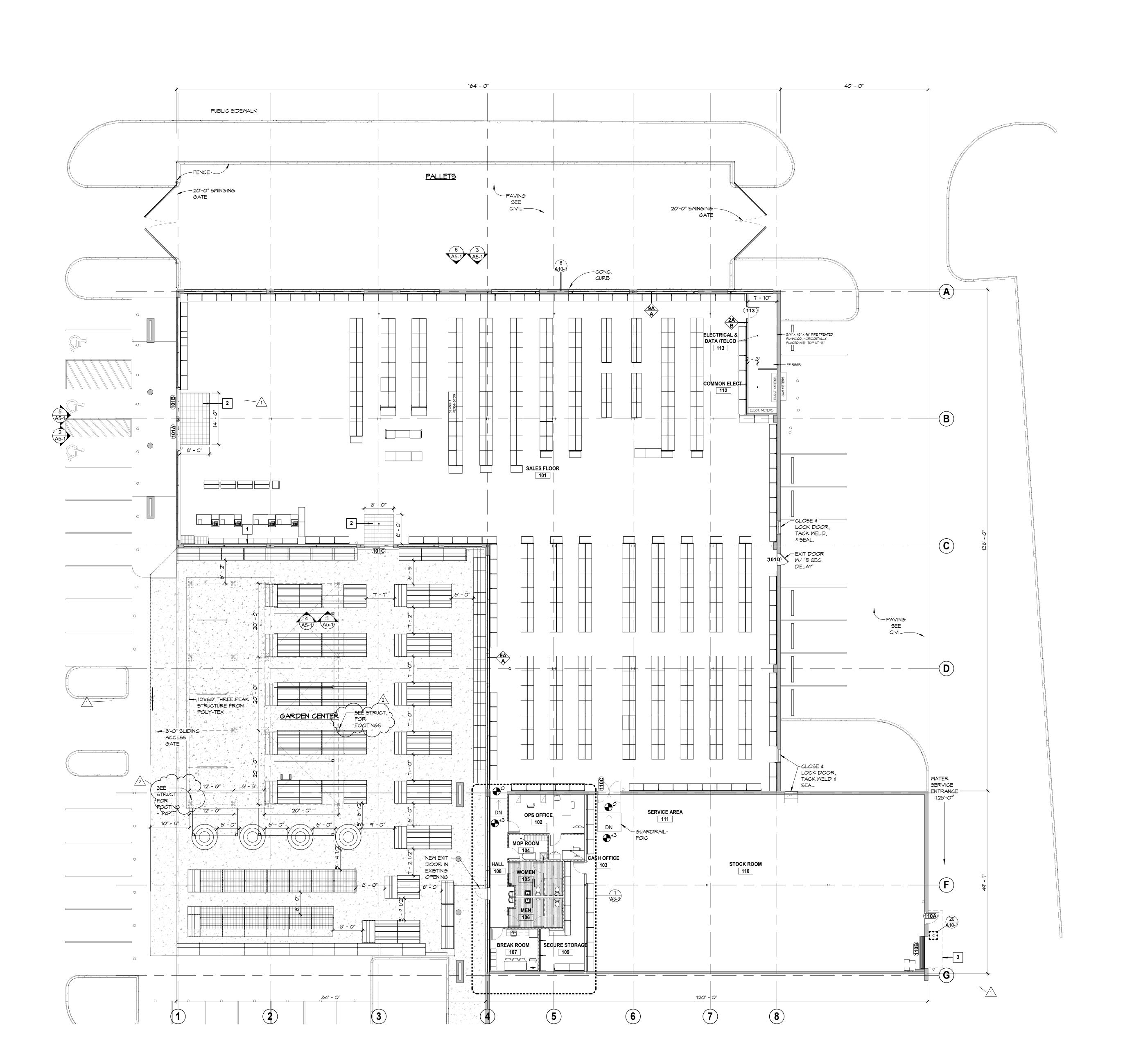
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DEMOLITION PLAN & NOTES

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FLOOR PLAN KEYED NOTES:

- BARNWOOD FINISH FROM TOP OF BASE TO BOTTOM OF SOFFIT REQUIRES 1/2" CDX BACKER.
- 2 WALK-OFF MAT WITH RAMP-STYLE TRANSITION EDGE FRAME.
- 4' WIDE CANVAS AWNING WITH ALUMIUM FRAME MIN 12; HT TO BOTTOM CONFIRM COLOR WITH TENANT.
- 6" DIAMETER CONCRETE-FILLED STEEL PIPE BOLLARDS WITH DECORATIVE COVERS AT JAMBS OF DOCK DOORS.

KEY TO WALL TYPES AND DOORS:

----- Existing wall to be removed ---- ITEMS TO BE DEMOLISHED SHOWN DASHED EXISTING WALL TO REMAIN NEM STUD MALL - TYP. 2A/B U.N.O.

EXISTING DOOR & NEW OR RELOCATED FRAME TO BE DEMOLISHED DOOR & FRAME FRAME TO REMAIN

GENERAL NOTES:

------ INDICATES CONCRETE CURB. REFER TO ---- $\frac{8}{410.1}$

(101A) REFER TO SHEET A10-1 FOR DOOR SCHEDULE

CONSTRUCTION JOINTS, REFER TO DETAIL $\frac{9}{410-1}$

FE FIRE EXTINGUISHER - BRACKET MOUNT W/ SIGN TO MEET CODE. VERIFY ALL LOCATIONS W/ FIRE MARSHAL.

INTERIOR - ALL DIMENSIONS ARE TO CENTERLINE OF STUDS (UNLESS NOTED

EXTERIOR - ALL DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING OR FACE OF MASONRY (UNLESS NOTED OTHERWISE).

FD FLOOR DRAIN, REFER TO MECHANICAL

-- MALL TYPES
REFER TO SHEET A10-1

DIMENSIONS

OTHERWISE)

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3401 S. 84TH STREET OMAHA, NE 68124

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FLOOR PLAN

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1 FLOOR PLAN
3/32" = 1'-0"

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ACE HARDWARE

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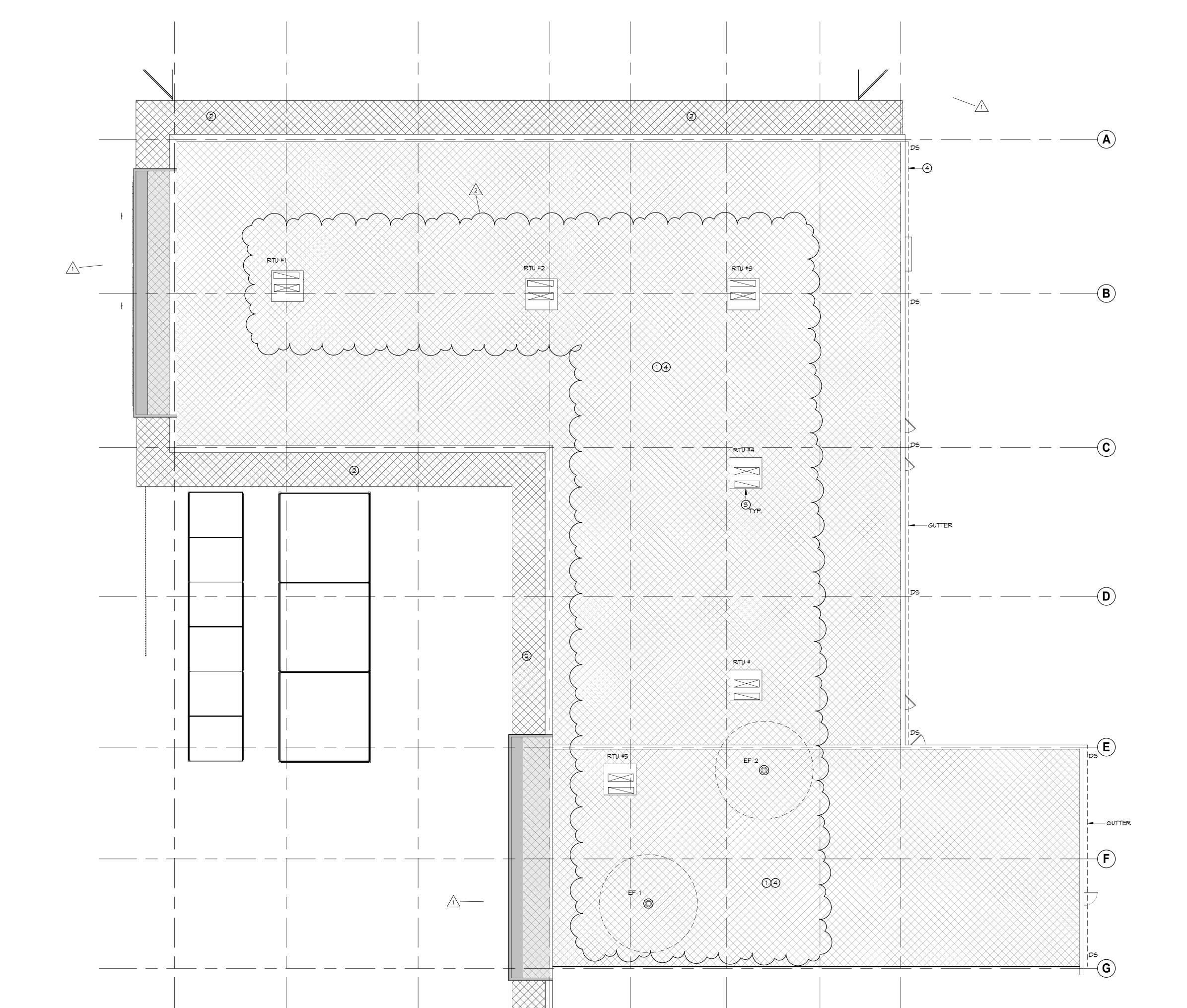
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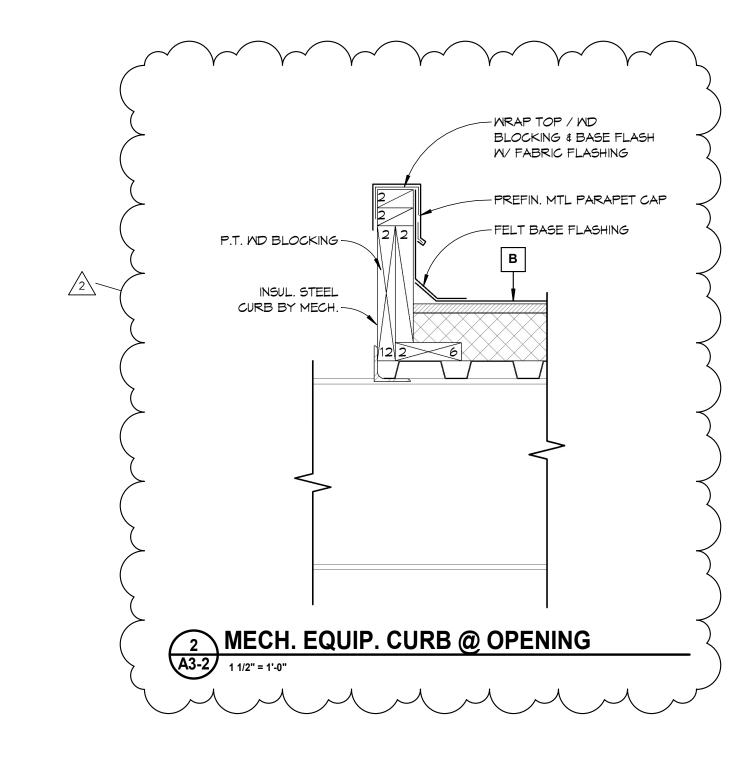
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1 ROOF PLAN
A3-2 3/32" = 1'-0"



ROOFING KEYED NOTES:

- REMOVE ALL EXISTING ROOFING & INSULATION FOR REPLACEMENT
- REMOVE ALL EXISTING ROOFING & INSULATION IN CANOPIES FOR REPLACEMENT WITH NEW ROOFING. MAINTAIN EXISTING DRAIN LOCATIONS.
- 3 TYPICAL RTU LOCATION W/ ROOF CURB. SEE MECHANICAL.
- FIELD VERIFY EXISTING ROOF DRAIN, DOWNSPOUTS & OTHER COMPONENT. MAINTAIN EXISTING SYSTEM DESIGN & REPLACE EXISTING EXPOSED COMPONENTS & IN SIMILAR LOCATIONS.

GENERAL ROOF NOTES:

- . AVERAGE ROOF INSULATION TO EXCEED CURRENT STATE CODE REQUIREMENTS. SEE SPEC.
- 2. MECHANICAL INFORMATION SHOWN IS INTENEDED ONLY TO COMMUNICATE DESIGN INTENT. REFER TO MECHANICAL DRAWINGS FOR DETAILED INFORMATION. COORDINATE / VERIFY ALL EQUIPMENT LOCATIONS WITH MECHANICAL
- 3. CONNECT DOWNPOUTS TO STORM SEWER. REFER TO CIVIL.
- 4. REFER TO CIVIL FOR GRADE CONDITIONS & DRAINAGE.

ROOF LEGEND

EXTENT OF ROOF REPLACEMENT

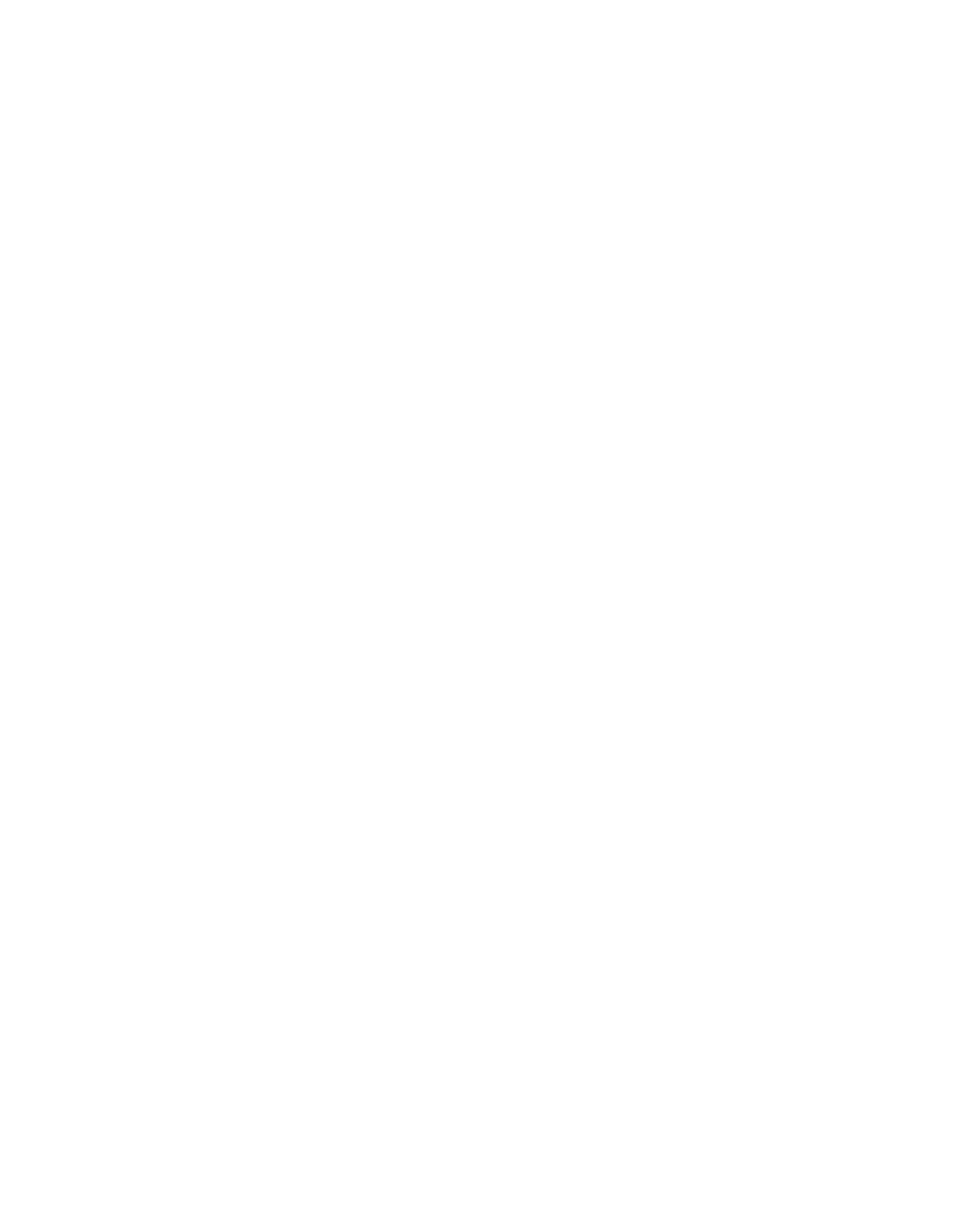
SLOPING STRUCTURE WITH RIGID INSULATION & MEMBRANE ROOFING

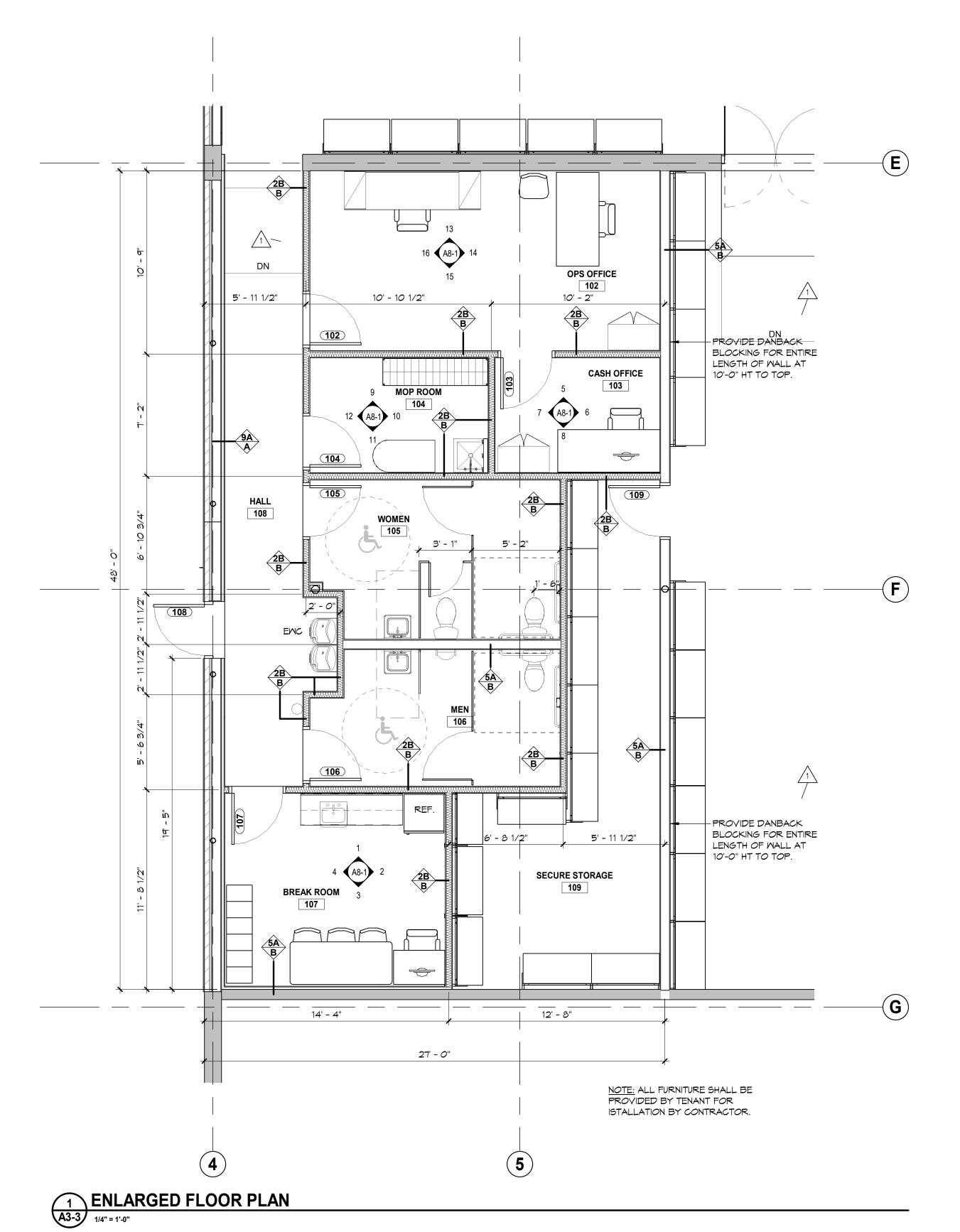
DOWNSPOUT TO EMPTY AT GRADE $\frac{18}{(410-1)}$ SIM DOWNSPOUT TIED INTO EXISTING STORM SEMER $\frac{18}{410-1}$ EXISTING SCUPPER W/ MODIFIED DOWNSPOUT

■ DRAINAGE ARROW

Sheet Information

ROOF PLAN & DETAILS



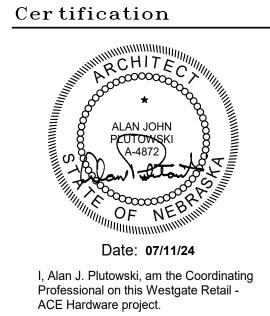


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WESTGATE PLAZA
ACE HARDWARE

3401 S. 84TH STREET OMAHA, NE 68124

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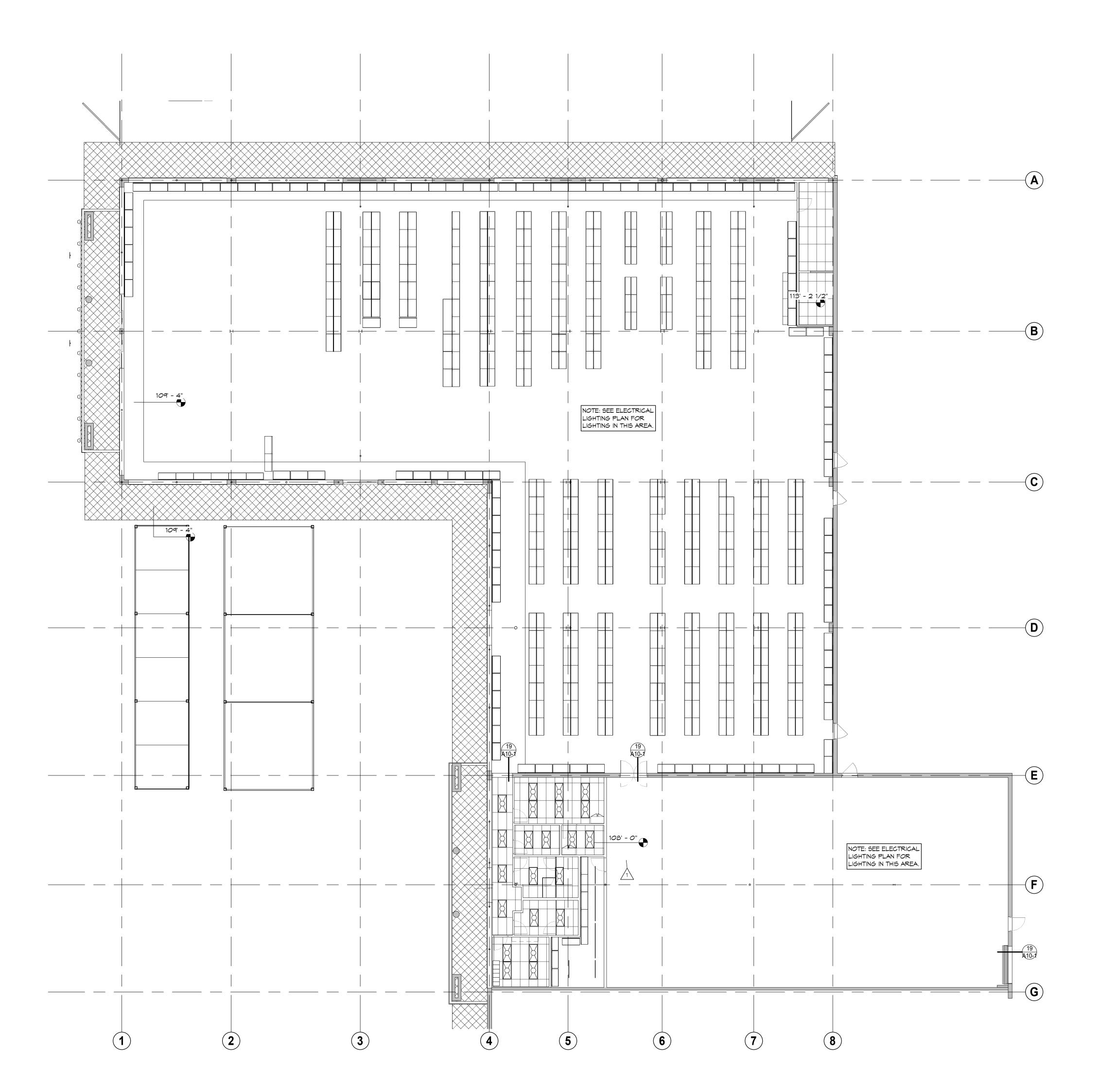
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ENLARGED PLAN

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Project Information
WESTGATE PLAZA
ACE HARDWARE

Cer tification

OMAHA, NE 68124

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CEILING LEGEND

GYP. BD. SOFFIT

8' CEILING MOUNTED LED STRIP LIGHT

EXTERIOR WALL SCONCE

2x4 LAY-IN LED LIGHT FIXTURE

4' CEILING MOUNTED LED STRIP LIGHT

ACT-1: 2'X4' ACOUSTIC CEILING TILE AND GRID SYSTEM

GYP. BD. CEILING @ BOTTOM OF STRUCTURE

EXISTING EXTERIOR LINEAR MOOD SOFFIT

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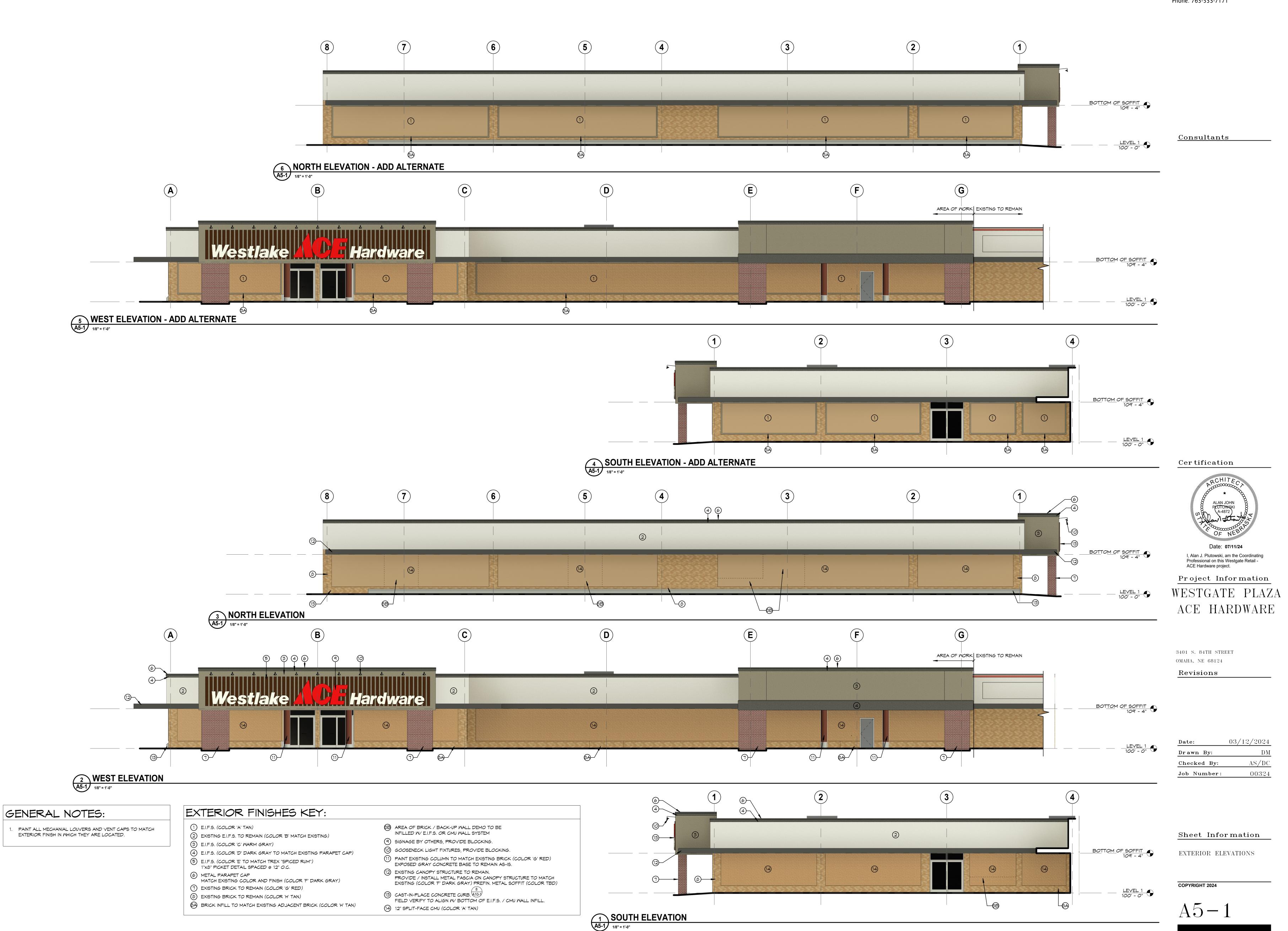
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REFLECTED CEILING PLAN

A A A

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BASE CABINET

VALANCE -

SMING AND SLIDING -DOOR HARDWARE

MOP SINK

11' - 3 1/2"

-REFRIGERATOR

BREAK ROOM ELEVATION

1/4" = 1'-0"

DESK & TABLE <

10 MOP ROOM ELEVATION

MOP ROOM ELEVATION

11

A8-1

1/4" = 1'-0"

MOP ROOM ELEVATION

1/4" = 1'-0"

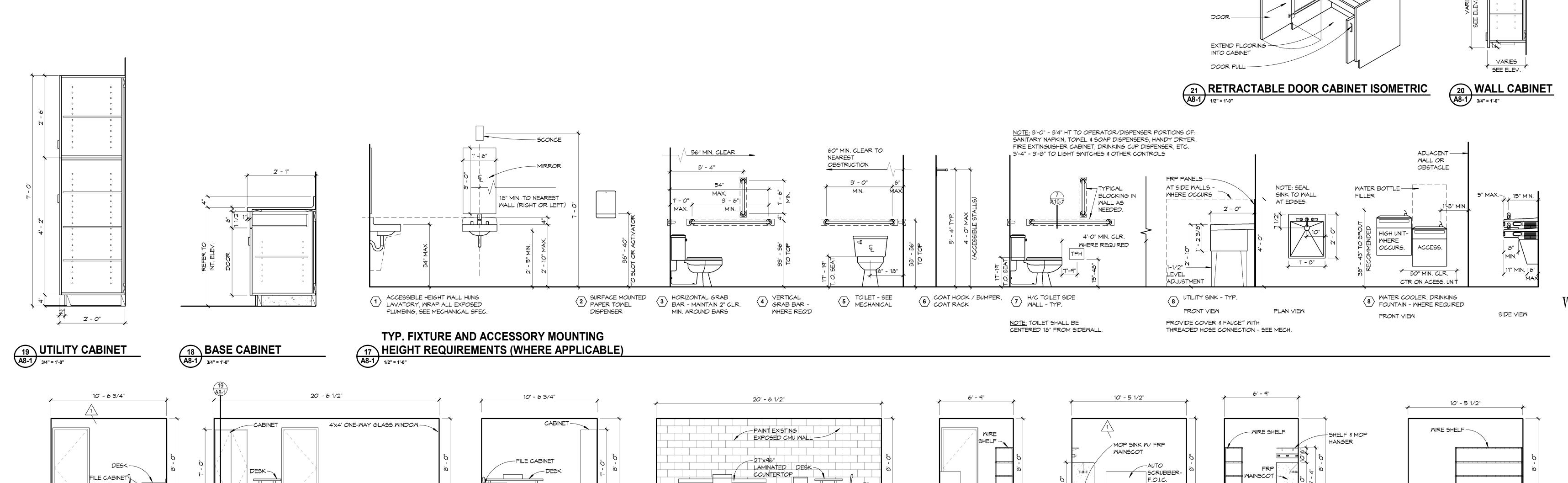
12' - 11 1/4"

-DESK W/

3 BREAK ROOM ELEVATION
A8-1 1/4" = 1'-0"

MORKSTATION

LOCKERS-



FILE CABINETS

11' - 2 1/2"

BREAK ROOM ELEVATION

A8-1 1/4" = 1'-0"

CABINET

OPS OFFICE ELEVATION

1/4" = 1'-0"

9' - 7 1/2"

5 CASH OFFICE
A8-1 1/4" = 1'-0"

5" VINYL BASE

5" VINYL

-BASE

- OPS OFFICE ELEVATION

1/4" = 1'-0"

DESK W/

/5" VINYL

BASE

6 CASH OFFICE

1/4" = 1'-0"

MORKSTATION -

5" VINYL BASE

__CABINET

5" VINYL BASE \

SAFE

7 CASH OFFICE
A8-1 1/4" = 1'-0"

5" VINYL BASE

OPS OFFICE ELEVATION

15
OPS OFFICE ELEVATION

15
A8-1
1/4" = 1'-0"

9' - 8"

DESK W/ WORKSTATION

8 CASH OFFICE A8-1 1/4" = 1'-0" Certification

ALAN JOHN
PLUTOWSKI
A-4872

Date: 07/11/24

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Project Information

Project Information
WESTGATE PLAZA
ACE HARDWARE

3401 S. 84TH STREET OMAHA, NE 68124

MOP ROOM ELEVATION

1/4" = 1'-0"

12' - 11 7/8"

6' - 0"

1 BREAK ROOM ELEVATION
A8-1 1/4" = 1'-0"

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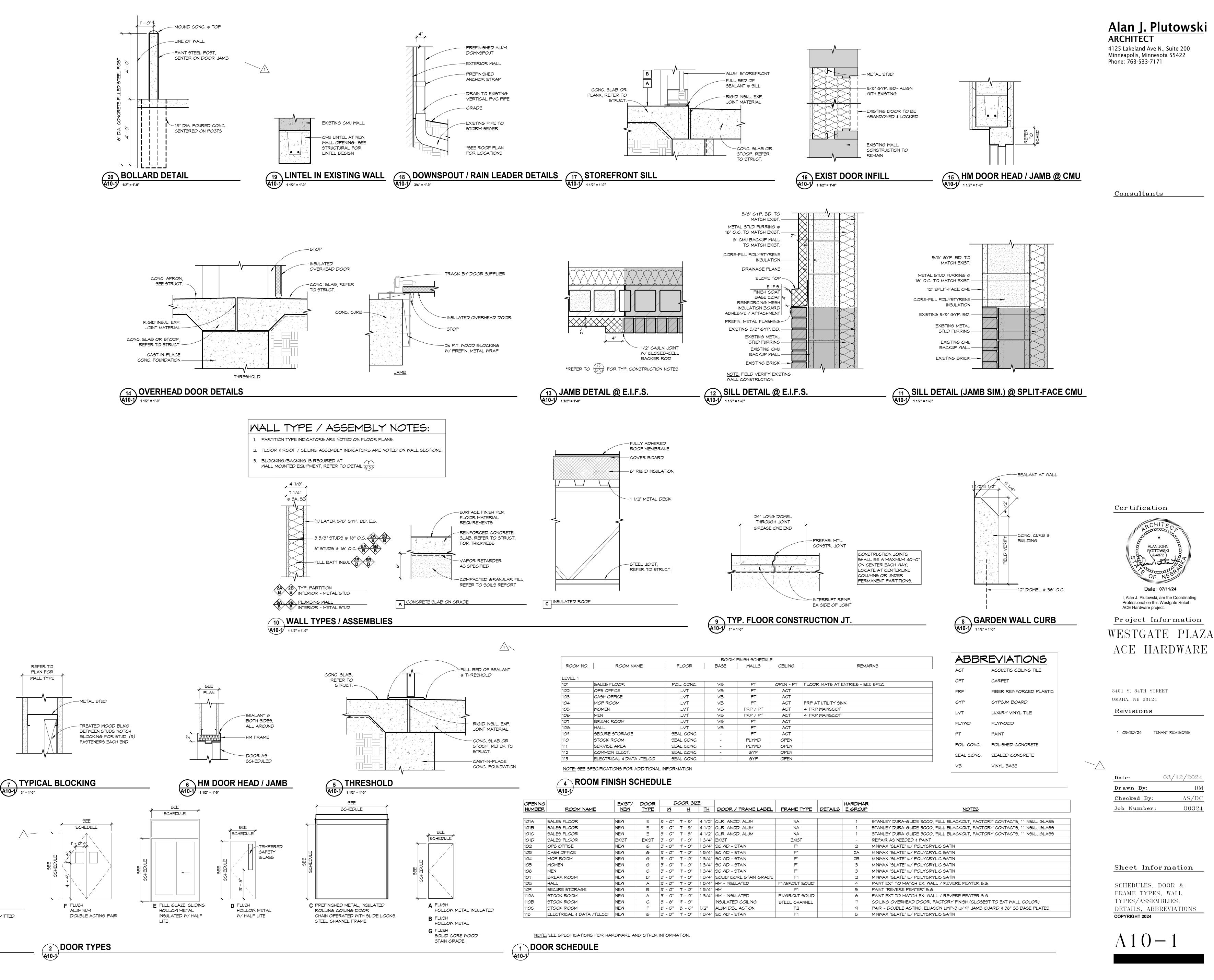
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INTERIOR ELEVATIONS

A8 - 1



REFER TO

PLAN FOR

MALL TYPE

A10-1 3" = 1'-0"

(F3) OMITTED

F1 HOLLOW METAL

F2 STOPLESS

FRAME TYPE

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ACE Hardware project.

3401 S. 84TH STREET

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SCHEDULES, DOOR &

FRAME TYPES, WALL

TYPES/ASSEMBLIES,

A10-1

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DETAILS, ABBREVIATIONS

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GENERAL STRUCTURAL NOTES:

A. DESIGN DATA:
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DESIGN CODE: IBC 2018

CONCRETE 28 DAY STRENGTH: F'C = 4,000 PSI

STRUCTURAL STEEL (BEAMS & COLUMNS)

ASTM A992

(BEAMS & COLUMNS)

MISCELLANEOUS ROLLED SECTIONS ASTM A36
AND PLATES (ANGLES, CHANNELS,

HIGH STRENGTH BOLTS

PLAIN BOLTS AND ANCHORS
OR GR. 36 (WELDABLE, S1)

REINFORCING STEEL

WELDED REINFORCING

ASTM A615 FY = 60,000 PSI

ASTM A615 FY = 60,000 PSI

WELDED WIRE FABRIC ASTM A185

CONCRETE MASONRY UNITS (ASTM C90/ NORMAL WEIGHT/

1,900 PSI UNIT STRENGTH)

MORTAR TYPE M OR S
GROUT 28 DAY STRENGTH

ALLOWABLE SOIL BEARING CAPACITY

1,500 PSF (ASSUMED)

DESIGN LOADS

PLATES, ETC.)

GRAVITY LOADS:

FLOORS

DL = 25 PSF

LL = 100 PSF

ROOFS

DL = 25 PSF

LL BASED ON GROUND SNOW LOAD OF 30 PSF

(Ce =1.0, Ct =1.0, AND I=1.0)**

**INCREASE LIVE LOAD FOR SNOW DRIFTING AS REQUIRED IN CONFORMANCE WITH THE AMERICAN SOCIETY OF CIVIL ENGINEERS ANSI/ASCE 7-16.

WIND LOADING CRITERIA (2018 IBC)

BASE WIND SPEED (3 SECOND GUST) 'V' = 115 MPH

BUILDING CATEGORY II

IMPORTANCE FACTOR 'IW' = 1.0

EXPOSURE CATEGORY B

B. FOUNDATION WORK:

1. SUBSOILS SUPPORTING OR IN DIRECT CONTACT WITH FOOTINGS, SLABS ON GRADE, OR OTHER FOUNDATION ELEMENTS SHALL BE PROTECTED AGAINST FREEZING CONDITIONS THAT COULD CAUSE MOVEMENT OR OTHER DETRIMENTAL EFFECT TO THE STRUCTURE AS A WHOLE OR TO ANY OF ITS COMPONENT PARTS.

2. WHEN WORKING NEAR EXISTING AND/OR NEW CONSTRUCTION, THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION SO AS NOT TO UNDERMINE, DISTURB, DAMAGE OR, IN ANY WAY, CAUSE UNDESIRABLE MOVEMENT, CRACKING, AND/OR SETTLEMENT OF THE ADJACENT CONSTRUCTION.

3. ALL SLABS ON GRADE SHALL BEAR ON UNDISTURBED VIRGIN SOIL OR PROPERLY COMPACTED BACKFILL/GRANULAR FILL. ANY UNACCEPTABLE UNDISTURBED VIRGIN SOIL OR BACKFILL/GRANULAR FILL, AS DETERMINED BY THE OWNER'S GEOTECHNICAL ENGINEER, SHALL BE REMOVED AND REPLACED AS REQUIRED BY THE GEOTECHNICAL ENGINEER.

4. CONTRACTOR SHALL COORDINATE FOOTING ELEVATIONS WITH FINAL GRADING PLAN TO PROVIDE A MINIMUM OF 42" OF GRADE ABOVE THE BOTTOM OF ALL FOOTINGS FOR FROST PROTECTION.

C. CONCRETE:

1. CONCRETE SHALL BE REGULAR WEIGHT (144 PCF) WITH TYPE I CEMENT, POTABLE WATER, AND AGGREGATES CONFORMING TO REQUIREMENTS OF NEBRASKA DEPARTMENT OF ROADS FOR 47-B CONCRETE, UNLESS NOTED OTHERWISE. CONCRETE SHALL CONFORM TO ACI 301-10.

2. MECHANICALLY VIBRATE CONCRETE, EXCEPT THAT SLABS ON GRADE NEED BE VIBRATED ONLY AROUND UNDERFLOOR DUCTS AND OTHER ITEMS EMBEDDED IN THE SLAB.

3. DO NOT PLACE PIPES, DUCTS, OR CHASES IN STRUCTURAL CONCRETE WITHOUT APPROVAL OF THE ARCHITECT/ENGINEER. SEE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR LOCATIONS.

CONCRETE STRUCTURES" (ACI 315 LATEST EDITION) EXCEPT AS OTHERWISE DETAILED OR SPECIFIED.

4. CONSTRUCT FORMWORK SO CONCRETE MEMBERS AND STRUCTURES ARE OF SIZE, SHAPE, ALIGNMENT, ELEVATION,

AND POSITION INDICATED, WITHIN TOLERANCE LIMITS OF ACI 117.

5. ALL REINFORCING STEEL SHALL BE DEFORMED NEW BILLETS BARS (A615, GRADE 60), BENT COLD, AND DETAILED, FABRICATED, AND HELD IN PLACE IN ACCORDANCE WITH THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED

6. UNLESS NOTED OTHERWISE, SLABS ON GRADE SHALL BE 4" CONCRETE REINFORCED WITH 6 X 6 W1.4 X W1.4 WELDED WIRE FABRIC ON 4" GRANULAR FILL WITH VAPOR BARRIER.

D. MASONRY:

1. FURNISH AND CONSTRUCT MASONRY IN ACCORDANCE WITH THE REQUIREMENTS OF THE SPECIFICATIONS FOR MASONRY CONSTRUCTION (ACI 530.1-02/ASCE 6-02/TMS 602-02.

2. LAY MASONRY UNITS IN RUNNING BOND.

3. MAXIMUM GROUT LIFT WITHOUT CLEANOUTS SHALL BE 4'0" IN BLOCK WALLS AND 8" GROUTED TWO WYTHE WALLS.

4. 8" WALLS PROVIDE CONTINUOUS FULL HEIGHT VERTICAL REINFORCING IN CENTER OF GROUT AT CENTER OF WALL. TYPICAL REINFORCING SHALL BE 1 #5 AT 4'0" ON CENTER AND 1 #5 AT CORNERS, INTERSECTIONS, WALL ENDS, DOOR AND WINDOW JAMBS, AND SIDE OF EXPANSION OR CONTROL JOINTS UNLESS NOTED OTHERWISE.

5. PROVIDE LADDER TYPE #9 JOINT REINFORCING AT 16" ON CENTER VERTICAL SPACING IN ALL CONCRETE MASONRY AND UNLESS NOTED OTHERWISE.

6. SPLICE MASONRY WALL REINFORCING 48 BAR DIAMETERS.

7. SPLICE PLACE BOND BEAM REINFORCING AT MASONRY CONTROL/EXPANSION JOINTS AS SHOWN ON MASONRY JOINT DETAIL ON THIS SHEET.

8. PROVIDE CONTINUOUS BOND BEAMS AT ALL BEAM BEARING ELEVATIONS AND AT THE TOP OF ALL WALLS.

9. PROVIDE CONTINUOUS WIRE LATH GROUT BARRIERS BELOW BOND BEAMS.

PROVIDE LINTELS OVER ALL OPENINGS AND RECESSES IN MASONRY WALLS. EXTERIOR LINTELS SHALL BE GALVANIZED, UNLESS NOTED OTHERWISE.

10. FOR ALL OPENINGS NOT OTHERWISE DETAILED OR SCHEDULED, MINIMUM LINTELS SHALL BE FOR EACH 4 INCH OF MASONRY WIDTH 1 L 3 ½ X 3 ½ X ¼ FOR SPANS UP TO 4'0", 1 L 4 X 3 ½ X ¼ FOR SPANS UP TO 6' 0" AND 1 L 5 X 3 ½ X 5/16 FOR SPANS UP TO 8' 0". FOR SPANS LESS THAN 2' 0" PROVIDE A 5/16" PLATE.

11. ALL LINTELS SHALL HAVE A MINIMUM BEARING OF 8 INCHES EACH END.

E. STEEL:

1. STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC SPECIFICATIONS AND OSHA REGULATION 29 CFR PART 1926.

2. ALL STEEL BEAMS BEARING ON MASONRY SHALL HAVE A MINIMUM OF 8" OF BEARING. PROVIDE THE BEAMS WITH BEARING PLATES AND WALL ANCHORS UNLESS NOTED OTHERWISE. PROVIDE A MINIMUM OF 4 COURSES OF BRICK OR SOLID CONCRETE MASONRY FOR BEAM BEARING.

3. SHOP PAINT STRUCTURAL STEEL WITH FABRICATOR'S STANDARD LEAD- AND CHROMATE-FREE, NONASPHALTIC, RUST-INHIBITING PRIMER, UNLESS NOTED OTHERWISE. ALL EXTERIOR EXPOSED STEEL SHALL BE GALVANIZED. UPON APPROVAL OF ARCHITECT, PAINTING MAY NOT BE REQUIRED FOR SURFACES ENCLOSED IN INTERIOR CONSTRUCTION.

4. COMPLY WITH AMERICAN WELDING SOCIETY STANDARDS. ALL WELDERS SHALL HAVE VALID CERTIFICATES AND HAVE CURRENT EXPERIENCE IN TYPE OF WELD CALLED FOR.

5. WELDING ELECTRODES SHALL BE E70 FOR ALL STEEL, UNLESS NOTED OTHERWISE.

F. STEEL DECK:

MATERIAL, DESIGN, MANUFACTURE, AND INSTALLATION OF METAL DECKING SHALL BE FURNISHED BY A MEMBER OF E STEEL DECK INSTITUTE.

2. PROVIDE L 3X3X1/4 ANGLE FRAMING AROUND ALL ROOF PENETRATIONS AND AS REQUIRED FOR SUPPORT OF ROOF CURBS TO STIFFEN METAL DECK EDGES.

3. NEW ROOF DECK SHALL MATCH EXISTING PROFILE AND GAUGE. WELD STEEL DECK TO STRUCTURAL MEMBERS WITH MINIMUM 5/8" DIAMETER PUDDLE WELDS AT 6" ON CENTER AT DECK ENDS AND LAPS, 12" ON CENTER AT INTERMEDIATE

G. LIGHT GAUGE METAL:

1. LIGHT GAUGE METAL FRAMING SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH THE LATEST EDITION OF "THE NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS" AND "THE COLD FORMED STEEL FRAMING DESIGN GUIDE" OF THE AMERICAN IRON AND STEEL INSTITUTE.

2. PROVIDE TRACKS, BLOCKING, LINTELS, CLIP ANGLES, STRAP BRACING, SHOES, REINFORCEMENTS, FASTENERS, AND ACCESSORIES TO PROVIDE A COMPLETE METAL FRAME SYSTEM.

3. ISOLATE PARTITIONS FROM STRUCTURAL ELEMENTS WITH SLIP OR CUSHION-TYPE JOINTS BETWEEN STEEL FRAMING AND STRUCTURE AS RECOMMENDED BY STEEL FRAMING MANUFACTURER TO PREVENT TRANSFER OF STRUCTURAL LOADS OR MOVEMENTS TO PARTITIONS.

4. INSTALL HORIZONTAL BRIDGING IN WALL SYSTEM AS REQUIRED BY METAL STUD SUPPLIER. MINIMUM BRIDGING SPACING SHALL BE 4'0" O.C. (VERTICAL DISTANCE) UNTIL PERMANENT INTERIOR WALL SHEATHING IS INSTALLED.

5. FASTEN PLYWOOD WITH ¼ INCH TEK SCREWS AT 6 INCH AT ALL SUPPORTS AND EDGES.

LOCATIONS. FASTEN STEEL DECK SIDELAPS WITH #10 TEK SCREWS AT 8" ON CENTER.

6. BEARING STUDS MUST BE FABRICATED WITH FULL STUD END SEATED AGAINST TRACK WEB. DO NOT USE STUD THAT HAS BEEN CUT.

7. PROVIDE DOUBLE METAL STUD AROUND ALL OPENINGS IN STUD WALL SYSTEM AT JAMBS, HEADS, AND SILLS. WELD

AT ALL INTERSECTIONS.

H. INSPECTIONS:

1. IN ACCORDANCE WITH 2018 IBC SECTION 1705, AS NOTED BELOW, TESTING AND INSPECTION SHALL BE BY AN INDEPENDENT TESTING/INSPECTION FIRM UNDER THE SUPERVISION OF A LICENSED ENGINEER EMPLOYED BY THAT FIRM. THIS ENGINEER SHALL BE DEEMED THE DESIGNATED ENGINEER OF RECORD FOR SPECIAL INSPECTIONS PERFORMED BY HIS FIRM OR HIS CONSULTANTS. INSPECTORS SHALL BE ICBO CERTIFIED AND APPROVED BY THE BUILDING OFFICIAL.

2. THE DESIGNATED ENGINEER OF RECORD FOR SPECIAL INSPECTIONS SHALL BE RESPONSIBLE FOR DEFINING THE ACTIVITIES OF THE INSPECTORS, FOR CERTIFYING THE QUALIFICATIONS OF THE INSPECTORS WITH THE BUILDING OFFICIAL AND TO ATTEND THE PRE-CONSTRUCTION MEETING TO DEFINE THEIR SCOPE OF SERVICES AND THE TESTING OR TEST PROCEDURES THAT ARE REQUIRED AS OUTLINED IN THE INTERNATIONAL BUILDING CODE.

3. SPECIAL INSPECTION IS TO BE PROVIDED IN ADDITION THE INSPECTIONS CONDUCTED BY THE LOCAL DEPARTMENT OF BUILDING SAFETY AND SHALL NOT BE CONSTRUED TO RELIEVE THE OWNER OR HIS AUTHORIZED AGENT FROM REQUESTING THE PERIODIC AND CALLED INSPECTIONS REQUIRED BY SECTION 104.4 OF THE INTERNATIONAL BUILDING CODE.

4. SPECIAL INSPECTIONS REQUIRED INCLUDE, BUT MAY NOT BE LIMITED TO, THE FOLLOWING:

SPECIAL INSPECTIONS REQUIRED INCLUDE, BUT MAY NOT BE LIMITED TO, THE FOLLOWING:

a. CONCRETE PER SECTION 1705.3 AND TABLE 1705.3 AND ALL APPLICABLE EXCEPTIONS.

b. WELDING: PER SECTION 1705.3.

c. STRUCTURAL MASONRY PER SECTION 1705.4.

I. OTHER:

DISCREPANCIES OR INCONSISTENCIES.

1. UNLESS NOTED OTHERWISE, EXPANSION ANCHORS SHALL BE HILTI KWIK BOLT 3 EXPANSION ANCHORS OR APPROVED EQUAL. ADHESIVE (EPOXY) ANCHORS SHALL CONSIST OF HILTI STANDARD HAS-E RODS WITH THE HIT-HY 200 ADHESIVE

SYSTEM OR APPROVED EQUAL. INSTALL ANCHOR PER MANUFACTURER'S REQUIREMENTS.

2. VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK. NOTIFY THE ARCHITECT/ENGINEER OF ANY

3. VERIFY IN FIELD ALL EXISTING CONDITIONS SHOWN ON DRAWINGS.

STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

4. ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL, AND PLUMBING WITH APPROPRIATE TRADES. PROVIDE ALL TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE

5. INSTALLING CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SHORING OF EXISTING STRUCTURE AT NEW WALL

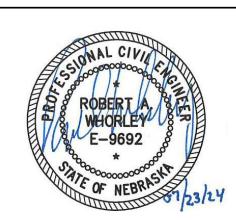
6. ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE STAMP (AND SIGNATURE) OF AN ENGINEER REGISTERED IN NEBRASKA.

Engineering
11811 Fort Street, Suite 104 - Omaha, NE 68164
(402) 343-3960 Fax: (402) 343-3961
NE-CA2455
399 Perry St., Suite 204A - Castle Rock, CO 80104
(303) 721-3322

Alan J. Plutowsk ARCHITECT 4125 Lakeland Ave N., Suite 200 Minneapolis, Minnesota 55422 Phone: 763-533-7171

Consultants

Certification



Project Information
WESTGATE PLAZA
ACE HARDWARE

3401 S. 84TH STREET
OMAHA, NE 68124
Revisions

Date: 03/12/2024

Drawn By: Author

Checked By: Checker

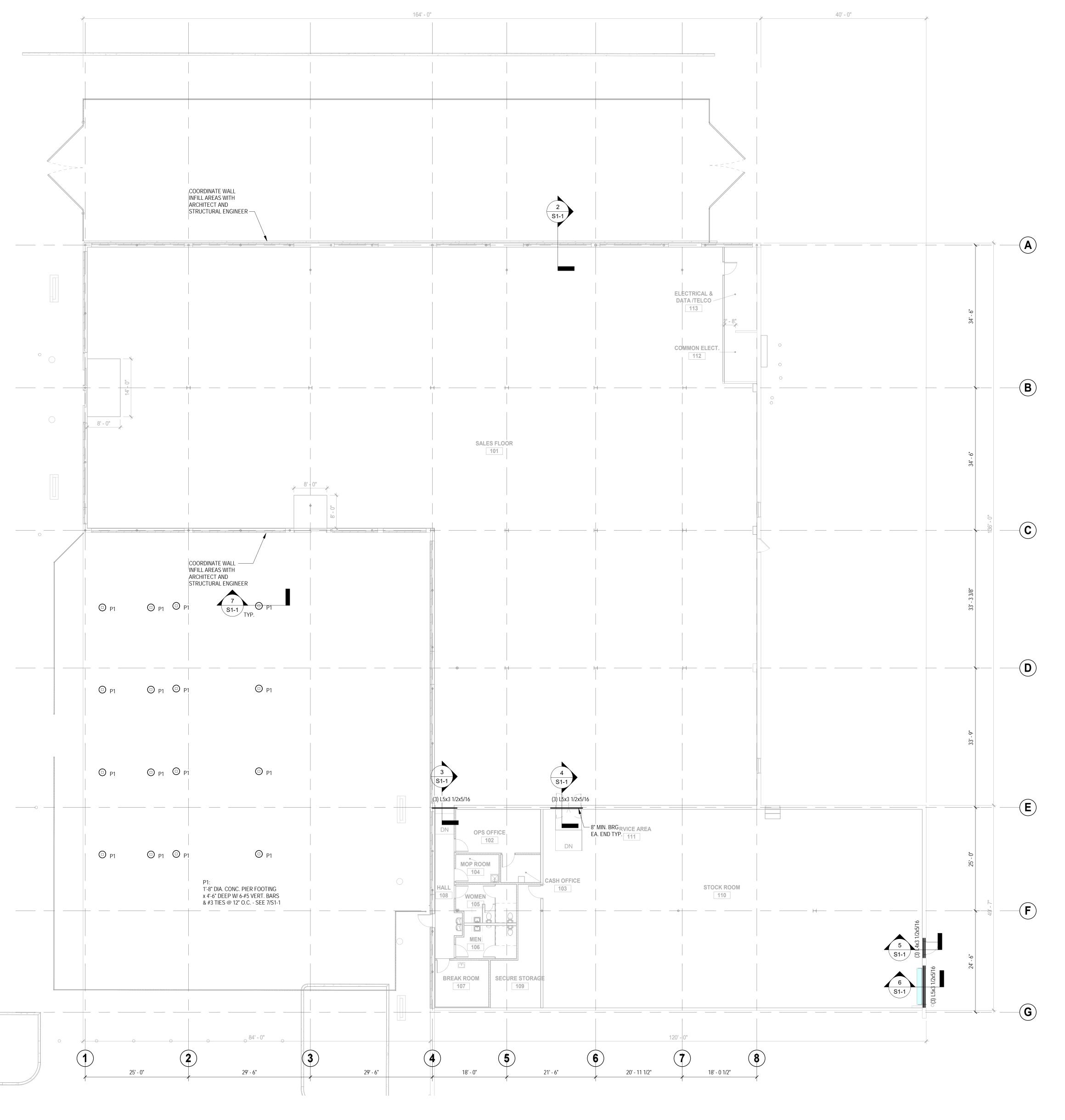
Job Number: 00324

Sheet Information

GENERAL STRUCTURAL NOTES

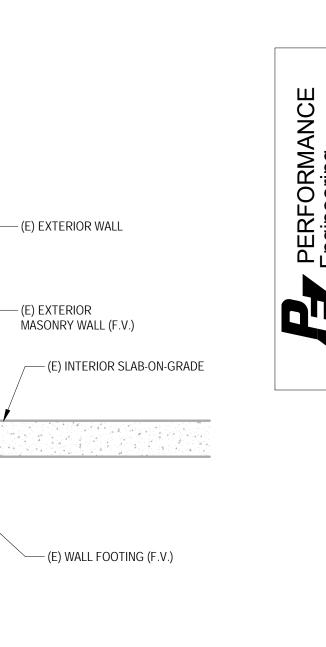
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1 STRUCTURAL FLOOR PLAN
S1-1 3/32" = 1'-0"

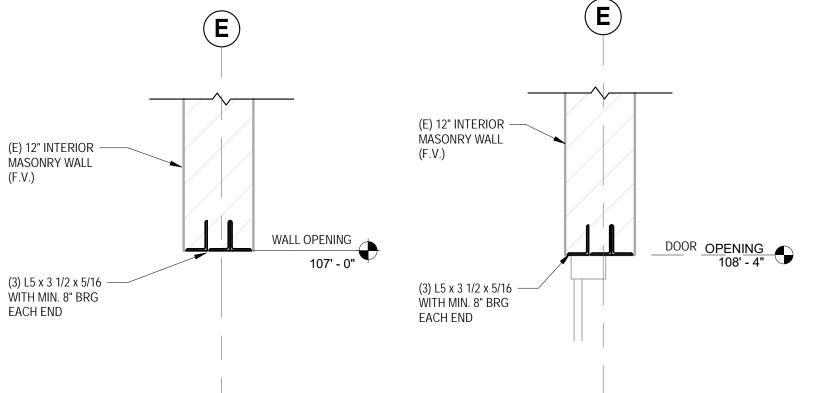
6" WIDE CONCRETE CURB WITH (2) #4 HORZ. AND #4 VERTICAL AT 16" O.C. SET VERTICAL BARS IN NEW EXTERIOR SLAB WITH MINIMUM 4" EMBEDMENT – EXTERIOR SLAB (SEE ARCH) — 8" WIDE THICKENED — EXTERIOR SLAB EDGE WITH (1) #4 HORZ - COORDINATE WITH ARCH. (E) 12" INTERIOR -MASONRY WALL (F.V.) (3) L5 x 3 1/2 x 5/16 — WITH MIN. 8" BRG EACH END 3 LINTEL SECTION S1-1 3/4" = 1'-0" (E) 12" INTERIOR — MASONRY WALL (F.V.) (3) L4 x 3 1/2 x 5/16 — WITH MIN. 8" BRG EACH END 5 LINTEL SECTION SITE PAVING (SEE ARCH.)——



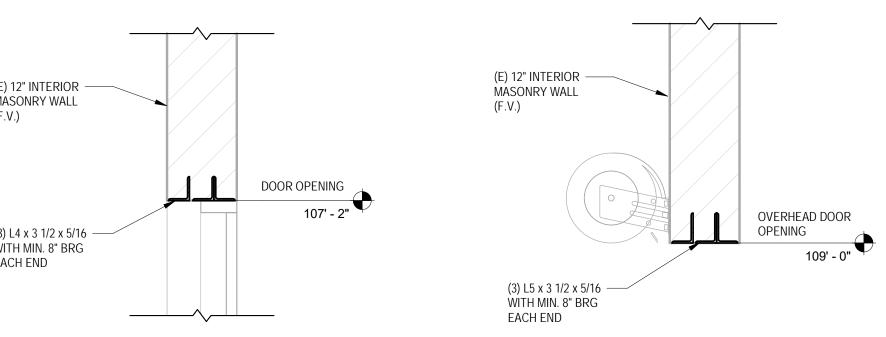
Alan J. Plutowski 4125 Lakeland Ave N., Suite 200 Minneapolis, Minnesota 55422 Phone: 763-533-7171

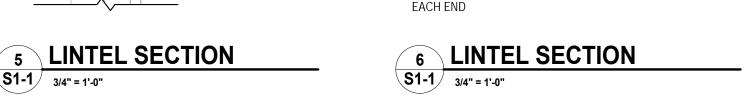
Consultants

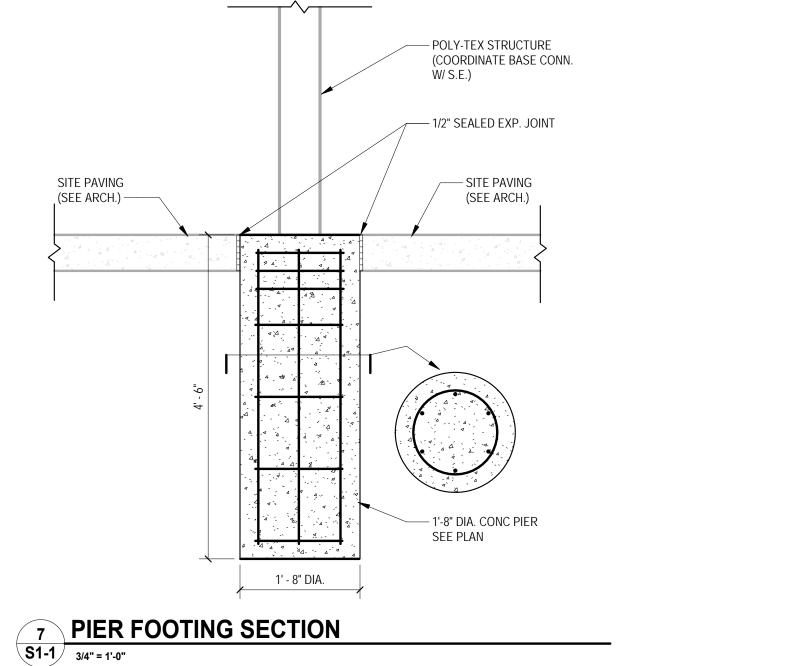
SECTION AT FLOOR SLAB











Project Information WESTGATE PLAZA ACE HARDWARE

3401 S. 84TH STREET OMAHA, NE 68124 Revisions

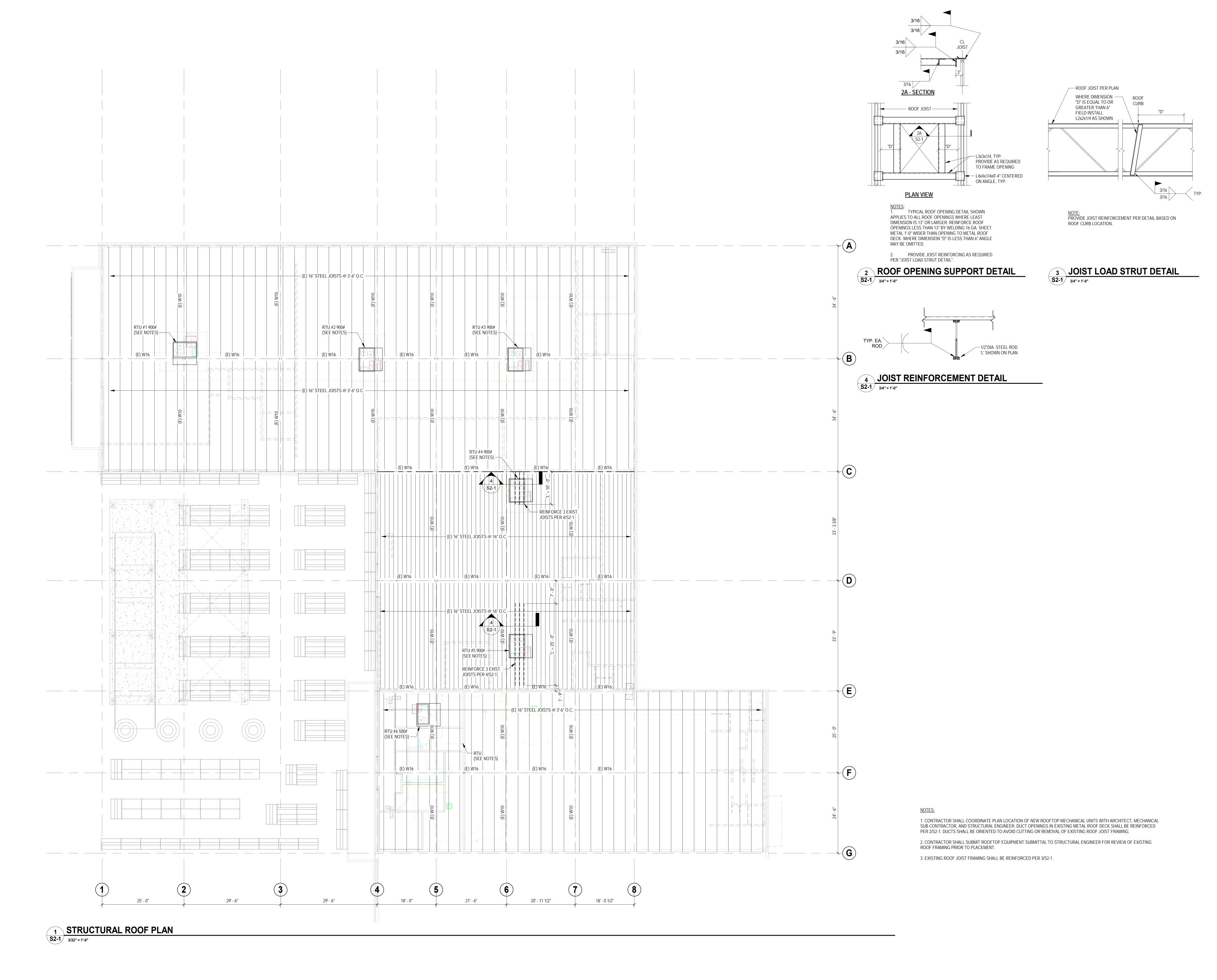
Certification

03/12/2024 Drawn By: RW Checked By: 00324 Job Number:



Sheet Information

STRUCTURAL FLOOR PLAN AND NOTES



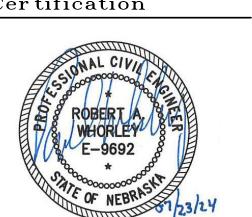


Alan J. Plutowski
ARCHITECT

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Consultants

Cer tification



Project Information
WESTGATE PLAZA
ACE HARDWARE

3401 S. 84TH STREET OMAHA, NE 68124

Revisions

 Date:
 03/12/2024

 Dr awn By:
 ML

 Checked By:
 RW

 Job Number:
 00324

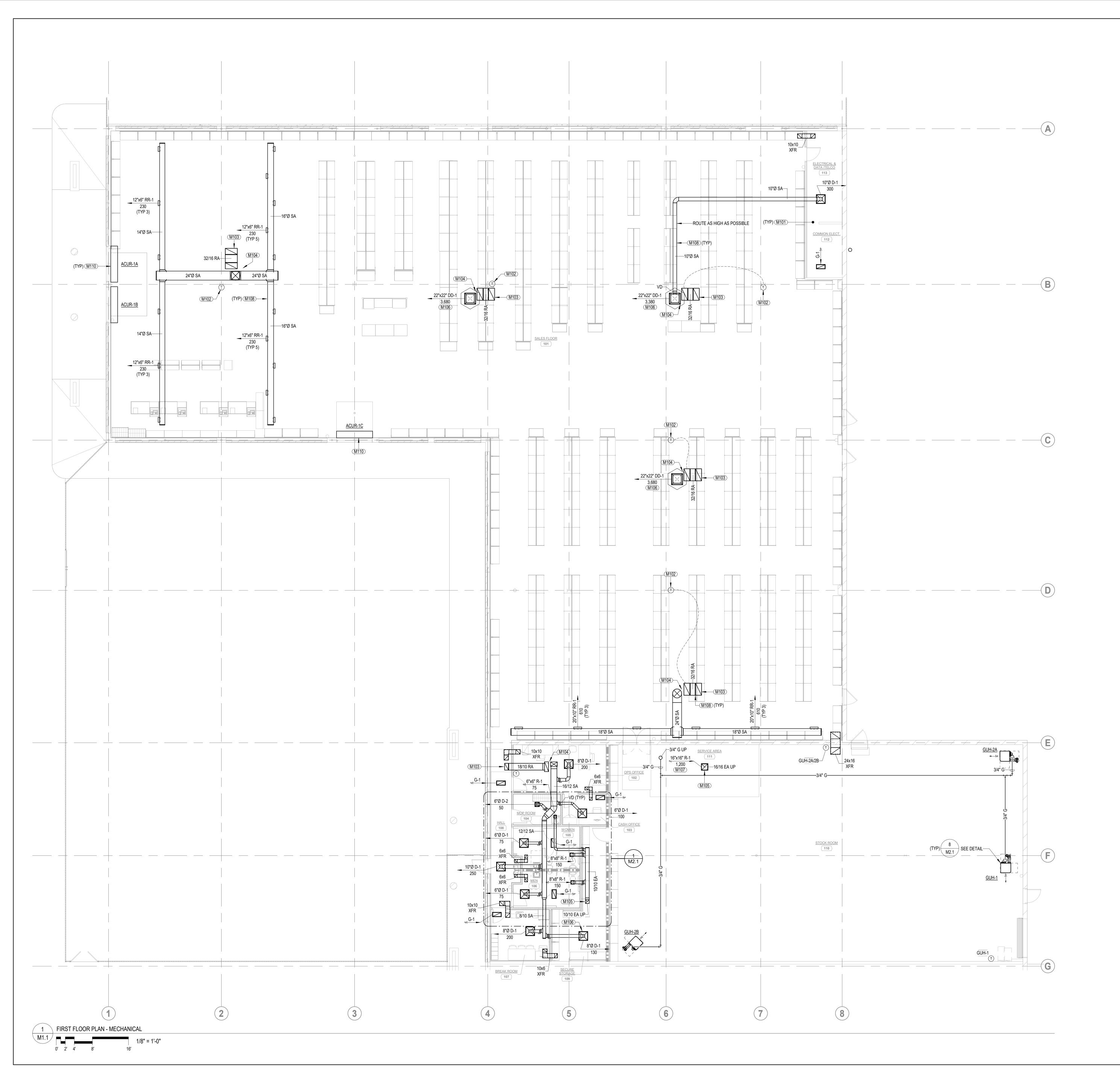


Sheet Information

STRUCTURAL ROOF PLAN AND SECTIONS

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S2 - 1



GENERAL MECHANICAL NOTES

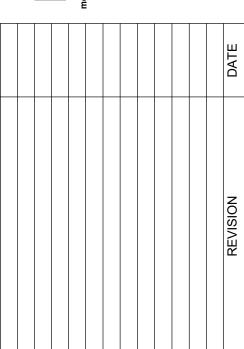
- 1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO NEW WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING PIPING AND DUCTWORK AS NECESSARY TO AVOID CONFLICTS WITH EXISTING STRUCTURE AND WITH ALL TRADES OF NEW WORK.
- 2. DO NOT ROUTE PIPING OR DUCTWORK ABOVE ELECTRICAL PANELS. MAINTAIN ALL CODE REQUIRED CLEARANCES.
- 3. MAINTAIN MINIMUM 10'-0" CLEARANCE TO EXHAUST FANS AND WASTE VENTS FROM ALL FRESH AIR INTAKES.
- 4. MAINTAIN MANUFACTURER'S REQUIRED CLEARANCE AROUND ALL MECHANICAL EQUIPMENT TO ALLOW PROPER OPERATION AND FOR EASY MAINTENANCE AND FILTER ACCESS.
- 5. COORDINATE EXACT LOCATION OF ALL FLOOR, WALL, AND ROOF PENETRATIONS AND WORK TO BE PERFORMED ABOVE THE FLOORS AND ROOF WITH GENERAL CONTRACTOR. SEAL ALL PENETRATIONS OF EXTERIOR ENVELOPE WEATHER TIGHT. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ROOF WORK IN ACCORDANCE WITH ROOF WARRANTY.
- 6. UNLESS OTHERWISE NOTED, ROUTE PIPING AND DUCTWORK AS HIGH AS POSSIBLE. UTILIZE JOIST SPACE TO AVOID CONFLICTS. COORDINATE EXACT ROUTING WITH STRUCTURE, LIGHTS, AND ALL OTHER TRADES. PROVIDE NECESSARY OFFSETS, TRANSITIONS, AND EXTENSIONS AS REQUIRED TO COMPLETE INSTALLATION AT NO ADDITIONAL COST TO OWNER.
- 7. PLANS ARE SCHEMATIC IN NATURE. DUCTWORK/PIPE ROUTING IS SHOWN FOR CLARITY AND FOR GENERAL ROUTING INFORMATION. COORDINATE EXACT ROUTING WITH ALL OTHER TRADES. PROVIDE ALL ADDITIONAL OFFSETS AS REQUIRED TO COMPLETE INSTALLATION.
- 8. PLAN WORK TO MINIMIZE SHUT DOWNS. COORDINATE ALL REQUIRED SHUT-DOWNS WITH OWNER AND ADJACENT TENANTS.
- 9. INSTALL ALL VALVES AND HVAC DAMPERS ABOVE ACCESSIBLE CEILINGS OR IN ACCESSIBLE LOCATIONS. PROVIDE ACCESS PANELS WHERE REQUIRED.
- 10. DO NOT ROUTE WATER PIPING IN EXTERIOR WALLS UNLESS OTHERWISE NOTED. PIPING ROUTED IN EXTERIOR WALLS SHALL BE LOCATED ON THE INTERIOR SIDE OF INSULATION.
- 11. FIRE CAULK ALL PIPE AND DUCTWORK PENETRATIONS THROUGH FIRE RATED WALLS AND ASSEMBLIES. CAULK AROUND ALL PENETRATIONS THOUGH FULL HEIGHT SOUND WALLS. REFER TO ARCHITECTURAL DRAWINGS FOR WALL CONSTRUCTION.
- 12. CENTER DIFFUSERS, REGISTERS, AND GRILLES IN CEILING TILES WHERE 24X24 OR 24X12 CEILING DEVICES ARE NOT USED.
- 13. SPACE ABOVE ALL CEILINGS SHALL BE MAINTAINED AS A RETURN AIR PLENUM PER APPLICABLE BUILDING CODES AND AHJ. COMBUSTIBLE MATERIALS ARE NOT PERMITTED WITHIN RETURN AIR PLENUM. ONLY PLENUM RATED MATERIALS CAN BE EXPOSED TO RETURN AIR PLENUM.
- 14. CONTRACTOR SHALL VERIFY RETURN AIR PATH IS MAINTAINED THROUGHOUT. PROVIDE ADDITIONAL OPENING AS REQUIRED TO MAINTAIN RETURN AIR PATH. ADJUST ORIENTATION AND LOCATION OF DUCTWORK AS REQUIRED TO AVOID CONFLICTS.
- 15. COORDINATE FINAL LOCATIONS OF THERMOSTATS WITH OWNER. DO NOT INSTALL THERMOSTATS IN DIRECT SUNLIGHT. ROUGH-IN BY ELECTRICAL.
- 16. SEE ELECTRICAL DRAWINGS DEVICE ALIGNMENT DETAIL FOR ALL SENSOR AND/OR CONTROL DEVICE INSTALLATION HEIGHTS AND SPACING NOTES UNLESS OTHERWISE NOTED. IF DEVICE ALIGNMENT DETAIL NOT AVAILABLE, MOUNT AT PREFERRED MOUNTING HEIGHT WHERE APPLICABLE, SEE SPECIFICATIONS, OR CONFIRM WITH ENGINEER PRIOR TO INSTALLATION.
- 17. CONTRACTOR TO FURNISH ALL LOW VOLTAGE AND LINE VOLTAGE CONTROL WIRING REQUIRED FOR COMPLETE OPERATION OF ALL MECHANICAL EQUIPMENT.
- GENERAL DETAIL REFERENCES APPLICABLE TO ALL MECHANICAL SHEETS
- PROVIDE DUCTWORK FITTINGS PER DETAIL NOTED.
- PROVIDE RUN OUTS TO DIFFUSERS AND REGISTERS SHALL MATCH M2.1 NECK SIZE UNLESS OTHERWISE NOTED PER DETAIL NOTED.
- 12 PROVIDE LINED RETURN BOOT ON RETURN AIR M2.1 TERMINALS NOT DUCTED PER DETAILS NOTED.
- 13 PROVIDE TRANSFER DUCTWORK AND OPENINGS ABOVE CEILINGS AS NOTED ON PLAN.

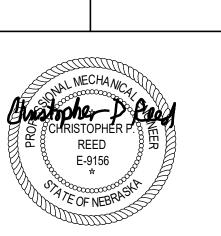
- M101 DO NOT ROUTE DUCTWORK OVER ELECTRICAL PANELS. MAINTAIN ALL CODE REQUIRED CLEARANCES. M102 INSTALL THERMOSTAT/SENSOR ON STEEL/CONCRETE COLUMN. WHERE POSSIBLE, INSTALL
- IN OPEN WEBBING OF STEEL. INSTALL ASSOCIATED CONDUIT IN A NEAT AND ORDERLY FASHION. COORDINATE FINAL PLACEMENT WITH ARCHITECT PRIOR TO INSTALLATION.
- M103 PROVIDE OPENING ON TOP SIDE OF DUCTWORK (MATCHING SIZE OF DUCT) FOR PLENUM RETURN. PROVIDE OPENING WITH S/S WIRE MESH WITH MINIMUM 2" OPENINGS.
- M104 ROUTE S.A. AND R.A. DUCTWORK UP TO ROOFTOP UNIT. TRANSITION/OFFSET DUCT IN VERTICAL AS REQUIRED TO MATCH ROOFTOP UNIT INLET/OUTLET SIZE.
- M105 E.A. DUCTWORK UP TO EXHAUST FAN ON ROOF. TRANSITION AS REQUIRED TO FAN INLET
- M106 DIFFUSER LOCATED IN SPACE WITHOUT A CEILING. INSTALL AT THE SAME ELEVATION OF LIGHTING. CONFIRM FINAL ELEVATION WITH ARCHITECT PRIOR TO INSTALLATION. COORDINATE INSTALLATION WITH LIGHTING AND ALL OTHER TRADES. EXTEND AND OFFSET DUCT RUNOUT AS REQUIRED TO MAKE CONNECTION AND AVOID CONFLICTS.

M107 EXHAUST REGISTER LOCATED IN SPACE WITHOUT A CEILING. INSTALL AT 10'-0" A.F.F.

- CONFIRM FINAL ELEVATION WITH OWNER PRIOR TO INSTALLATION. COORDINATE INSTALLATION WITH LIGHTING AND ALL OTHER TRADES. EXTEND AND OFFSET DUCT RUNOUT AS REQUIRED TO MAKE CONNECTION AND AVOID CONFLICTS.
- M108 PROVIDE PAINT GRIP ON OUTSIDE SURFACE OF ALL EXPOSED DUCTWORK FOR FIELD PAINTING. COORDINATE FINAL FINISH WITH GENERAL CONTRACTOR AND ARCHITECT.
- M110 MOUNT AIR CURTAIN ABOVE DOOR AND INSTALL PER MANUFACTURER RECOMMENDATIONS.

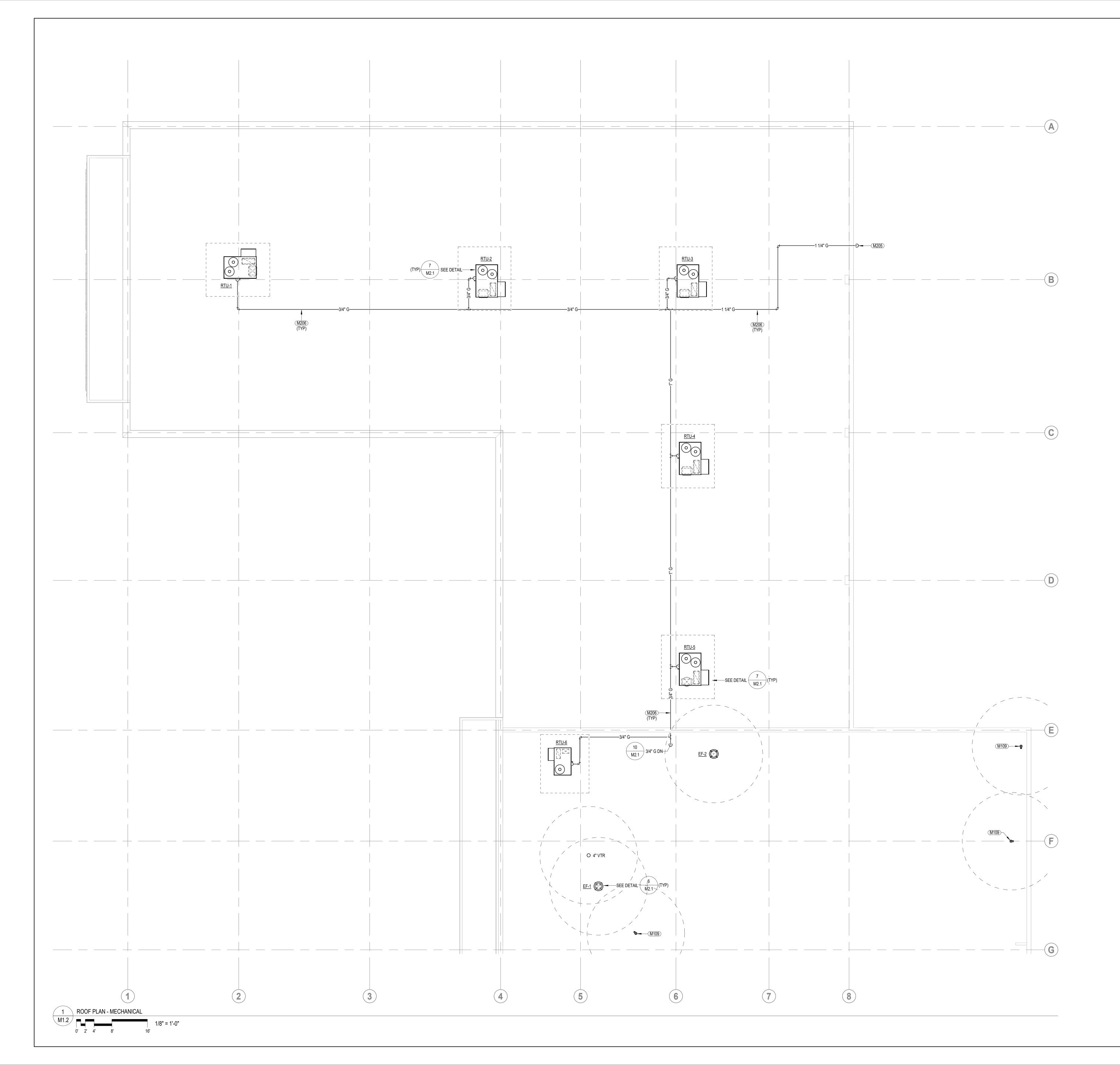






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GENERAL ROOF NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO NEW WORK.
 CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING PIPING AND DUCTWORK AS NECESSARY
 TO AVOID CONFLICTS WITH EXISTING STRUCTURE AND WITH ALL TRADES OF NEW WORK.
 MAINTAIN MINIMUM 10'-0" CLEARANCE TO EXHAUST FANS AND VENTS THROUGH ROOF FROM ALL
- FRESH AIR INTAKES.

 3. MAINTAIN MANUFACTURER'S REQUIRED OF FARANCE AROUND ALL MECHANICAL FOLUPMENT.
- MAINTAIN MANUFACTURER'S REQUIRED CLEARANCE AROUND ALL MECHANICAL EQUIPMENT TO ALLOW PROPER OPERATION AND FOR EASY MAINTENANCE AND FILTER ACCESS.
- 4. MAINTAIN A MINIMUM 10'-0" CLEARANCE FROM ROOFTOP EQUIPMENT TO ROOF EDGE.5. COORDINATE EXACT LOCATION OF ALL ROOF PENETRATIONS WITH GENERAL CONTRACTOR.

SEAL ALL PENETRATIONS OF EXTERIOR ENVELOPE WEATHER TIGHT.

COORDINATE ALL ROOF WORK WITH ROOFING CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ROOF WORK IN ACCORDANCE WITH ROOF WARRANTY.

KEYNOTE

- M109 TERMINATE GAS UNIT HEATER COMBUSTION AIR/EXHAUST THROUGH ROOF WITH CONCENTRIC ROOF TERMINATION DEVICE. SIZE, LOCATE, AND INSTALL PIPING PER FURNACE MANUFACTURER'S RECOMMENDATIONS. MAINTAIN A MINIMUM OF 10'-0" FROM FLUE EXHAUST
- TERMINATION TO O.A. INTAKES. FLASH AND SEAL ROOF PENETRATION WATER TIGHT.

 M205

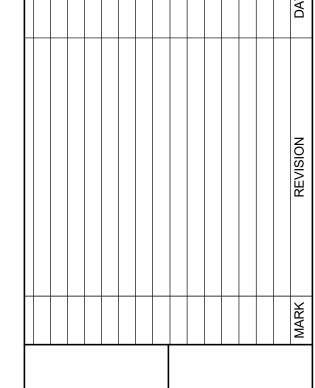
 ROUTE 1-1/4" GAS LINE DOWN EXTERIOR WALL TO EXISTING GAS METER ON GRADE. PRIOR
 TO NEW GAS WORK CONTRACTOR SHALL COORDINATE WITH MUD NEW GAS LOAD AND
 EXISTING METER CAPACITY RATING. PROVIDE NEW METER UPGRADES AS RECOMMENDED BY
 MUD. GAS SERVICE SHALL BE 2 PSI. COORDINATE GAS PIPE INTEGRITY TEST WITH MUD
 PRIOR TO ACTIVATION OF GAS SERVICE. TOTAL GAS LOAD FOR TENANT SHALL BE 1160 CFH.
- M206 SUPPORT GAS PIPING OFF OF ROOF UTILIZING PRE-MANUFACTURED PIPE SUPPORTS (PIPE PIER ELITE OR APPROVED EQUAL) COMPATIBLE WITH ROOFING SYSTEM. INSTALL SUPPORTS PER MANUFACTURER RECOMMENDATIONS.

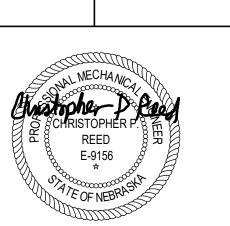
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and codes and vote.







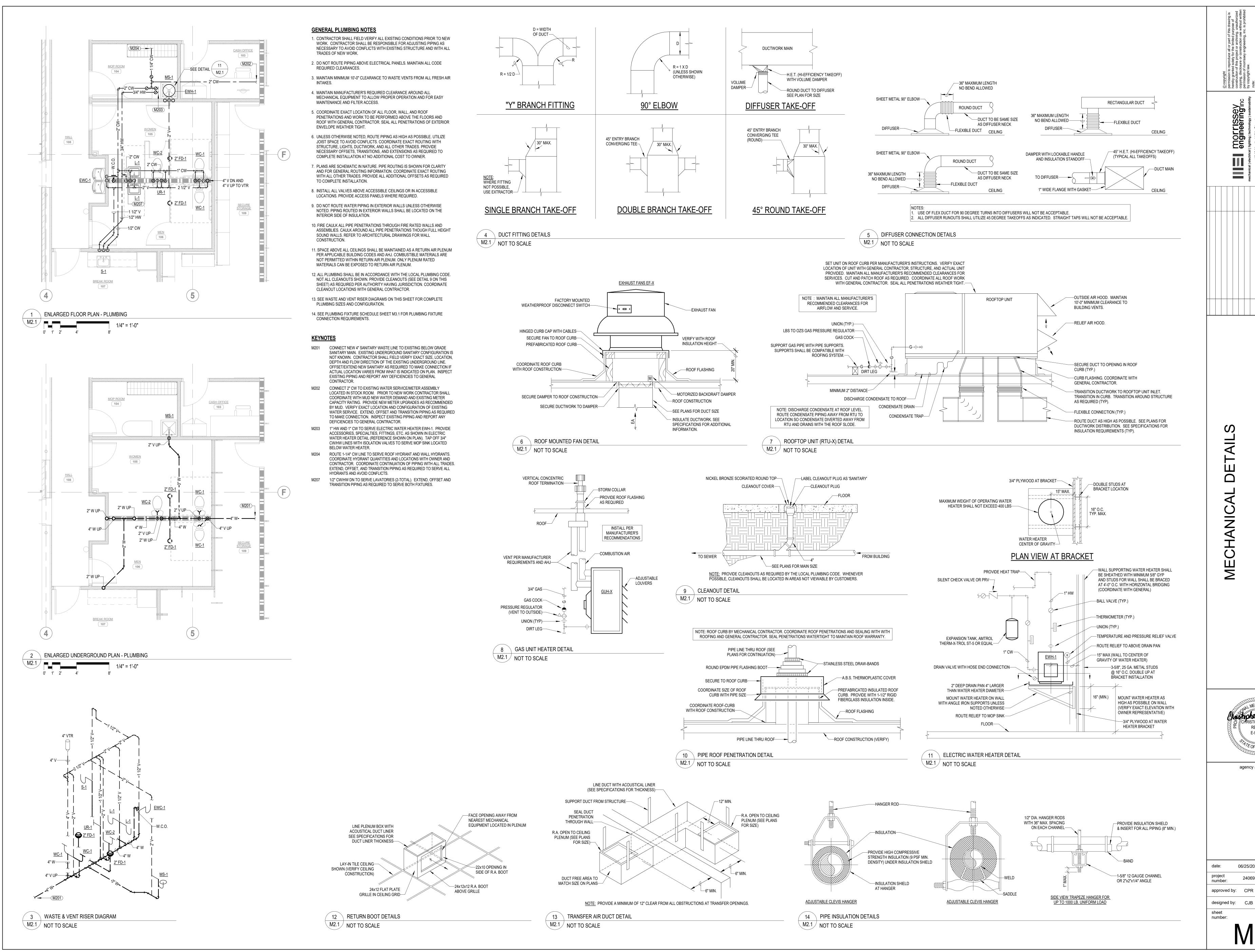
agency approval

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number: 24069
approved by: CPR

designed by: C

M1.2





AN

agency approval

06/25/2024

designed by: CJB

					A	AIR CU	RTAI	N SCH	IEDUI	LE.							
PROVIDE WI FREE DISCH POWDER CO UNIT SHALL OCATION WITH	ITH REMOTE M HARGE. DATED DECOR . BE CONTROL H OWNER AND	R AND INSTALL PER MA OUNTED NON-FUSED D ATIVE INTAKE GRILLE. LED WITH MOTION DET ARCHITECT). ONTROLLER WITH THE F	ISCONNECT. FINISH SHALL BE BECTOR WITH BUILT	BLACK TO B IN TIME DEI	E CONFIRMI LAY RELAY.	AIR CURTA	IN SHALL E					·					
7. 24V MAGNET 3. AMCA CERTI	TIC REED LIMIT IFIED AIR PERI	PROGRAMS, AND LOCK SWITCH FOR AUTOMA FORMANCES WITH ELEC RINLET FILTER CONCE	ABLE DISPLAY. TIC ON/OFF ACTIVA CTRIC HEATER AND	TION OF TH	E AIR CURT TO BEAR TH	AIN FAN WIT IE AMCA SE	H THE OPE			·	•				TROE, TIME GE	oon, led di	or Early
7. 24V MAGNET 3. AMCA CERTI	TIC REED LIMIT IFIED AIR PERI	PROGRAMS, AND LOCK SWITCH FOR AUTOMA FORMANCES WITH ELEC	ABLE DISPLAY. TIC ON/OFF ACTIVA CTRIC HEATER AND	TION OF TH	E AIR CURT TO BEAR TH	AIN FAN WIT IE AMCA SEA	TH THE OPE		CLOSING	·	OOR. FIELD INS			ED.	HEAT!	ŕ	or Early
. 24V MAGNET . AMCA CERTI	TIC REED LIMIT IFIED AIR PERI	PROGRAMS, AND LOCK SWITCH FOR AUTOMA FORMANCES WITH ELEC RINLET FILTER CONCE	ABLE DISPLAY. TIC ON/OFF ACTIVA CTRIC HEATER AND	TION OF TH	E AIR CURT TO BEAR TH R INLET SCR	AIN FAN WIT IE AMCA SEA	TH THE OPE	ENING AND	CLOSING	OF THE D	OOR. FIELD INS		AND WIRI	ED.	,	ŕ	
24V MAGNET AMCA CERTI ALUMINUM V	FIC REED LIMIT IFIED AIR PERI VASHABLE AIF	PROGRAMS, AND LOCK SWITCH FOR AUTOMA FORMANCES WITH ELEC RINLET FILTER CONCE	ABLE DISPLAY. TIC ON/OFF ACTIVA CTRIC HEATER AND ALED ON THE BACK SERVES	TION OF TH LICENSED OF THE AIR FINISH	E AIR CURT TO BEAR TH R INLET SCR SI WIDTH	AIN FAN WITHE AMCA SEA	FAN	ENING AND N (8) ESP (IN WC)	CLOSING E MCA	OF THE D	OOR. FIELD INS AL (2) VOLTAGE / PHASE	QTY	AND WIRI	ED.	HEATI CAPACITY (kW)	NG TEMP RISE (°F)	REMARKS
. 24V MAGNET . AMCA CERTI . ALUMINUM V	FIC REED LIMIT IFIED AIR PERI VASHABLE AIF	PROGRAMS, AND LOCK SWITCH FOR AUTOMA FORMANCES WITH ELECT RINLET FILTER CONCE	ABLE DISPLAY. TIC ON/OFF ACTIVA CTRIC HEATER AND ALED ON THE BACK	TION OF TH LICENSED OF THE AIR	E AIR CURT TO BEAR TH R INLET SCR	AIN FAN WIT HE AMCA SEA HEEN. ZE	H THE OPE	ENING AND	CLOSING	OF THE D	OOR. FIELD INS	STALLED	AND WIRI	ED.	HEATI CAPACITY	ING TEMP	(1-9) (1-9)

					ELECTR	RIC WAT	ER HEA	TER S	SCHEDU	ILE					
. ELECTRIC . . PROVIDE V	WATER HEATER \ VITH PRESSURE /	WITH INTEGRA TEMPERATUR	L GLASS-LINE E RELIEF VAL	ED TANK. .VE.	BY ONE OF THE F										
	ULTANEOUS ELEC				TRICAL DRAWING	is. Coordina i	E ELECTRICAL I	REQUIREM	ENIS WITH SU	PPLIED U	NII AND WIIF	I ELECTRICA	L CONTRAC	IOR.	
		CTRIC HEATING			ANK		STIC HOT WATE		ELECTRI		NII AND WIIF		RIC HEAT	IOR.	
	ULTANEOUS ELE	CTRIC HEATING									CAPACITY (kW)			# OF ELEMENTS	REMARKS

2. PROVIDE V 3. PROVIDE V 4. PROVIDE V	WITH ADJUSTAR WITH CONCENT WITH 24V THERI D COLOR SELEC	BLE DISCHARG RIC ROOF TERI MOSTAT (REMO	TE MOUNT) AND CO	UARDS, AND	FACTORY MOUNT					MOUNTING BE	RACKET !	AND VIB	BRATION	ISOLATO													
		GENERAL			PHYSICAL	. SIZE		FA	AN				MOTOR		I	LECTRICA	L				HEATING	i					
PLAN TAG	MFR.	MODEL	SERVES	CONFIG.	DIMENSIONS (D x W x H)	WEIGHT (lbs)	QTY.	AIRFLOW (CFM)	E.S.P.	DRIVE	НР	RPM	TYPE	CONT	TROL VOLTAG		МОСР	CAPACITY (BTU/h)	GAS LO	AD (BTU/h)		# OF STAGES		GAS	ONN. SIZE	ES EXH.	REMARKS
GUH-1	REZNOR	UDX-075	STOCK ROOM	(1)	26" x 27" x 17"	80	1	961	(6)	-	0.06	1550	T.E.F.N	И. (4	4) 120 V /	1 3.7 A	15.0 A	62,300	NATURAL GAS	75,000	62,300	2	83%	1/2"	4"	4"	(2) (3) (5)

GUH-2A REZNOR UDX-060 STOCK ROOM (1) 26" x 27" x 17" 80 1 769 (6) - 0.06 1550 T.E.F.M. (4) 120 V / 1 2.4 A 15.0 A 49,800 NATURAL GAS 60,000 49,800 2 83% 1/2" 4" 4" (2) (3) (5) GUH-2B REZNOR UDX-060 STOCK ROOM (1) 26" x 27" x 17" 80 1 769 (6) - 0.06 1550 T.E.F.M. (4) 120 V / 1 2.4 A 15.0 A 49,800 NATURAL GAS 60,000 49,800 2 83% 1/2" 4" 4" (2) (3) (5)

İ								FAN S	SCHEDU	JLE												
1. ROOF MOUN 2. PROVIDE WI ROOFING CONT 3. DIRECT DRIV 4. TIMECLOCK	ITED, DIRECT DRIVE TH 20" INSULATED IRACTOR). INCREA VE WITH EC MOTOR BY ELECTRICAL CO	E, CENTRIFUGAL ROOF CURB COM ASE INDICATED C R. ONTRACTOR. SE	DOWNBLAST EXHAU MPATIBLE WITH ROOI URB HEIGHT AS REQ E ELECTRICAL DRAV	FING SYSTEM. CONTRA UIRED. ALSO PROVIDE VINGS. FAN TO RUN COI	CTOR SHALL (BIRDSCREEN,	CONFIRM ROOF INS FAN-MOUNTED SP	ULATION THICI EED CONTROL	KNESS AT FINAL F	PLACEMENT O									O NAILER	(VERIFY REQUI	RED FLAS	HING DIMENS	ON WITH
J. WALL SWIII	ON WITH TIMEN AND	D SPEED CONTRO	DL FUNCTIONS. COO	RDINATE LOCATION OF S	SWITCH WITH	ARCHITECT AND O	WNER. SEE EL	ECTRICAL DRAW	INGS.													
J. WALLOWIII	ON WITH HIMER AND		BENERAL	RDINATE LOCATION OF S	SWITCH WITH		WNER. SEE EL Physical Size		INGS.			FAN							MOTOR			
PLAN TAG	MFR. (0)			TYPE	ACC.	F ROOF / WALL	PHYSICAL SIZE WEIGHT	DIMENSIONS	AIRFLOW	E.S.P.	WHE	EL	DRIVE	MAXI		ВНР	HP	RPM	VOLTAGE /	ТҮРЕ	CONTROL	REMARKS
		G	GENERAL			F	PHYSICAL SIZE			E.S.P. (in-wg)	WHE TYPE		DRIVE	MAXI RPM	MUM SONES	ВНР	НР			TYPE	CONTROL DEVICE	REMARKS
		G	GENERAL			F ROOF / WALL	PHYSICAL SIZE WEIGHT	DIMENSIONS	AIRFLOW			EL	DRIVE			BHP 0.10	HP 0.25		VOLTAGE /	TYPE O.D.P.		REMARKS (1) (2) (3)

I. VERIFY ALI a. VERIFY b. SEE PL 2. NOISE CRIT 3. NON-RADIA	L FRAMES, ' QUANTITIE .ANS FOR N (ERIA (NC) 'AL OPPOSE	FINISHES, AND ACCESSORIES ES WITH PLANS. IECK SIZES. SHALL BE LESS THAN 25 ON D D BLADE DAMPER. MAIN BAL	WITH CEILIN DIFFUSERS, R ANCING SHAI	DUCT BY ONE OF TO SECOND TO SECOND SE	THE FOLLOWING MANUFACTURERS: KRUE I PRIOR TO FURNISHING MATERIAL. RILLES LOCATED IN OCCUPIED SPACES. BRANCH VOLUME DAMPER AT TAKEOFF I ERS, GRILLES AND REGISTERS.	EGER, NAILOR, PRICE, O	R TITUS.	. , ,	•) FOR FINE TU	INING ONLY.		
5. PROVIDE R 5. ROUND DU	ETURN AIR CT MOUNTI	BOOT. SEE DETAIL ON SHEE	T M2.1.		ND RADIUS MATCHING DUCT SIZE (ACCOU	JNT FOR DOUBLE WALL	DUCT WHERE APP	LICABLE).					
APPX. QTY.	PLAN TAG	MFR. (0)	MODEL	FUNCTION	DESCRIPTION	MOUNTING (1)	DEFLECTION	AIR P.D.	MATERIAL	FINISH (4)	NECK SIZE	FACE SIZE	REMARKS
APPX. QTY. (1a,1b)	PLAN TAG		MODEL	FUNCTION	DESCRIPTION	MOUNTING (1)	DEFLECTION	AIR P.D. (IN WG)	MATERIAL	FINISH (4)	NECK SIZE	FACE SIZE	REMARKS
			MODEL PLQ	FUNCTION SUPPLY	DESCRIPTION PLAQUE DIFFUSER	MOUNTING (1) ACT/GYP CEILING	DEFLECTION 360°		MATERIAL STEEL	FINISH (4) WHITE	NECK SIZE SEE PLANS	FACE SIZE	(1) (2) (3)
(1a,1b)	TAG	MFR. (0)						(IN WG)					
(1a,1b)	TAG D-1	MFR. (0) KRUEGER	PLQ	SUPPLY	PLAQUE DIFFUSER	ACT/GYP CEILING	360°	(IN WG) 0.10"	STEEL	WHITE	SEE PLANS	24"x24"	(1) (2) (3)
(1a,1b) 8 1	D-1 D-2	MFR. (0) KRUEGER KRUEGER	PLQ PLQ	SUPPLY SUPPLY	PLAQUE DIFFUSER PLAQUE DIFFUSER	ACT/GYP CEILING ACT/GYP CEILING	360° 360°	0.10" 0.10"	STEEL STEEL	WHITE	SEE PLANS SEE PLANS	24"x24" 12"x12"	(1) (2) (3) (1) (2) (3)
(1a,1b) 8	D-1 D-2 DD-1	MFR. (0) KRUEGER KRUEGER RSS ROOFTOP SYSTEMS	PLQ PLQ 90-578-10	SUPPLY SUPPLY SUPPLY	PLAQUE DIFFUSER PLAQUE DIFFUSER DRUM DIFFUSER	ACT/GYP CEILING ACT/GYP CEILING EXPOSED	360° 360° 6-WAY	0.10" 0.10" 0.42"	STEEL STEEL STEEL	WHITE WHITE WHITE	SEE PLANS SEE PLANS 22"x22"	24"x24" 12"x12" 49"x49"	(1) (2) (3) (1) (2) (3) (1) (2) (3)

PLUN	/BING	FIXT	URE	SCHE	EDULE
TAC		CONNE	ECTIONS		REMARKS
TAG	CW	HW	WASTE	VENT	(1) (2)
<u>WC-1</u>	1/2"	-	4"	2"	-
<u>WC-2</u>	1/2"	-	4"	2"	-
<u>UR-1</u>	3/4"	-	2"	1-1/2"	-
<u>L-1</u>	1/2"	1/2"	1-1/4"	1-1/4"	-
<u>S-1</u>	1/2"	1/2"	1-1/2"	1-1/2"	-
<u>EWC-1</u>	1/2"	-	1-1/4"	1-1/4"	-
MS-1	3/4"	3/4"	3"	2"	-
<u>FD-1</u>	-	-	(3)	(3)	-
REMARKS:					

 SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS INCLUDING STOPS, FITTINGS AND ALL OTHER SPECIALTIES.
 SPECIFIC PLUMBING FIXTURES WILL BE DETAILED IN SELECTION PACKAGE FURNISHED BY CONTRACTOR AND OWNER. COORDINATE EXACT PLUMBING REQUIREMENTS WITH PACKAGE.
 SEE FLOOR PLANS FOR WASTE AND VENT SIZE REQUIREMENTS.

DUCTWORK INSULATION SCHEDULE (1) (2)							
SERVICE	DUCTWORK	APPLICATION	INSULATION TYPE	INSULATION THICKNESS	MINIMUM R-VALUE	VAPOR RETARDER	REMARK
SUPPLY AIR	RECTANGULAR	CONCEALED ABOVE CEILING	MINERAL FIBER BLANKET	2-3/16"	R-6	YES	-
SUPPLY AIR	RECTANGULAR	EXPOSED	DUCT LINER	1-1/2"	R-6	YES	(3) (4)
-	-	-	-	-	-	-	-
RETURN AIR	RECTANGULAR	EXPOSED AND CONCEALED	DUCT LINER	1-1/2"	R-6	YES	(3)
RETURN / XFR AIR	RECTANGULAR	PLENUM BOOTS & TRANSFER DUCTS	DUCT LINER	1"	-	NO	-
-	-	-	-	-	-	-	-
EXHAUST AIR	FROM FAN	BACK 36" INTO BUILDING	MINERAL FIBER BLANKET	2-3/16"	R-6	YES	-

1. INSULATION TYPE AND THICKNESS SHALL MEET ALL REQUIREMENTS OF 2018 IECC / ASHRAE 90.1-2016.
2. SEE SPECIFICATION SECTION 23 07 00 FOR ADDITIONAL INFORMATION.

3. PROVIDE EXPOSED DUCTWORK WITH PAINT GRIP WHERE APPLICABLE. COORDINATE FINAL PAINT FINISH WITH ARCHITECT.
4. PROVIDE DUCT LINERS SPECIFICALLY FOR ROUND DUCT (JOHNSMANVILLE SPRIACOUSTIC OR APPROVED EQUAL).

PIPING INSULATION SCHEDULE (1) (2) (3)								
SERVICE	PIPING SIZES	INSULATION TYPE	INSULATION THICKNESS	VAPOR RETARDER	REMARKS			
DOMESTIC COLD WATER (CW)	ALL	MINERAL FIBER	1/2"	YES	-			
DOMESTIC HOT WATER (HW)	1/2" TO 2"	MINERAL FIBER	1/2"	YES	-			
-	-	-	-	-	-			
SANITARY WASTE	ALL	NONE	-	-	-			
PLUMBING VENTS (24" BELOW ROOF)	ALL	MINERAL FIBER	1/2"	YES	-			

REMARKS:

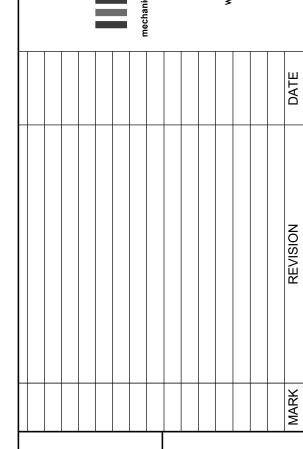
SEE PIPING INSULATION DETAIL ON SHEET M2.1.
 INSULATION TYPE AND THICKNESS SHALL MEET ALL REQUIREMENTS OF 2018 IECC / ASHRAE 90.1-2016.
 SEE SPECIFICATION SECTIONS 22 07 20 & 23 07 20 FOR ADDITIONAL INFORMATION.

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note:

do not scale drawings. verify all dimensions and
clearances from architectural, structural, shop an
other appropriate drawings or at site. lay out and
coordinate all work prior to installation to provide
clearances required for operation, maintenance,
and codes and verify non-interference with other
work. do not fabricate prior to verification of
clearance for all trades.

Permissi per



CHANICAL SCHEDULES

MECHANICA ON CHRISTOPHER P. REED E-9156 **

OF NEBRASH

agency approval

te:	06/25/2024	
oject mber:	24069	
proved by:	CPR	

designed by: CJB
sheet
number:

M3.1

Project Information

Project Type:

Energy Code: 2018 IECC Project Title: Omaha, Nebraska Location: Climate Zone:

Construction Site: Owner/Agent: Designer/Contractor:

Alteration

Mechanical Systems List

Quantity System Type & Description 1 RTU-1 (Single Zone):

Heating: 1 each - Central Furnace, Gas, Capacity = 180 kBtu/h Proposed Efficiency = 82.00% Et, Required Efficiency: 80.00 % Et or 80% AFUE Cooling: 1 each - Single Package DX Unit, Capacity = 123 kBtu/h, Air-Cooled Condenser, Air Economizer Proposed Efficiency = 15.00 EER, Required Efficiency: 11.00 EER + 12.6 IEER

Fan System: Unspecified 1 RTU-2 (Single Zone):

Heating: 1 each - Central Furnace, Gas, Capacity = 180 kBtu/h

Proposed Efficiency = 82.00% Et, Required Efficiency: 80.00 % Et or 80% AFUE Cooling: 1 each - Single Package DX Unit, Capacity = 123 kBtu/h, Air-Cooled Condenser, Air Economizer Proposed Efficiency = 15.00 EER, Required Efficiency: 11.00 EER + 12.6 IEER Fan System: Unspecified

1 RTU-3 (Single Zone): Heating: 1 each - Central Furnace, Gas, Capacity = 180 kBtu/h

Cooling: 1 each - Single Package DX Unit, Capacity = 123 kBtu/h, Air-Cooled Condenser, Air Economizer

Proposed Efficiency = 15.00 EER, Required Efficiency: 11.00 EER + 12.6 IEER Fan System: Unspecified

Proposed Efficiency = 82.00% Et, Required Efficiency: 80.00 % Et or 80% AFUE

1 RTU-4 (Single Zone): Heating: 1 each - Central Furnace, Gas, Capacity = 180 kBtu/h

Proposed Efficiency = 82.00% Et, Required Efficiency: 80.00 % Et or 80% AFUE Cooling: 1 each - Single Package DX Unit, Capacity = 123 kBtu/h, Air-Cooled Condenser, Air Economizer

Proposed Efficiency = 15.00 EER, Required Efficiency: 11.00 EER + 12.6 IEER Fan System: Unspecified

1 RTU-5 (Single Zone): Heating: 1 each - Central Furnace, Gas, Capacity = 180 kBtu/h

Proposed Efficiency = 82.00% Et, Required Efficiency: 80.00 % Et or 80% AFUE

Cooling: 1 each - Single Package DX Unit, Capacity = 123 kBtu/h, Air-Cooled Condenser, Air Economizer Proposed Efficiency = 15.00 EER, Required Efficiency: 11.00 EER + 12.6 IEER Fan System: Unspecified

1 RTU-6 (Single Zone): Heating: 1 each - Central Furnace, Gas, Capacity = 65 kBtu/h

Proposed Efficiency = 81.00% Et, Required Efficiency: 80.00 % Et or 80% AFUE Cooling: 1 each - Single Package DX Unit, Capacity = 34 kBtu/h, Air-Cooled Condenser, Air Economizer Proposed Efficiency = 14.00 SEER, Required Efficiency: 14.00 SEER Fan System: Unspecified

1 GUH-1 (Single Zone): Heating: 1 each - Unit Heater, Gas, Capacity = 75 kBtu/h

Quantity System Type & Description

Proposed Efficiency = 83.00% Ec, Required Efficiency: 80.00 % Ec Fan System: Unspecified

1 GUH-2A (Single Zone):

Heating: 1 each - Unit Heater, Gas, Capacity = 60 kBtu/h Proposed Efficiency = 83.00% Ec, Required Efficiency: 80.00 % Ec Fan System: Unspecified

1 GUH-2B (Single Zone): Heating: 1 each - Unit Heater, Gas, Capacity = 60 kBtu/h

Proposed Efficiency = 83.00% Ec, Required Efficiency: 80.00 % Ec Fan System: Unspecified

1 ACUR-1A (Single Zone):

Heating: 1 each - Unit Heater, Electric, Capacity = 41 kBtu/h No minimum efficiency requirement applies Fan System: Unspecified

1 ACUR-1B (Single Zone): Heating: 1 each - Unit Heater, Electric, Capacity = 41 kBtu/h

No minimum efficiency requirement applies Fan System: Unspecified

1 ACUR-1C (Single Zone): Heating: 1 each - Unit Heater, Electric, Capacity = 41 kBtu/h

No minimum efficiency requirement applies Fan System: Unspecified

Electric Storage Water Heater, Capacity: 10 gallons Proposed Efficiency: 3.00 SL, %/h (if > 12 kW), Required Efficiency: 3.00 SL, %/h (if > 12 kW)

Mechanical Compliance Statement

Compliance Statement: The proposed mechanical alteration project represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed mechanical systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.1.0 and to comply with any applicable mandatory

requirements listed in the Inspection Checklist. Colton Baylor - Project Engineer

	MECHANICAL SYMBOLS								
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION						
TYPICAL PIPING									
+++++	PIPE TEE / PIPE ELBOW		UNION						
-10 -10	ELBOW DN / ELBOW UP	->	STRAINER						
–δ– -∞-	ISOLATION VALVE (BALL OR BUTTERFLY)		CHECK VALVE (ARROW INDICATES FLOW)						
	BALANCING VALVE	-\$\$-	AUTOMATIC CONTROL VALVE TWO-WAY/THREE-WAY						
→	GATE VALVE	-&-	PRESSURE REGULATING VALVE (PRV)						
->><\-	GLOBE VALVE	Ø	PRESSURE GAUGE						
	PRESSURE/TEMPERATURE TEST PORT	Q Q	THERMOMETER						
	TYPICA	AL PLUMBIN	3						
WC	WATER CLOSET (SEE SPECIFICATIONS FOR TYPE)	— 0—	GAS COCK						
UR	URINAL (SEE SPECIFICATIONS FOR TYPE)	② 2" <u>D-1</u>	FLOOR DRAIN - SIZE TYPE						
L	LAVATORY (SEE SPECIFICATIONS FOR TYPE)	⊚ 2" <u>RD-1</u>	ROOF DRAIN - SIZE TYPE						
S	SINK (SEE SPECIFICATIONS FOR TYPE)	② 2" <u>OD-1</u>	OVERFLOW DRAIN - SIZE TYPE						
EWC	ELECTRIC WATER COOLER (SEE SPECIFICATIONS FOR TYPE)	++ <u>HB</u>	HOSE BIBB						
MS	MOP SINK (SEE SPECIFICATIONS FOR TYPE)		WALL HYDRANT (NON-FREEZE)						
DI	DUCTILE IRON	VTR	VENT THROUGH ROOF						
CI	CAST IRON	I.E.	INVERT ELEVATION						
PVC	POLY VINYL CHLORIDE	F.L.	FLOW LINE						
₽	AIR VENT								
	H	IVAC							
6x6 R-1	SIDEWALL SUPPLY NECKSIZE (IN), TAG	S	SENSOR						
6x6 R-1 100	REGISTER OR GRILLE AIRFLOW (CFM)	(T)	THERMOSTAT						
7 6x6 R-1	SIDEWALL RETURN OR EXHAUST NECKSIZE (IN), TAG	(H)	HUMIDISTAT						
=6x6 R-1 100 ►	REGISTER OR GRILLE AIRFLOW (CFM)	(02)	CARBON DIOXIDE SENSOR						
6Ø D-1	SUPPLY AIR NECKSIZE (IN), TAG	600	OCCUPANCY SENSOR						
6 Ø D-1 100	REGISTER AIRFLOW (CFM)	M— - —	MOTORIZED CONTROL DAMPER WITH ACTUATOR						
	SUPPLY AIR , OUTSIDE AIR OR MIXED AIR DUCT END	——————————————————————————————————————	BACKDRAFT DAMPER						
	OR RISER UP/RISER DN	V.D.	VOLUME DAMPER						
	RETURN AIR, EXHAUST AIR OR RELIEF AIR	—— ∢ FD	FIRE DAMPER WITH SLEEVE AND ACCESS DOOR						
	PLICE END OD DIOED LIDIDIOED DN		SMOKE DAMPER WITH SLEEVE AND ACCESS DOOR						
40/0	RECTANGULAR DUCTWORK (WIDTH/DEPTH)(IN)	—— ∢ FSD	FIRE/SMOKE DAMPER WITH SLEEVE AND ACCESS DOOR						
12/8	(FIRST NUMBER IS SIDE SHOWN)		TURNING VANES						
\[12"\@\\ \]	ROUND DUCTWORK (DIAMETER)(IN) (SPIRAL DUCT IN EXPOSED AREAS)								

CODE 2018 IECC REMARKS ComCHECK YES (1) COMMISSIONING YES (2) (3) (4) AB REPORT YES (3) (4)	ENERGY CODE COMPLIANCE					
COMMISSIONING YES (2) (3) (4)	ODE	2018 IECC	REMARKS			
(=) (() ()	ComCHECK	YES	(1)			
ABREPORT YES (3) (4)	OMMISSIONING	YES	(2) (3) (4)			
ABITEI OITI TEO	AB REPORT	YES	(3) (4)			

1. Comcheck compliance report can be found on this sheet.

2. COMMISSIONING IS REQUIRED.

3. REQUIRED DOCUMENTS (REFER TO CODE) SHALL BE PROVIDED TO THE BUILDING OWNER OR OWNER REPRESENTATIVE WITHIN 90 DAYS OF THE DATE OF RECEIPT OF THE CERTIFICATE OF OCCUPANCY.

4. SEE RESPECTIVE SPECIFICATION SECTIONS FOR ADDITIONAL INFORMATION.

MECHANICAL SPECIFICATIONS

<u>SECTION 220100 - GENERAL REQUIREMENTS FOR PLUMBING</u>

A. RELATED DOCUMENTS

1. Drawings and general provisions of the Contract, including General and Supplementary Conditions apply to this

2. Division 22 and 23 Conditions apply to this Section.

B. SUMMARY

1. This Section includes general mechanical requirements and shall apply to all phases of the work specified indicated on the drawings or required to provide for complete installation of plumbing systems.

2. Refer to Section 230100 for General Requirements for Mechanical

3. Refer to Section 230500 for Basic Mechanical Materials and Methods

SECTION 220720 - PIPE INSULATION FOR PLUMBING

A. MINERAL-FIBER INSULATION: Glass fibers bonded with a thermosetting resin. Preformed Pipe Insulation: Comply with ASTM C 547, Type 1, with factory-applied, all-purpose, vapor-retarder jacket. Flame-spread rating of 25 or less, and smoke-developed rating of 50 or less. Apply insulation to pipes buy securing each layer of preformed pipe insulation to pipe with wire, tape, or bands without deforming insulation materials.

B. VAPOR RETARDER: On piping systems operating below ambient space temperature, seal joints and seams with vapor-retarder mastic. Seal penetrations in insulation at hangers, supports, anchors, and other projections with vapor-retarder mastic Mastics.

C. See Piping Insulation Schedule on sheet M3.1 for insulation application.

SECTION 221116 - WATER DISTRIBUTION PIPING

A. DOMESTIC WATER PIPING: Above ground; hard copper tube, ASTM B 88, Type L; copper, 95-5 solder-joint fittings; and lead free soldered joints.

B. VALVES: Provide gate, ball or butterfly isolation valves close to main on each branch and riser serving plumbing fixtures or equipment, and where indicated . Provide globe, ball or butterfly valve for throttling where indicated. Provide supply stops at each plumbing fixture. Provide calibrated or automatic balancing valves as

C. TESTING: Test water distribution piping according to authority having jurisdiction. Clean and disinfect water distribution piping. Fill water piping. Check components to determine that they are not air bound and that piping

SECTION 221316 - DRAINAGE AND VENT PIPING

A. ABOVEGROUND, SANITARY WASTE AND VENT PIPING: CISPI 301, ASTM A888, Hubless, cast-iron soil pipe; hubless, cast-iron, soil-pipe fittings and hubless, cast-iron, neoprene sleeve coupling with stainless steel

B. CONDENSATE DRAIN LINES: ASTM B 88, Type L drawn-temper copper tubing with soldered joints or Schedule 40, PVC pipe with solvent-welded joints. Do not install PVC in return air plenums.

B. UNDERGROUND, SANITARY WASTE, AND VENT PIPING: ASTM A74. Hub-and-spigot, cast-iron soil pipe, Service class; hub-and-spigot, cast-iron, soil-pipe fittings, with compression joints.

C. PIPING INSTALLATION: Make changes in direction for drainage and vent piping using appropriate branches, bends, and long-sweep bends. Do not make change in direction of flow greater than 90 degrees. Lay buried building drain piping beginning at low point of each system. Install true to grades and alignment indicated, with unbroken continuity of invert. Place hub ends of piping upstream. Install required gaskets according to manufacturer's written instructions.

D. SLOPE: Install drainage and vent piping at the following minimum slopes, unless otherwise indicated:

1. Sanitary Piping: 2 percent downward in direction of flow for piping 3-inch NPS and smaller; 1 percent downward in direction of flow for piping 4-inch NPS and larger.

2. Vent Piping: 1 percent down toward vertical fixture vent or toward vent stack. 3. Condensate Drain Lines: 1-2 percent downward in direction of flow.

E. TESTING: Test drainage and vent piping according to procedures of authorities having jurisdiction.

SECTION 221319 - PLUMBING SPECIALTIES

top. Provide to match floor system:

A. WATER PRESSURE REGULATORS: water regulators, rated for initial working pressure of 150 psig minimum, of size, flow rate, and inlet for 80 psig outlet pressure. Install on building service piping.

B. WALL CLEANOUTS (WCO): Cast iron body adaptable to pipe with cast bronze or brass cleanout plug;

stainless steel cover, vandal proof screws. Install as shown and as required by code. C. CLEANOUT PLUGS (CO): Cast iron or brass threads complying with ANSI B2.1, countersunk head. Engrave

heads to identify system. D. FLOOR CLEANOUTS (FCO): Cast iron body and frame with cleanout plug and adjustable round nickel bronze

1. Exposed finish type, standard mill finish.

2. Exposed flush type, standard non-slip scored or abrasive finish. 3. Exposed flush type, standard mill finish and carpet marker.

E. VENT FLASHING (VTR): 24" square minimum. Non-plasticized, chlorinated, polyethylene, concealed,

waterproof membrane, 0.40" thick, solvent weldable or Lead sheet, 2-1/2" lb/sf, concealed.

F. FLOOR DRAIN FLASHING: Non-plasticized, chlorinated, polyethylene, concealed, water-proof membrane, 0.40" thick, solvent weldable. 48" square minimum.

224000 PLUMBING FIXTURES

A. Installation: Install handles for accessible water closets and urinals with handle mounted on wide side of compartment. Install individual stop valve in each water supply to fixture. Install water-supply stop valves in accessible locations. Install traps on fixture outlets. Omit traps on fixtures having integral traps and on indirect wastes. Vent all fixtures as required by local code. Seal joints between fixtures and walls, floors, and counters using sanitary-type, 1-part, mildew-resistant, silicone sealant. Match sealant color to fixture color. Install hot and cold water supply, waste and vent piping of sizes indicated, but not smaller than required by authorities having

B. See Plumbing Fixture Schedule on sheet M3.1 for plumbing fixture specifications.

<u>SECTION 230100 - GENERAL REQUIREMENTS FOR MECHANICAL</u>

A. WARRANTIES - All materials, workmanship and equipment shall be warranted against defects or against injury from proper and usual wear for a period of one year after the date of substantial completion. Any item that becomes defective within the warranty period shall be repaired or replaced, at no additional cost to the Owner. Warranty shall include repair of faulty workmanship.

B. DEFINITIONS ABBREVIATIONS - The following shall apply throughout the contract documents:

Furnish Supply and deliver to site ready for installation Indicated Noted, scheduled or specified

Provide Furnish, install and connect complete and ready for final use

ADA Americans with Disabilities Act ANSI American National Standards Institute

ASME American Society of Mechanical Engineers ASHRAE American Society of Heating, Refrigeration and Air Conditioning Engineers

NEC National Electric Code (NFPA 70)

NEMA National Electrical Manufacturers Association NFPA National Fire Protection Association

SMACNA Sheet Metal and Air Conditioning Contractors National Association UL Underwriters Laboratories Inc.

C. CODES AND STANDARDS - All work shall be performed by competent craftsmen skilled in the trade involved and shall be done in a manner consistent with normal industry standards. All work shall conform to the currently adopted edition of the National Electric Code (NEC), Local Building Code, Local Plumbing Code, Local Mechanical Code, Local Fire Code, and all other applicable state and local codes or standards. Where there is a conflict between the code and the contract documents, the code shall have precedence only then it is more

licenses, etc. All permits, licenses, inspections and arrangements required for the work shall be obtained by Contractor's effort and expense. All utilities shall be installed in accordance with the local rules and regulations and all charges shall be paid by the Contractor.

D. PERMITS - Contractor shall become familiar and comply with all requirements regarding permits, fees,

E. SUBMITTALS - Shop drawings shall be submitted to Architect/Engineer for all items of mechanical equipment including the following:

Diffusers, Registers, Grilles Sheet Metal Accessories HVAC Equipment Plumbing Fixtures Plumbing Specialties Plumbing Equipment Plumbing Piping HVAC Piping Pipe Accessories Pipe Insulation **Duct Insulation** Temperature Controls

others and installed under this contract.

1. Shop drawings include fabrication and installation drawings, diagrams, schedules and other data specifically prepared for the project. Include dimensions and notations showing compliance with specified standards. Unless otherwise noted, submit a minimum of six (6) copies of shop drawings for review. Electronic copies (in pdf format) by e-mail are acceptable in lieu of hard copies.

2. Architect/Engineer will review or take appropriate action for submittals. Review is only to determine general

conformance with design shown in contract documents. Review of submittals shall not relieve contractor of responsibility for deviation from requirements of the contract documents or from errors or omissions within F. MATERIALS - All materials and equipment used in the construction of the project shall be new unused and

G. DEMONSTRATION AND TRAINING - Instruct Owner's personnel to adjust, operate, and maintain mechanical systems. Schedule training with Owner with at least seven days' advance notice.

manufacturer specified. Verify installation details and requirements for materials and equipment furnished by

undamaged unless otherwise specified. Materials and equipment shall be of latest design standards of

H. STARTING AND ADJUSTING - Start and test all equipment and operating components to confirm proper operation. Test and adjust all systems to achieve designed capacity and performance. All equipment and systems discrepancies shall be corrected prior to final acceptance.

SECTION 230500 - BASIC MECHANICAL MATERIALS AND METHODS

A. PIPING INSTALLATION: Install piping at required slope. Install components with pressure rating equal to or greater than system operating pressure. Install piping in concealed locations, except in equipment rooms and service areas. Install piping free of sags and bends. Install piping at right angles or parallel to building walls. Install piping tight to slabs, beams, joists, columns, walls, and other building elements. Locate groups of pipes parallel to each other, spaced to permit valve servicing. Install fittings for changes in direction and branch connections. Install pipe escutcheons for exposed pipe penetrations walls and ceilings. Install sleeves for pipes passing through concrete and masonry walls, and concrete floor and roof slabs. Provide dielectric fitting where two different types of pipe materials are joined. Comply with MSS-69 for pipe hanger selection and application.

B. EQUIPMENT INSTALLATION: Install equipment per manufacturer's recommendations Install equipment as high as possible. Install equipment level and plumb, parallel and perpendicular to building. Install mechanical equipment to facilitate service, maintenance, and repair or replacement of components. Connect equipment for ease of disconnecting, with minimum interference to other installations. Install equipment giving right of way to piping installed at required slope.

C. LABELING AND IDENTIFYING

Piping: Provide pipe markers on each system where pipe is exposed to view and above removable ceilings. Include pipe description of system and arrows showing normal direction of flow.

Equipment: Install engraved plastic-laminate sign or equipment marker on or near each major item of mechanical equipment.

D. CUTTING AND PATCHING: Cut, channel, chase, and drill floors, walls, partitions, ceilings, and other surfaces necessary for mechanical installations. Perform cutting by skilled mechanics of trades involved. Repair cut surfaces to match adjacent surfaces.

<u>SECTION 230593 - TESTING, ADJUSTING, AND BALANCING</u>

A. Examine air-handling equipment to ensure clean filters have been installed, bearings are greased, belts are aligned and tight, and equipment with functioning controls is ready for operation. Check dampers for proper

B. Perform testing and balancing procedures on each system according to the procedures contained in NEBB's "Procedural Standards for Testing, Adjusting, and Balancing of Environmental Systems" and this Section.

C. Adjust fans to deliver total design airflow within the maximum allowable rpm listed by the fan manufacturer. Provide new fan sheaves as required. Measure fan airflow, static pressure, rpm and amp draw.

D. Adjust volume dampers to achieve design airflow within 10% of specified values. Adjust diffusers, registers and grilles. Adjust minimum and maximum outside airflow.

E. Prepare report listing date, project information, equipment data and measured airflow results. Report shall include drawing indicating locations of air outlets and final measured airflow of each outlet. Submit four copies of report to engineer for review.

SECTION 230700 - DUCT INSULATION

A. MINERAL-FIBER BLANKET THERMAL INSULATION: Glass fibers bonded with a thermosetting resin. Comply with ASTM C 553, Type II, with all-service jacket manufactured from kraft paper, reinforcing scrim, aluminum foil, and vinyl film. Flame-spread rating of 25 or less, and smoke-developed rating of 50 or less. Apply insulation materials, accessories, and finishes according to the manufacturer's written instructions with the least number of joints practical. Seal joints and seams with vapor-retarder mastic on cold air ducts. Seal penetrations in insulation at hangers, supports, anchors, and other projections with vapor-retarder mastic.

B. ACOUSTICAL DUCT LINER: ASTM C 518 with resin and black mat coated surface exposed to air stream to prevent erosion of glass fibers. Thermal Conductivity (k-Value): 0.26 at 75 deg F mean temperature. Nominal Density 1.5 lbs per cubic foot, minimum noise reduction characteristic shall be 0.55 for 1" thickness; rated for 6000 fpm air velocity; air friction multiplier less than 1.6 at 2000 fpm. Adhere a duct liner with 100 percent coverage of adhesive. Butt transverse joints without gaps and coat joint with adhesive. Secure liner with mechanical fasteners. Apply metal nosing on leading edge of liner.

C. See Ductwork Insulation Schedule on sheet M3.1 for insulation application.

SECTION 231123 - NATURAL GAS PIPING

A. STEEL PIPE: Pipe: ASTM A 53; Type E or S; Grade B; Schedule 40; black. Malleable-Iron. Threaded Fittings ASME B16.3, Class 150, standard pattern, with threaded ends according to ASME B1.20.1. Unions: ASME B16.39, Class 150, malleable iron with brass-to-iron seat, ground joint, and threaded ends according to ASME B1.20.1. Joint Compound and Tape: Suitable for natural gas.

B. Install and test gas piping according to NFPA 54 "National Fuel Gas Code" and Authority having jurisdiction.

SECTION 233113 - METAL DUCTS AND ACCESSORIES

A. GENERAL: Drawings indicate general arrangement of ducts, fittings, and accessories. Minor modifications to route, size and shape of duct may be made to meet structural and other interference. Changes which could affect system performance shall be reviewed by Architect/Engineer prior to fabrication or installation of duct. Coordinate layout with suspended ceiling, fire- and smoke-control dampers, lighting layouts, and similar finished work.

B. DUCT FABRICATION: Sizes shown on plans are inside clear dimensions. Ductwork utilizing duct liner shall be increased in size to accommodate the duct liner thickness.

ASTM A 653/A 653M, G90 coating designation; mill-phosphatized finish for surfaces of ducts exposed to view. D. QUALITY ASSURANCE: Fabricate and install duct per SMACNA's "HVAC Duct Construction

C. MATERIAL: Construct all rectangular and round ducts from galvanized sheet steel: Lock-forming quality;

Standards-Metal and Flexible" and applicable codes. Comply with requirements for metal thickness, reinforcing types and intervals, tie-rod applications, and joint types and intervals. Comply with NFPA 90A, "Installation of Air Conditioning and Ventilating Systems," unless otherwise indicated.

E. PRESSURE CLASS: Unless otherwise noted construct all ducts to 2.0" WG positive or 2.0" WG negative pressure class.

F. DUCT SEALING: UL classified, non-combustible, flame spread 25 or less, smoke developed rating of 540 or less, resistant to water, pressure rupture rating of 16" WG minimum, suitable for use alone or with tape, application an operational temperature ranges appropriate for usage. Seal all duct per SMACNA class 'C' duct

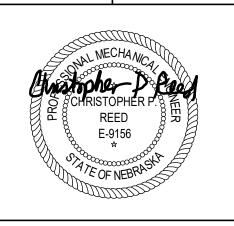
G. TURNING VANES: Fabricate of 1-1/2" wide, curved blades 3/4" on center. Provide turning vanes in all mitered elbows and duct turns.

H. DUCT ACCESS DOORS: Install insulated duct access doors with hinges and latches for access to inlet side of coils, equipment, control dampers, fire dampers, and smoke dampers.

I. VOLUME DAMPERS: Fabricate single blade dampers for duct sizes 9 ½: high x 30" width maximum. Fabricate multi-blade dampers of opposed blade pattern using minimum 16 gauge steel with maximum blade sizes 6" x 48" for larger ducts. Provide end bearings with end seals for pressure class required except in round duct 12" in diameter and smaller. Provide locking indicating quadrant regulators on all volume dampers. Mark ends of damper shanks for open/closed indication. Insulated ducts to have elevated dial indicators. Motorized dampers to have 115 volt operators. Provide manual volume dampers at branch take-offs and as shown. Provide motorized dampers as indicated.

J. FLEXIBLE CONNECTORS: Flame-retarded or noncombustible fabrics, coatings, and adhesives complying with UL 181, Class 1. Neoprene double-coated woven glass fibber fabric in accordance with NFPA 90A, suitable for temperatures and pressures of application, approximately 6" wide, crimped into metal edge strip. Provide flexible connections to motor driven equipment.

K. FLEXIBLE DUCTS: Factory-fabricated, insulated, round duct, with an outer jacket enclosing 1-1/2-inch-thick, glass-fiber insulation around a continuous inner liner, steel-wire helix encapsulated in polyethylene inner liner. Comply with UL 181, Class 1. Final connections to air outlets and terminal units may be made with flexible duct. Install flexible ducts with metal collars or sleeves with draw bands. Length of flexible duct shall not exceed 36"



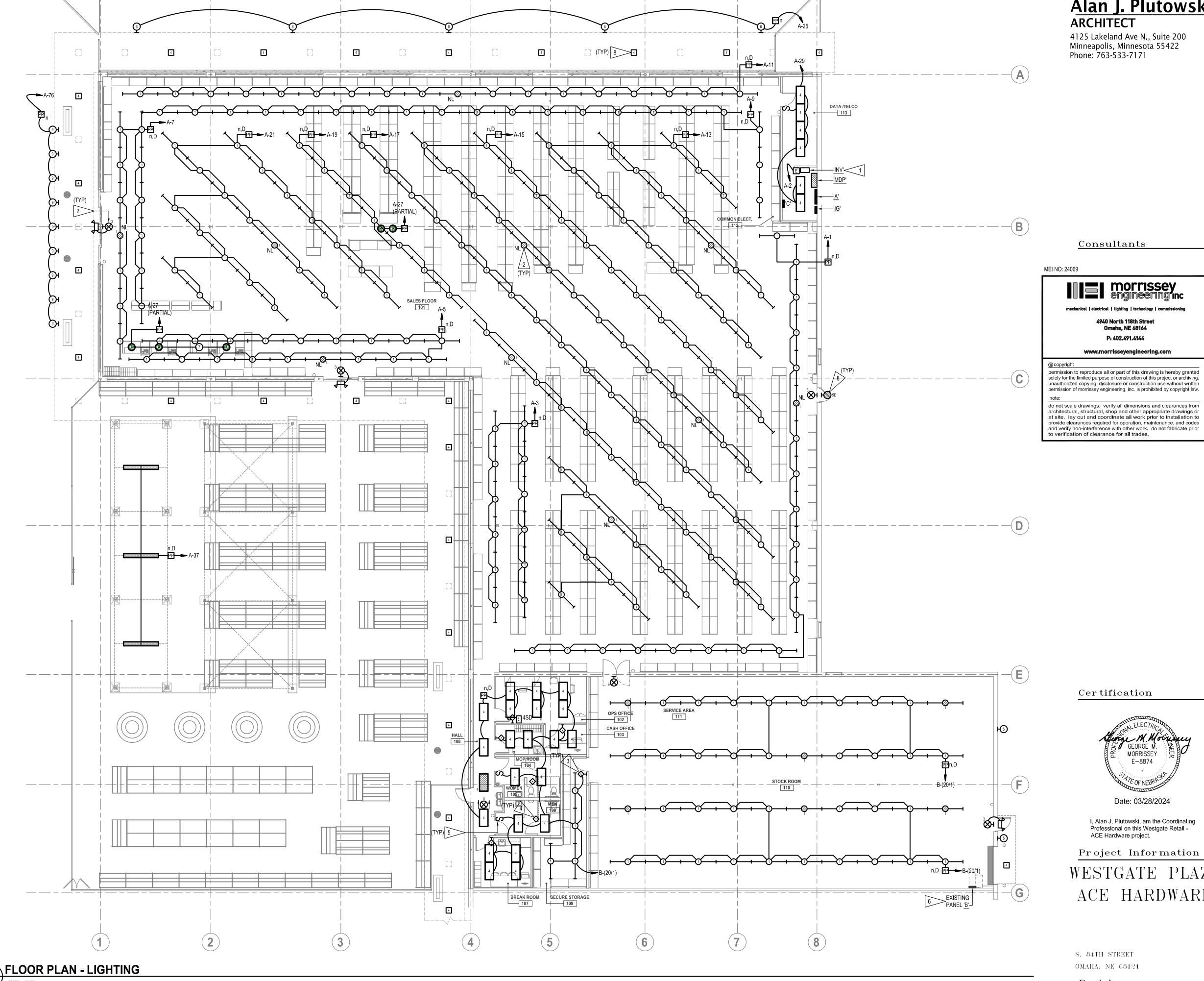
agency approval

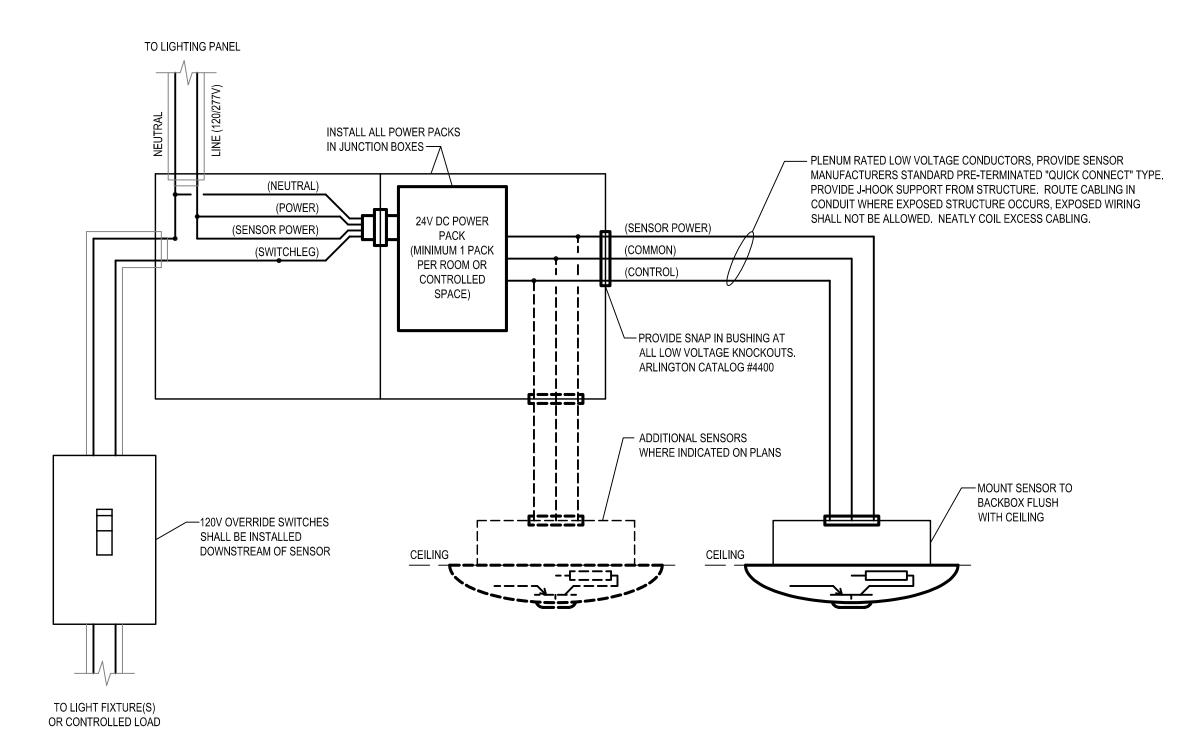
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date:	06/25/2024	
project number:	24069	
approved by:	CPR	
designed by:	CJB	





TYPICAL CEILING OCCUPANCY SENSOR CONNECTION DETAIL NOT TO SCALE

	LIGHTING FIXTURE SCHEDULE												
		2171122112		LAMP DATA				M	ΙΟl	JNTII	٧G		
FIXT#	MANUFACTURER	CATALOG NO. (NOTE 2)	QTY.	SIZE	TYPE (NOTE 3)	VOLTAGE	SURF	FLUSH	CIG	WALL	HEIGHT	DESCRIPTION	REMARKS
1	LITHONIA, NOTE 1	TZL1N L96 10000LM FST MVOLT 40K 80CRI WH	N/A	10,000 LM / 4000K	LED	120/277	Х		Х			8FT STRIP LIGHT	
2	LITHONIA, NOTE 1	ZL1N L48 5000LM FST MVOLT 40K 80CRI WH	N/A	5,000 LM / 4000K	LED	120/277	Х		Х			4FT STRIP LIGHT	
3	LITHONIA, NOTE 1	LHQM LED R HO RO	N/A	N/A	LED	120/277	Х			Х		EXIT LIGHT	NOTE 4
3	LITHONIA, NOTE 1	2GTL4 48L EZ1 LP840	N/A	4,800 LM / 4000K	LED	120/277		Х	Х			2X4 TROFFER	
4	CREE	CPY250 C 13L 50K7 D UL DM WH	N/A	13,7500 LM / 5000K	LED	120/277	Х		Х			CANOPY LIGHT	
5	LITHONIA, NOTE 1	WST LED P3 40K VW MVOLT E20WC	N/A	6,000 LM / 4000K	LED	120/277	Х			Х	-	WALL PACK	
5E	LITHONIA, NOTE 1	WST LED P3 40K VW MVOLT E20WC	N/A	6,000 LM / 4000K	LED	120/277	Х			Х	_	WALL PACK	W/ EM BATTERY
6	LITHONIA, NOTE 1	WDGE3 LED P3 50K 70CRI RFT MVOLT	N/A	10,000 LM / 4000K	LED	120/277	Х			Х	-	WALL PACK	
7	LSI ABOLITE	RD200 INC 120 MSV CA120BLK	1	NOTE 5	LED	120/277	Х		Х		-	PENDANT	
8	WILLIAMS, NOTE 1	96-8-L160/850-HIAFR-DIM-UNV	N/A	16,000 LM / 5000K	LED	120/277	Х		Х		-	8FT GASKETED	
9	BASELITE	A812-41-E12-100W	1	NOTE 6	LED	120/277	Х			Х	-	SIGN LIGHT	

- 1. FIXTURE SHALL BE CONSIDERED EQUAL AS MANUFACTURED BY COLUMBIA, DAY-BRITE, COOPER, AND H.E. WILLIAMS. 2. CONTRACTOR SHALL VERIFY LIGHT FIXTURE CATALOG NUMBER & INSTALLATION REQUIREMENTS PRIOR TO ORDERING.
- 3. LAMP TYPE DESCRIPTION: LED=LIGHT EMITTING DIODE 4. WHERE INDICATED ON PLAN PROVIDE REMOTE HEAD - LITHONIA #ELA B T SD QWP L0309.
- 5. PROVIDE WITH LED RETROFIT LAMP 4000K, 100W EQUIVALENT. 6. PROVIDE WITH LED RETROFIT LAMP - SATCO #S39750.

FLOOR PLAN - LIGHTING | 3/32" = 1'-0"

	LIGHTING CONTROL DEVICE SCHEDULE								
SYMBOL	MANUFACTURER	CATALOG NUMBER	DESCRIPTION						
E	SENSORSWITCH	nECY MVOLT ENC 12MO	LIGHTING CONTROL NETWORK HEAD END WITH TIME CLOCK						
: _{4SD}	SENSORSWITCH	nPODM 4S DX	FOUR SCENE LIGHTING CONTROL NETWORK ENTRY STATION WITH ON / OFF PUSH BUTTONS AND RAISE / LOWER DIMMING CONTROLS						
PP _n	SENSORSWITCH	nPP16	LIGHTING CONTROL NETWORK POWER PACK - NO DIMMING						
PP _{n,EM}	SENSORSWITCH	nPP16 ER	LIGHTING CONTROL NETWORK POWER PACK - NO DIMMING, WITH UL924 EMERGENCY OPERATION						
PP _{n,D}	SENSORSWITCH	nPP16 DS	LIGHTING CONTROL NETWORK POWER PACK - WITH DIMMING						
PP _{n,D,EM}	SENSORSWITCH	nPP16 DS ER	LIGHTING CONTROL NETWORK POWER PACK - WITH DIMMING, WITH UL924 EMERGENCY OPERATION						
➾	SENSORSWITCH	WSX PDT XX	LINE VOLTAGE SINGLE POLE WALL BOX OCCUPANCY SENSOR						
♦	SENSORSWITCH	CM PDT 10	LOW VOLTAGE CEILING SENSOR, STAND ALONE TYPE.						

1. PRODUCTS LISTED INDICATE BASIS OF DESIGN PRODUCTS. REFER TO SPECIFICATIONS FOR ACCEPTABLE EQUIVALENT MANUFCATURERS. 2. COORDINATE DIMMING TYPE REQUIRED WITH ASSOCIATED LIGHT FIXTURE TYPE CONTROLLED.

GENERAL NOTES

MINIMUM SIZE FOR BRANCH CIRCUIT CONDUITS SHALL BE 1/2." MINIMUM DATA/COMMUNICATIONS CONDUIT SIZE SHALL BE 1." SEE DRAWINGS FOR AREAS

WHERE LARGER CONDUITS ARE REQUIRED.

- AT CONTRACTOR'S OPTION, THE USE OF MULTI-WIRE BRANCH CIRCUITS IS ALLOWED. PROVIDE MEANS TO SIMULTANEOUSLY DISCONNECT ALL CIRCUIT BREAKERS SHARING A COMMON NEUTRAL.
- PROVIDE A GREEN INSULATED GROUND WIRE IN ALL LIGHTING AND POWER BRANCH
- 4. COORDINATE ROUTING OF EXPOSED CONDUIT WITH OWNER AND GENERAL CONTRACTOR PRIOR TO ROUGH IN. MOUNT EXPOSED CONDUIT TIGHT AND PARALLEL TO STRUCTURE.
- TAKE CARE TO ENSURE THAT ALL ELECTRICAL AND MECHANICAL DEVICES LOCATED WITHIN SAME VICINITY OF EACH OTHER ARE ALIGNED BOTH VERTICALLY AND HORIZONTALLY. SEE DETAIL 7 FOR ADDITIONAL INFORMATION. E3-1

ENERGY CODE COMPLIANCE					
CODE	2018 IECC				
ComCHECK	YES				
COMMISSIONING	YES	NOTE 1			

1. REQUIRED DOCUMENTS (REFER TO CODE) SHALL BE PROVIDED TO THE BUILDING OWNER OR OWNER REPRESENTATIVE WITHIN 90 DAYS OF THE DATE OF RECEIPT OF THE CERTIFICATE OF OCCUPANCY.

FLAG NOTES

PROVIDE NEW CENTRAL INVERTER - EVENLITE #LM 1000VA LC 1A OA C5 FS WM OR 2 CONNECT EXIT LIGHTING AND LIGHTING INDICATED WITH CROSS HATCHING TO ONE

OF FIVE DEDICATED OUTPUT BREAKERS IN NEW CENTRAL INVERTER.

BREAKER #1 - SALES FLOOR EMERGENCY LIGHTING BREAKER #2 - STOCK ROOM EMERGENCY LIGHTING BREAKER #3 - HALL EMERGENCY LIGHTING BREAKER #4 - EXIT LIGHTING

CIRCUITS WILL TURN TO 100% ON.

- BREAKER #5 SPARE PROVIDE ONE Pn,D,EM FOR EACH OF THREE EMERGENCY LIGHTING CIRCUITS ALLOWING THE LIGHTING TO BE CONTROLLED IN A SIMILAR FASHION AS SURROUNDING LIGHTING UNTIL A POWER OUTAGE. THEN THE LIGHTING IN THESE
- 3 PROVIDE LINE VOLTAGE WALL BOX OCCUPANCY SENSOR SEE LIGHTING CONTROL DEVICE SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- PROVIDE NEW CEILING MOUNTED OCCUPANCY SENSOR SEE SPECIFICATIONS. ROUTE CIRCUIT THROUGH NEW POWER PACK WITH AUXILIARY RELAYS, CONTROLLED BY NEW OCCUPANCY SENSOR(S). PROVIDE AUXILIARY POWER PACKS AS REQUIRED. SEE DETAIL FOR ADDITIONAL INFORMATION.
- 5 CONNECT SWITCH DOWNSTREAM OF OCCUPANCY SENSORS. SWITCH SHALL SERVE AS MANUAL SHUTOFF ONLY.
- 6 EXISTING PANEL BOARD SERVING AREA OF REMODEL. REUSE EXISTING CIRCUITS WHERE POSSIBLE. PROVIDE NEW BREAKERS AS REQUIRED TO ACCOMMODATE REMODEL. PROVIDE AN UPDATED TYPED CIRCUIT DIRECTORY AFTER REMODEL IS
- 7 CONNECT TO EXISTING (20/1) BREAKER IN PANEL INDICATED THAT BECOMES SPARE DURING DEMOLITION OR EXISTING SPARE (20/1) BREAKER IN PANEL SERVING AREA
- 8 REMOVE EXISTING LIGHT FIXTURE AND REPLACE WITH NEW FIXTURE INDICATED (WHERE APPLICABLE). CONNECT NEW FIXTURE TO EXISTING BRANCH CIRCUIT SERVING EXISTING LIGHT FIXTURE REMOVED.



S. 84TH STREET

OMAHA, NE 68124

Revisions

1 05/30/24

2 07/17/24

Date:

Certification

MORRISSEY

Date: 03/28/2024

I, Alan J. Plutowski, am the Coordinating Professional on this Westgate Retail -ACE Hardware project.

Project Information

WESTGATE PLAZA

ACE HARDWARE

TENANT REVISIONS

TENANT REVISIONS

02/16/2024

Alan J. Plutowski

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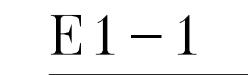
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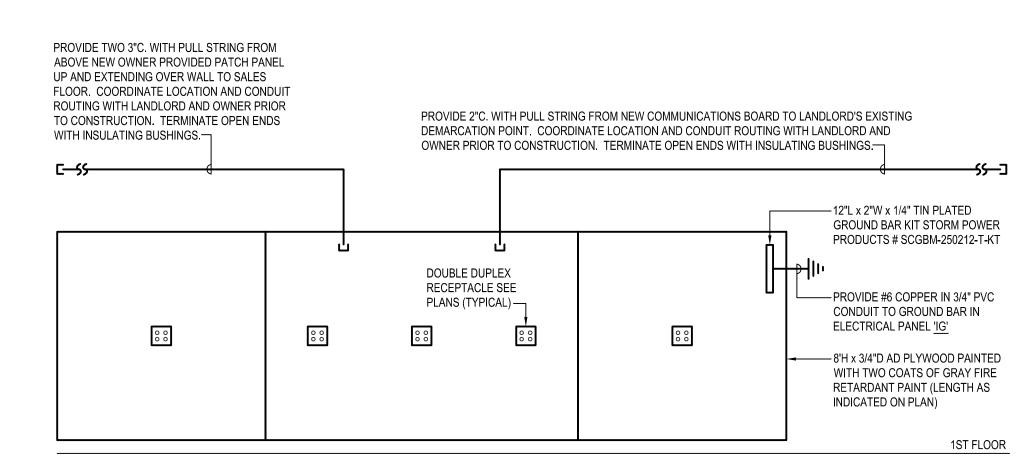


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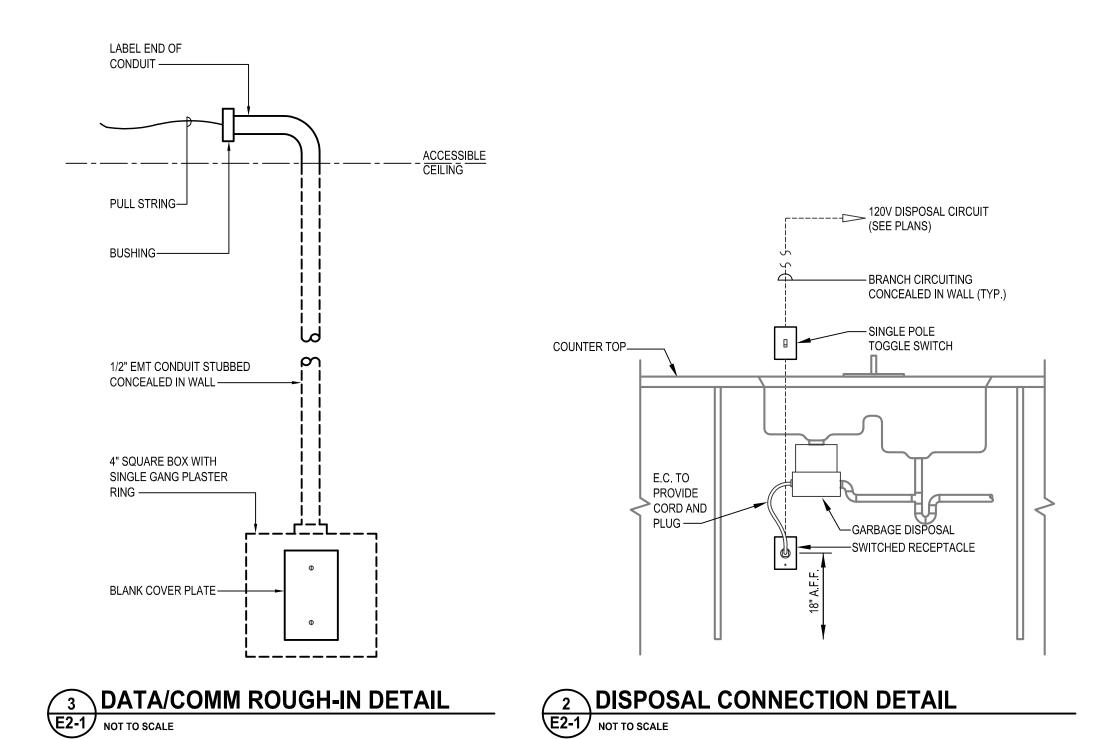
FLOOR PLAN – LIGHTING



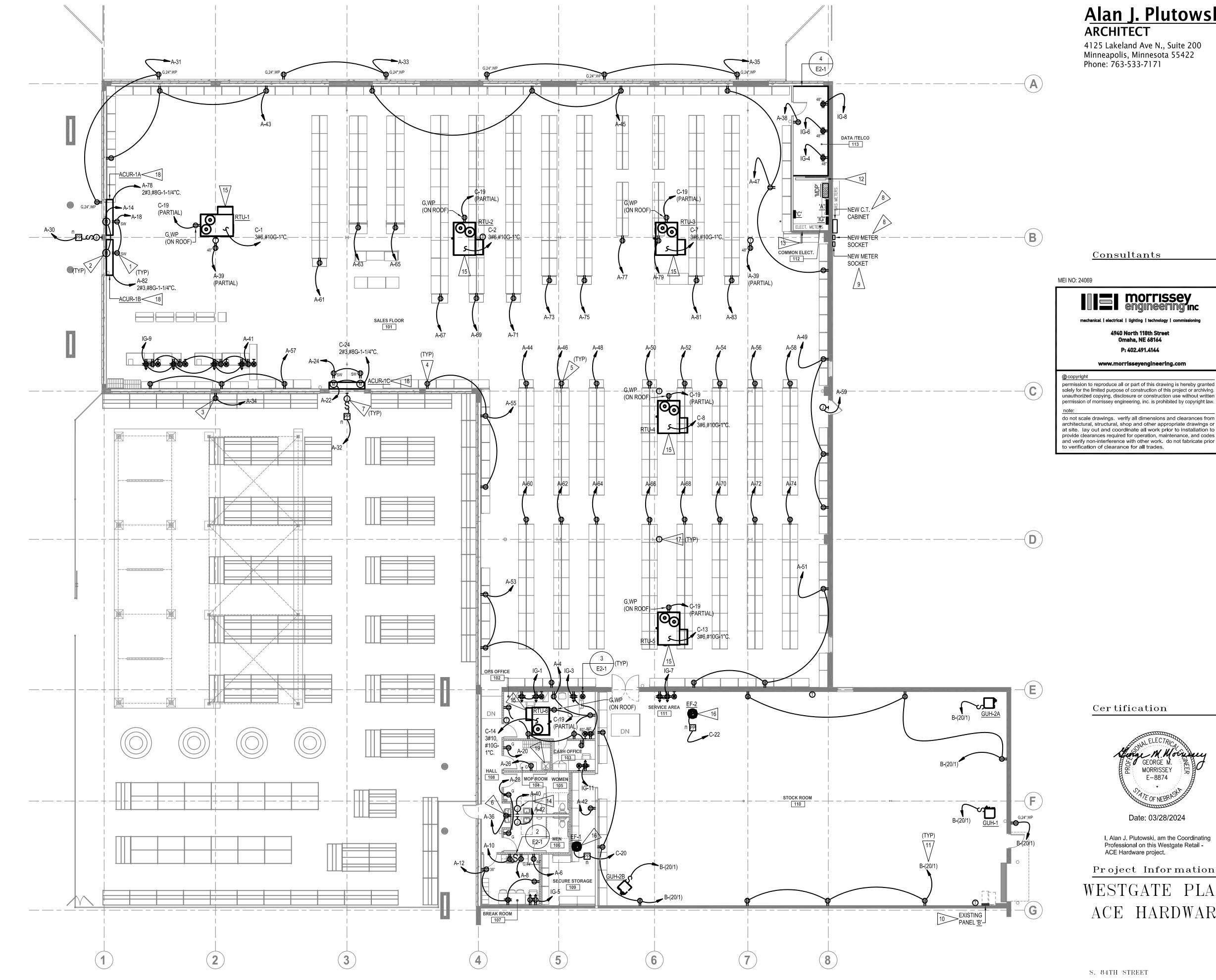
MECHANICAL AND PLUMBING EQUIPMENT IS NOT INDICATED ON THIS PLAN AND INFORMATION WAS NOT AVAILABLE AT THE TIME OF THIS DESIGN. PRIOR TO PURCHASING ELECTRICAL EQUIPMENT, BREAKERS, DISCONNECT SWITCHES, WIRE AND CONDUIT(S) ASSOCIATED WITH MECHANICAL AND PLUMBING EQUIPMENT, COORDINATE EXACT REQUIREMENTS WITH MECHANICAL AND PLUMBING CONTRACTORS. PROVIDE SUPPLY SIDE DUCT SMOKE DETECTORS IN EQUIPMENT WITH CFM RATING OVER 2,000. IF OTHER AIR HANDLING UNITS SHARE THE SAME AIR SYSTEM AS ANY AIR HANDLING UNIT REQUIRING A DUCT SMOKE DETECTOR THEN PROVIDE A FIRE ALARM RELAY TO SHUT DOWN ALL MECHANICAL EQUIPMENT SERVING SAME AIR SYSTEM. PROVIDE REMOTE INDICATOR / RESET STATION WHEN DUCT DETECTOR IS NOT LOCATED IN ACCESSIBLE CEILING SPACE.



4 COMMUNICATION BOARD DETAIL E2-1 NOT TO SCALE



E2-1 NOT TO SCALE



1 FLOOR PLAN - POWER E2-1 3/32" = 1'-0"

GENERAL NOTES

- MINIMUM SIZE FOR BRANCH CIRCUIT CONDUITS SHALL BE 1/2." MINIMUM DATA/COMMUNICATIONS CONDUIT SIZE SHALL BE 1." SEE DRAWINGS FOR AREAS WHERE LARGER CONDUITS ARE REQUIRED.
- AT CONTRACTOR'S OPTION. THE USE OF MULTI-WIRE BRANCH CIRCUITS IS ALLOWED. PROVIDE MEANS TO SIMULTANEOUSLY DISCONNECT ALL CIRCUIT BREAKERS SHARING A COMMON NEUTRAL.
- PROVIDE A GREEN INSULATED GROUND WIRE IN ALL LIGHTING AND POWER BRANCH
- COORDINATE ROUTING OF EXPOSED CONDUIT WITH OWNER AND GENERAL CONTRACTOR PRIOR TO ROUGH IN. MOUNT EXPOSED CONDUIT TIGHT AND PARALLEL TO STRUCTURE.
- TAKE CARE TO ENSURE THAT ALL ELECTRICAL AND MECHANICAL DEVICES LOCATED WITHIN SAME VICINITY OF EACH OTHER ARE ALIGNED BOTH VERTICALLY AND HORIZONTALLY. SEE DETAIL FOR ADDITIONAL INFORMATION. **E3-1** ✓

FLAG NOTES

- 1 MOUNT SHOW WINDOW RECEPTACLES (DESIGNATED WITH SUBSCRIPT 'SW') ABOVE GLAZING PER NEC 210.62.
- 2 PROVIDE FINAL CONNECTION TO AUTOMATIC ADA DOOR. INSTALL ALL COMPONENTS PROVIDED WITH DOOR OPERATOR, INCLUDING BUT NOT LIMITED TO: ACTUATORS, PUSHBUTTONS, TRANSFORMERS, ETC. PROVIDE FINAL CONNECTION BETWEEN DOOR OPERATOR AND ASSOCIATED COMPONENTS. COORDINATE REQUIREMENTS WITH EQUIPMENT MANUFACTURER PRIOR TO ROUGH IN.
- PROVIDE EXPLOSION PROOF RECEPTACLE AND EMERGENCY SHUTDOWN SWITCH AT PROPANE FILLING STATION. COORDINATE EXACT LOCATION WITH OWNER PRIOR TO ROUGH IN. PROVIDE ALL SWITCH(ES), RELAY(S), ETC. REQUIRED TO ACCOMMODATE SHUTDOWN.
- 4 VERIFY EXACT MOUNTING LOCATION AND HEIGHT OF RECEPTACLES SERVING WALL FIXTURES WITH OWNER PRIOR TO ROUGH IN. MOUNT RECEPTACLES TO FIXTURES. PROVIDE JUNCTION BOX IN WALL NEAR RECEPTACLE. CONNECT RECEPTACLE TO JUNCTION BOX WITH FLEXIBLE CONDUIT.
- 5 VERIFY EXACT MOUNTING LOCATION AND HEIGHT OF RECEPTACLES SERVING GONDOLA FIXTURES WITH OWNER PRIOR TO ROUGH IN. SURFACE MOUNT RECEPTACLES TO TOP FIXTURES FACE UP. PROVIDE JUNCTION BOX AT CEILING NEAR RECEPTACLE. CONNECT RECEPTACLE TO JUNCTION BOX WITH CONDUIT. AT FIXTURE TURN CONDUIT WITH 90 DEGREE BEND AND STUB INTO JUNCTION BOX WITH RECEPTACLE. COORDINATE WHICH RECEPTACLES NEED TO BE INTERLOCKED INTO LIGHTING CONTROL SYSTEM AND PROVIDE NON DIMMING POWER PACK(S) WHERE REQUIRED.
- 6 LOCATE RECEPTACLE FOR ELECTRIC WATER COOLER SO THAT CORD AND PLUG ARE CONCEALED INSIDE OR BEHIND WATER COOLER. PROVIDE 'GFCI' TYPE CIRCUIT

- 7 PROVIDE FINAL CONNECTION TO OWNER FURNISHED INTERNALLY ILLUMINATED SIGNAGE. COORDINATE REQUIREMENTS WITH ARCHITECTURAL EXTERIOR ELEVATIONS AND SIGNAGE SUPPLIER PRIOR TO ROUGH IN. PROVIDE TOGGLE SWITCH DISCONNECT CONCEALED WITHIN OR BEHIND SIGNAGE FOR POWER
- 8 COORDINATE LOCATION OF NEW C.T. CABINET AND METER SOCKET SERVING TENANT SPACE WITH OPPD AND ADJACENT UTILITIES PRIOR TO CONSTRUCTION. PROVIDE NEW METER SOCKET FOR LANDLORD'S EXISTING ELECTRICAL HOUSE

SERVICE. PROVIDE MODIFICATIONS ON INTERIOR OF BUILDING AS REQUIRED TO

- ACCOMMODATE NEW WORK. 10 EXISTING PANEL BOARD SERVING AREA OF REMODEL. REUSE EXISTING CIRCUITS WHERE POSSIBLE. PROVIDE NEW BREAKERS AS REQUIRED TO ACCOMMODATE REMODEL. PROVIDE AN UPDATED TYPED CIRCUIT DIRECTORY AFTER REMODEL IS
- 11 CONNECT TO EXISTING (20/1) BREAKER IN PANEL INDICATED THAT BECOMES SPARE DURING DEMOLITION OR EXISTING SPARE (20/1) BREAKER IN PANEL SERVING AREA
- 12 REMOVE EXISTING METER CENTER ON THIS WALL AND ADJACENT SERVICE DISCONNECT AND TELEPHONE CABINET ON ADJACENT WALL COMPLETE. COORDINATE DEMOLITION WITH GENERAL CONTRACTOR AND OPPD PRIOR TO
- 13 EXISTING ELECTRICAL HOUSE SERVICE. PROVIDE MODIFICATIONS AS REQUIRED TO FEED FROM NEW METER CENTER INDICATED.
- PROVIDE FINAL CONNECTION TO ELECTRIC WALL MOUNTED HAND DRYER. PROVIDE 600V, 34A RATED QUICK DISCONNECT FOR LOCAL DISCONNECTING MEANS WITHIN BODY OF HAND DRYER - MOLEX# 1726722002 (MALE CONNECTOR) AND #1726732002 (FEMALE CONNECTOR). COORDINATE EXACT LOCATION WITH ARCHITECTURAL INTERIOR ELEVATIONS PRIOR TO ROUGH IN. COORDINATE EXACT ELECTRICAL REQUIREMENTS WITH EQUIPMENT MANUFACTURER PRIOR TO ROUGH IN.

- 15 ROOF TOP UNIT PROVIDED WITH INTEGRAL DISCONNECT. PROVIDE DUCT SMOKE DETECTOR IN RETURN AIR DUCT. CONNECT TO SHUT DOWN MECHANICAL EQUIPMENT IN EVENT OF ALARM CONDITION. PROVIDE REMOTE INDICATOR / RESET STATION WHEN DUCT DETECTOR IS NOT LOCATED IN ACCESSIBLE CEILING SPACE. PROVIDE FIRE ALARM RELAY(S) TO SHUT DOWN ALL MECHANICAL EQUIPMENT
- SERVING SAME AIR SYSTEM. 16 EXHAUST FAN PROVIDED WITH INTEGRAL DISCONNECT. PROVIDE 120V CONNECTION TO MOTORIZED BACK DRAFT DAMPER.
- PROVIDE ROUGH IN FOR THERMOSTAT / SENSOR. PROVIDE 1/2"C. WITH PULL STRING FROM ROUGH IN TO MECHANICAL EQUIPMENT SERVED. COORDINATE REQUIREMENTS WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH IN. 18 AIR CURTAIN PROVIDED WITH INTEGRAL DISCONNECT.
- 19 CONNECT TO PANEL 'C' WITH 2#12.#12G-1"C. PROVIDE NEW LOCKABLE CIRCUIT BREAKER IN PANEL INDICATED TO SERVE WATER HEATER. BREAKER SHALL SERVE AS LOCAL DISCONNECTING MEANS PER NEC 422.31(B). SEE PANEL SCHEDULES FOR ADDITIONAL INFORMATION.

Drawn By: Checked By Job Number:



Sheet Information

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Cer tification

MORRISSEY

Date: 03/28/2024

I, Alan J. Plutowski, am the Coordinating Professional on this Westgate Retail -

Project Information

WESTGATE PLAZA

ACE HARDWARE

TENANT REVISIONS TENANT REVISIONS

02/16/2024

NWM

00324

ACE Hardware project

S. 84TH STREET

OMAHA, NE 68124

Revisions

1 05/30/24

2 07/17/24

FLOOR PLAN - POWER

SECTION 260100 - GENERAL ELECTRICAL REQUIREMENTS

A. WARRANTIES - All materials, workmanship and equipment shall be warranted against defects or against injury from proper and usual wear for a period of one year after the date of substantial completion. Any item that becomes defective within the warranty period shall be repaired or replaced, at no additional cost to the Owner. Warranty shall include repair of faulty workmanship.

B. DEFINITIONS ABBREVIATIONS - The following shall apply throughout the contract documents:

Furnish Supply and deliver to site ready for installation

Indicated Noted, scheduled or specified

Provide Furnish, install and connect complete and ready for final use

NEC National Electric Code (NFPA 70)

NEMA National Electrical Manufacturers Association

Underwriters Laboratories Inc.

NFPA National Fire Protection Association

C. CODES AND STANDARDS - All work shall be performed by competent craftsmen skilled in the trade involved and shall be done in a manner consistent with normal industry standards. All work shall conform to the currently adopted edition of the National Electric Code (NEC), Local Building Code, and all other applicable state and local codes or standards. Where there is a conflict between the code and the contract documents, the code shall have precedence only then it is more stringent than the contract documents.

D. PERMITS - Contractor shall become familiar and comply with all requirements regarding permits, fees, licenses, etc. All permits, licenses, inspections and arrangements required for the work shall be obtained by Contractor's effort and expense. All utilities shall be installed in accordance with the local rules and regulations and all charges shall be paid by the Contractor.

E. SUBMITTALS - Shop drawings shall be submitted to Architect/Engineer for the following items of electrical

Wiring devices

Enclosed controllers, switches, and circuit breakers

Panelboards

Lighting fixtures Lighting contro

DESIGNATION

•42K A.I.C.

•208Y/120V, 3Ø, 4W

WITH GROUND BAF

•800A MAIN BREAKER

BREAKER DISTRIBUTION

1. Shop drawings include fabrication and installation drawings, diagrams, schedules and other data specifically prepared for the project. Include dimensions and notations showing compliance with specified standards. Unless otherwise noted, submit a PDF copy of shop drawings for review.

2. Architect/Engineer will review or take appropriate action for submittals. Review is only to determine general conformance with design shown in contract documents. Review of submittals shall not relieve contractor of responsibility for deviation from requirements of the contract documents or from errors or omissions within

F. MATERIALS - All materials and equipment used in the construction of the project shall be new unused and undamaged unless otherwise specified. Materials and equipment shall be of latest design standards of manufacturer specified. Verify installation details and requirements for materials and equipment furnished by others and installed under this contract.

G. DEMONSTRATION AND TRAINING - Instruct Owner's personnel to adjust, operate, and maintain electrical systems. Schedule training with Owner with at least seven days' advance notice.

H. STARTING AND ADJUSTING - Start and test all equipment and operating components to confirm proper operation. Test and adjust all systems to achieve designed capacity and performance. All equipment and systems discrepancies shall be corrected prior to final acceptance

I. TEMPORARY POWER AND LIGHTING - Provide temporary electric power from local utility with metering and payment of use charges.

2. Provide temporary lighting with local switching that provides adequate illumination for construction operations and traffic conditions.

DISTRIBUTION PANEL SCHEDULE

1. Provide receptacle outlets adequate for connection of power tools and construction equipment.

NUMBER | DESIGNATION

PANEL 'C'

PANEL 'IG'

EXISTING PANEL

SECTION 260500 - BASIC ELECTRICAL MATERIALS AND METHODS

A. QUALITY ASSURANCE - Electrical Components, Devices, and Accessories shall be listed and labeled as defined in NFPA 70, Article 100, by a testing agency acceptable to authorities having jurisdiction, and marked for intended

arrange in building structure during progress of construction to facilitate the electrical installations that follow.

Sequence, coordinate, and integrate installing electrical materials and equipment for efficient flow of the work. C. CONDUCTORS - All conductors shall be installed in raceways. Conductors for pilot and control circuits shall be #14. All other conductors shall be #12 or larger.

1. Conductors, No. 10 AWG and Smaller: Solid or stranded copper.

2. Conductors, Larger Than No. 10 AWG: Stranded copper.

3. Insulation: Thermoplastic, rated at 75 deg C minimum. 4. Wire Connectors and Splices: Units of size, ampacity rating, material, type, and class suitable for service

D. RACEWAYS - Minimum raceway size shall be ½". Raceway types and applications shall be as follows: 1. Electrical metallic tubing (EMT): ANSI C80.3, zinc-coated steel, with set-screw or compression fittings. EMT shall be used for all other applications not listed below.

2. Liquid tight flexible metal conduit (LFMC): Zinc-coated steel with sunlight-resistant and mineral-oil-resistant plastic jacket. LFMC shall be used for connections to vibrating equipment or in wet or damp locations

3. Raceway Fittings: Specifically designed for the raceway type with which used.

E, JUNCTION AND DEVICE BOXES - Minimum box size shall be 4" square with extension or plaster ring as required. Box types and applications shall be as follows

1. Sheet metal boxes: NEMA OS 1 galvanized steel. Sheet metal boxes shall be used for all surface mounted applications and flush mounting in gypsum or plaster walls.

2. Masonry boxes: square cornered suitable for flush mounting in masonry construction.

3. Cast metal boxes: NEMA FB 1, Type FD, cast box with gasketed cover. Cast metal boxes shall be used for exterior surface mounted applications.

F. ELECTRICAL IDENTIFICATION - All conductors shall be color coded throughout the installation. Color coding shall be as prescribed by ANSI A13.1 and NFPA 70.

1. Provide engraved-plastic labels for all disconnect switches, switchboards, panelboards, transformers, and control devices. Labels shall be melamine plastic laminate engraving stock with 3/8" engraved lettering and shall be punched or drilled for mechanical fasteners.

G. FIRESTOPPING - Apply firestopping to cable and raceway penetrations of fire-rated floor and wall assemblies to achieve fire-resistance rating of the assembly. H. DEMOLITION - Protect existing electrical equipment and installations indicated to remain. If damaged or

disturbed in the course of the Work, remove damaged portions and install new products of equal capacity, quality, 1. Cut and remove buried raceway and wiring, indicated to be abandoned in place, 2 inches below the surface of

adjacent construction. Cap raceways and patch surface to match existing finish. 2. Remove demolished material from Project site.

3. Existing utilities shall not be interrupted without prior written approval from the owner. All interruptions shall occur during off hours. I. CUTTING AND PATCHING - Cut, channel, chase, and drill floors, walls, partitions, ceilings, and other surfaces

1. Repair and refinish disturbed finish materials and other surfaces to match adjacent undisturbed surfaces. Install new fireproofing where existing firestopping has been disturbed. Repair and refinish materials and other surfaces by skilled mechanics of trades involved

LIGHTING PANEL SCHEDULE

VOLTAGE:

PHASE:

A.I.C. RATING: SERIES

 20/1
 1
 2
 20/1 (L)
 LIGHTING CONTROL NETWORK

 20/1
 3
 4
 20/1
 REC - OPS OFFICE

20/1 5 6 20/1 (G) REC - REFRIGERATOR

20/1 15 16 20/1 REC - SECURE STORAGE

20/1 17 18 20/1 REC - DOOR SIGNAGE

20/1 23 24 20/1 REC - DOOR SIGNAGE

20/1 31 32 20/1 BUILDING SIGNAGE

20/1 35 36 20/1 (G) REC - WATER COOLER

20/1 41 42 20/1 HAND DRYER - MEN'S

20/1 39 40 20/1 HAND DRYER - WOMEN'S

20/1 37 38 20/1 REC - UTILITY ROOMS

20/1 29 30 20/1 BUILDING SIGNAGE

20/1 25 26 20/1 REC - FLOOR SCRUBBER

20/1 27 28 20/1 REC - REST / MOP ROOMS

20/1 33 34 20/1 REC - PROPANE FILLING STATION

20/1 19 20 20/1 REC - MOP ROOM

20/1 7 8 20/1 REC- BREAK ROOM

20/1 11 12 20/1 REC- BREAK ROOM

20/1 9 10 20/1 (G) REC - DISPOSAL

20/1 13 14 20/1 ADA DOORS

20/1 21 22 20/1 ADA DOORS

WIRE:

208/120V

required to permit electrical installations. Perform cutting by skilled mechanics of trades involved.

LIGHTING PANEL: A

LTG - SALES FLOOR

LTG - PALLETS

LTG - PENDANTS

REC - EXTERIOR

REC - EXTERIOR

REC - EXTERIOR

REC - COLUMNS

REC - POS

LTG - GARDEN CENTER

LTG - ELECTRICAL / IT ROOMS

SURFACE

MLO W/FEED

THRU LUGS

AND GND. BAR

RATING:

TYPE:

SPACE REMARKS

MOUNTING:

SECTION 262416 - PANELBOARDS

A. GENERAL - Panelboard cabinets shall be NEMA PB 1, type 1 zinc coated steel with manufacturer's standard enamel finish over corrosion-resistant treatment or primer coat. Each panelboard shall be furnished with a directory card indicating the load served by each branch circuit.

2. Provide each panelboard with an equipment ground bus adequate for feeder and branch-circuit equipment ground

3. Where future devices (spaces) are scheduled provide mounting brackets, bus connections, and necessary appurtenances required for future installation of devices.

5. Panelboards shall be mounted with top of trim at 74" above finished floor, unless otherwise indicated.

6. Panelboards shall be mounted plumb and rigid without distortion of box. Mount recessed panelboards with fronts uniformly flush with wall finish.

B. LIGHTING AND APPLIANCE BRANCH-CIRCUIT PANELBOARDS

2. Doors: Front mounted with concealed hinges; secured with flush latch with tumbler lock; keyed alike.

C. DISTRIBUTION PANELBOARDS

2. Doors: Front mounted secured with vault-type latch with tumbler lock; keyed alike.

D. OVERCURRENT PROTECTIVE DEVICES - Thermal-magnetic circuit breakers with inverse time-current element for low-level overloads, and instantaneous magnetic trip element for short circuits. Adjustable magnetic trip setting for circuit-breaker frame sizes 250 A and larger. Circuit breaker lugs shall be mechanical style, suitable for number, size, trip ratings, and material of conductors.

1. Each overcurrent protective device shall have an application listing appropriate for the application.

with long dimension vertical, and grounding terminal of receptacles on bottom.

1. Unless otherwise indicated wiring devices shall be mounted at the following heights, measured from finished floor to

Receptacles = 16"

3. Wiring devices shall be manufactured by Pass and Seymour, Leviton, Hubbell, or General Electric.

B. RECEPTACLES - Duplex receptacles shall be specification grade 20 ampere, 120 volt.

1. Ground fault interrupting (GFI) receptacles shall be feed-through type arranged to protect connected downstream receptacles on same circuit.

C. SWITCHES - Snap switches shall be specification grade, quiet type, single pole, two pole, or three-way to suit

D. DEVICE COLOR - Color shall be white unless otherwise indicated or required by code.

TYPE:

REC - SALES FIXTURES

REC - SALES FIXTURES

REC - SALES FIXTURES

REC - SALES FIXTURES

PWR - DOOR ALARM

REC - GONDOLA

1. Weatherproof plates in damp locations: Heavy cast aluminum; hinged, gasketed, equal to Pass & Seymour #4511 for horizontal mount or #4512 for vertical mount. These covers shall be installed outdoors in a location protected from the weather such as roofed open porches, canopies, eyes, and the like or in other damp locations where the receptacle will not be subject to beating rain or water run-off. These covers may also be used at roof mounted

2. Weatherproof plates in wet locations: Self closing transparent cover, lockable weatherproof enclosure, the integrity of which is not affected when the attachment plug cap is inserted. Equal to Cooper Wiring Devices Weatherbox.

SECTION 262816 - ENCLOSED SWITCHES

SECTION 265100 - LIGHTING

B. LED LIGHT SOURCE REQUIREMENTS:

C. LED DRIVER REQUIREMENTS:

1. 0-10V Dimming.

ceiling tees.

2. Color Rendering Index (CRI): 80 CRI minimum.

2. Total Harmonic Distortion Rating: Less than 20 percent.

3. Ambient Temperature Rating: -40° to + 55° C.

stipend to owner after 1-year construction warranty.

2. LED system Warranty: 5-year replacement warranty.

manufacturer's written instructions and approved submittal materials.

4. Power Factor (100% output): >0.95

Drivers: 5-year replacement warranty.

A. ENCLOSED SWITCHES - Enclosed switches shall be heavy-duty grade with lockable handle. Switches shall be non-fusible unless otherwise indicated and shall have clips to accommodate fuse sizes indicated on the drawings.

2. Cartridge fuses shall be class dual-element time delay, Class "RK-1" Bussman low peak. Equivalent fuses as

A. LUMINAIRE AND FIXTURE COMPONENTS - All metal parts and components shall be free from burrs, sharp

1. Doors, frames, and other internal access mechanisms shall be smooth operating, free from light leakage under

3. Each luminaire type type shall be binned within a three-step MacAdam Ellipse to ensure color consistency among

D. WARRANTY - Include labor allowance required for replacement on-site at no extra cost to Owner within 1-year

construction warranty. Transfer remainder of the manufacturer's warranty, including ballast manufacturer's labor

E. FINISHES - Luminaire finishes shall be manufacturer's standard, unless otherwise indicated. Painted finishes shall

F. INSTALLATION - Luminaires shall be set level, plumb, and square with ceiling and walls, and secured according to

1. Luminaires in or on grid-type suspended ceilings shall be supported with support clips and a minimum of four ceiling

SURFACE

MLO W/FEED

2. Luminaires of Sizes Less Than Ceiling Grid shall be arranged as indicated on reflected ceiling plans or center in

acoustical panel, and supported independently with at least two 3/4-inch metal channels spanning and secured to

support system rods or wires for each fixture, located not more than 6 inches from fixture corners.

be applied over corrosion-resistant treatment or primer, free of defects. Metallic finishes shall be corrosion resistant.

3. Enclosed switches shall be manufactured by Cutler-Hammer, General Electric, Siemens, or Square D.

1. Exterior mounted switches shall be NEMA 3R rated and shall be bolted closed.

corners, and edges. All fixtures shall be shipped pre-wired and ready for mounting.

operating conditions, and arranged to permit relamping without use of tools.

1. Rated life (L70): Minimum 50,000 hours as defined by IES LM80 and TM21.

manufactured by Gould Shawmut, littlefuse, or GE are acceptable.

SECTION 265200 - LIGHTING CONTROL

A. OCCUPANCY SENSORS - Sensor adapts or "learns" patterns of use specific to controlled space to reduce false

1. Ceiling Sensors: Dual technology with infrared and microphonic or ultrasonic 32 kHz or 40 kHz sensors integrated into one housing. 360 degree field of view with a minimum coverage of 20 foot radius at 9' mounting height, with sensor centered in coverage area. Sensor shall mount tight to ceiling surface and shall have a white finish. Provide associated power packs for sensor power and load switching relays. Sensorswitch CM PDT 10 or equivalent by Hubbell or Wattstopper.

2. Wall Box Sensors: Passive dual technology with 180 degree adjustable field of view capable of sensing small motion to 20' when mounted at 4'. Pushbutton on sensor face provides manual on/manual off load control, load may be manually turned on or off at any time. Mount in wall box with decorator style faceplate, sensor shall have gray finish with 302 stainless steel plate. Integral switch in sensor housing shall be rated for 800W ballast or incandescent load at

3. Adjust occupancy sensors tailored to actual use conditions of controlled space. Make adjustments before and after Owner has occupied space.

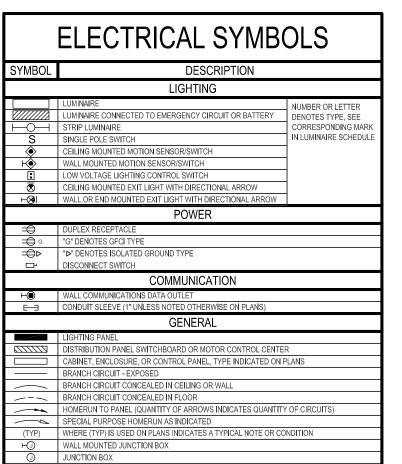
120V, 1200W ballast load at 277V, and 1/4 hp motor load at 120V. Sensorswitch WSD PDT or equivalent by Hubbell

B. LIGHTING CONTROL - See plans, schedules, and details for requirements of network type lighting control. C. WARRANTY - Manufacturer and Installer agree to repair or replace devices that fail in materials or workmanship

D. MANUFACTURERS

within two years from date of substantial completion.

1. Lighting control system shall be manufactured by SensorSwitch nLight, Wattstopper, Encelium.



ELECTRICAL SYMBOLS							
SYMBOL DESCRIPTION							
	LIGHTING						
S ••••••••••••••••••••••••••••••••••••	LUMINAIRE LUMINAIRE CONNECTED TO EMERGENCY CIRCUIT OR BATTERY STRIP LUMINAIRE SINGLE POLE SWITCH CEILING MOUNTED MOTION SENSOR/SWITCH WALL MOUNTED MOTION SENSOR/SWITCH LOW VOLTAGE LIGHTING CONTROL SWITCH CEILING MOUNTED EXIT LIGHT WITH DIFFERENCE	NUMBER OR LETTER DENOTES TYPE, SEE CORRESPONDING MARK IN LUMINAIRE SCHEDULE					
⊢⊗	WALL OR END MOUNTED EXIT LIGHT WITH DIRECTIONAL ARROW POWER						
	DUPLEX RECEPTACLE "G" DENOTES GFCI TYPE "b" DENOTES ISOLATED GROUND TYPE DISCONNECT SWITCH						
	COMMUNICATION						
H O	WALL COMMUNICATIONS DATA OUTLET CONDUIT SLEEVE (1" UNLESS NOTED OTHERWISE ON PLANS)						
	GENERAL						
	CABINET, ENCLOSURE, OR CONTROL PANEL, TYPE INDICATED ON PLANS BRANCH CIRCUIT - EXPOSED						
	BRANCH CIRCUIT CONCEALED IN CEILING OR WALL BRANCH CIRCUIT CONCEALED IN FLOOR HOMERUN TO PANEL (QUANTITY OF ARROWS INDICATES QUANTITY OF CIRCUITS) SPECIAL PURPOSE HOMERUN AS INDICATED						
(TYP)	WHERE (TYP) IS USED ON PLANS INDICATES A TYPICAL NOTE OR CO WALL MOUNTED JUNCTION BOX JUNCTION BOX CIRCUIT BREAK	ONDITION					

LIGHTING PANEL: IG

SURFACE

MLO W/ GND.

RATING:

TYPE:

MOUNTING:

REC - OPS OFFICE

REC - OPS OFFICE

REC - POS

SPACE ONLY

SPACE ONLY

SPACE ONLY

SPACE ONLY

SPACE ONLY

SPACE ONLY

REC - BREAK ROOM

REC - STOCK ROOM

REC - CASH OFFICE

LIGHTING PANEL SCHEDULE

VOLTAGE

PHASE:

WIRE:

20/1 11 12 SPACE ONLY

20/1 13 14 SPACE ONLY

20/1 15 16 SPACE ONLY

20/1 17 18 SPACE ONLY

20/1 19 20 SPACE ONLY

20/1 21 22 SPACE ONLY

20/1 23 24 SPACE ONLY

20/1 29 30 SPACE ONLY

37 38 SPACE ONLY

41 42 SPACE ONLY

35 36

A.I.C. RATING:

| 20/1 | 1 | 2 | 20/1 (L) | REC - COMMUNICATIONS BOARD | 20/1 | 3 | 4 | 20/1 (L) | REC - COMMUNICATIONS BOARD

20/1 7 8 20/1 (L) REC - COMMUNICATIONS BOARD

20/1 9 10 20/1 (L) REC - COMMUNICATIONS BOARD

SPACE ONLY

SPACE ONLY

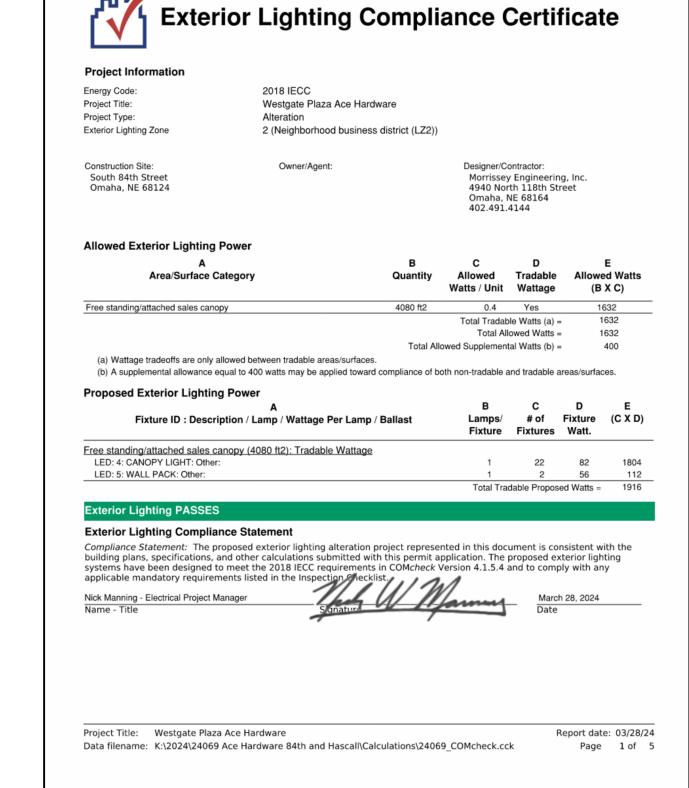
SPACE ONLY

SPACE ONLY

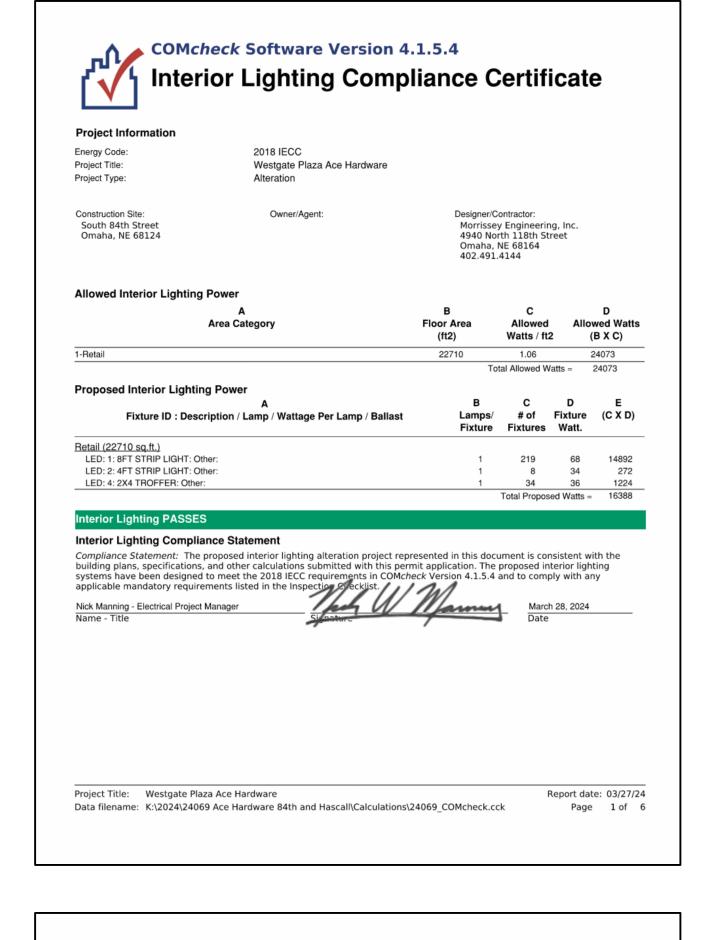
SPACE ONLY

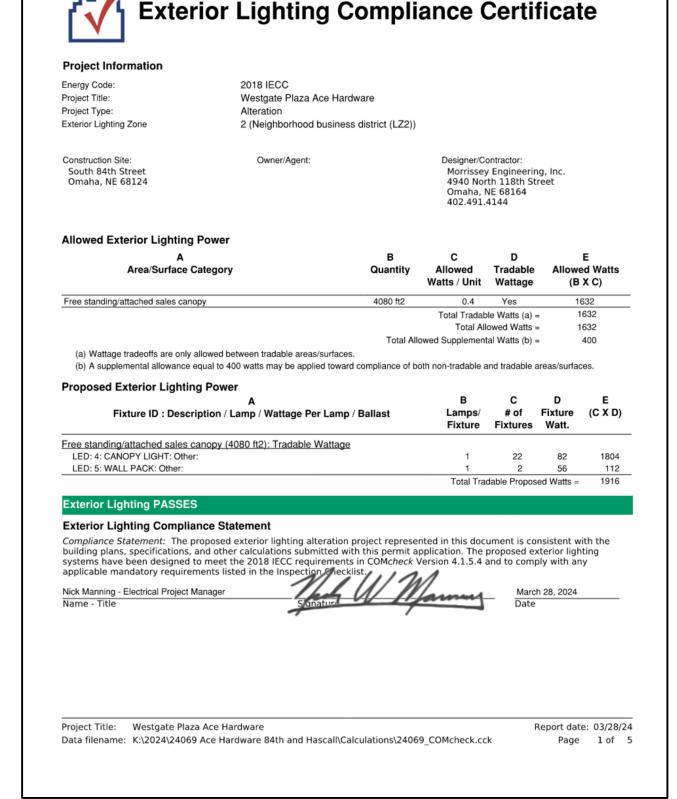
SPACE ONLY

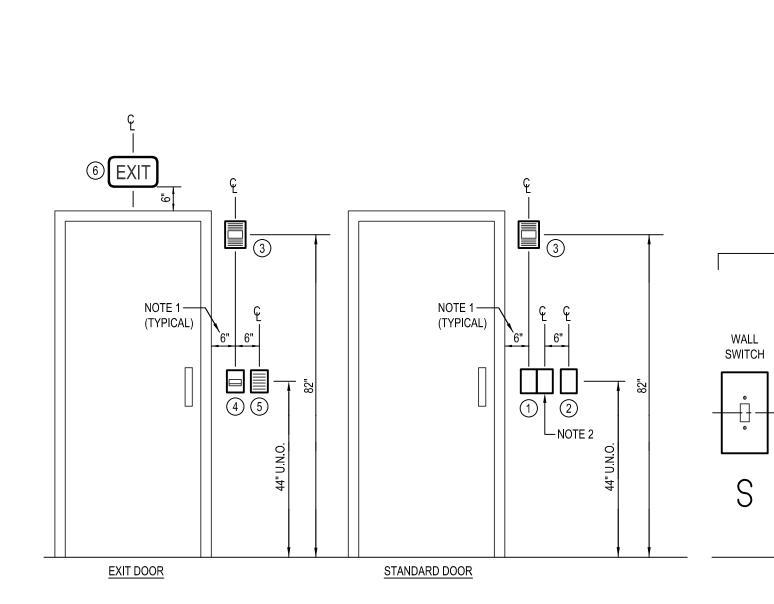
20/1 5 6 20/1 (L) REC - COMMUNICATIONS BOARD



COMcheck Software Version 4.1.5.4







(1) WALL SWITCH, WALL OCCUPANCY SENSOR SWITCH, WALL BOX DIMMER SWITCH, OR ENTRY STATION

(2) THERMOSTAT, TEMPERATURE SENSOR, OR CARBON DIOXIDE SENSOR ROUGH-IN

(3) FIRE ALARM AUDIO/VISUAL INDICATING DEVICE (4) FIRE ALARM PULL STATION

(5) ACCESS CONTROL CARD READER

(6) EXIT SIGN

MAIN SERVICE GROUNDING DETAIL

FLOOR 1 ALIGN DEVICES VERTICALLY AND HORIZONTALLY WHEREVER POSSIBLE. NOT ALL DEVICES OR CONFIGURATIONS ARE ARE DEPICTED ON THIS DETAIL. FOR ANY CONFIGURATIONS WITH FOUR OR MORE DEVICES, COORDINATE ARRANGEMENT

NOTE 1

CONTROL

CARD

READER

SHADE

CONTROL

CONTROL

DIOXIDE

SENSOR THERMOSTAT SENSOR

ALARM

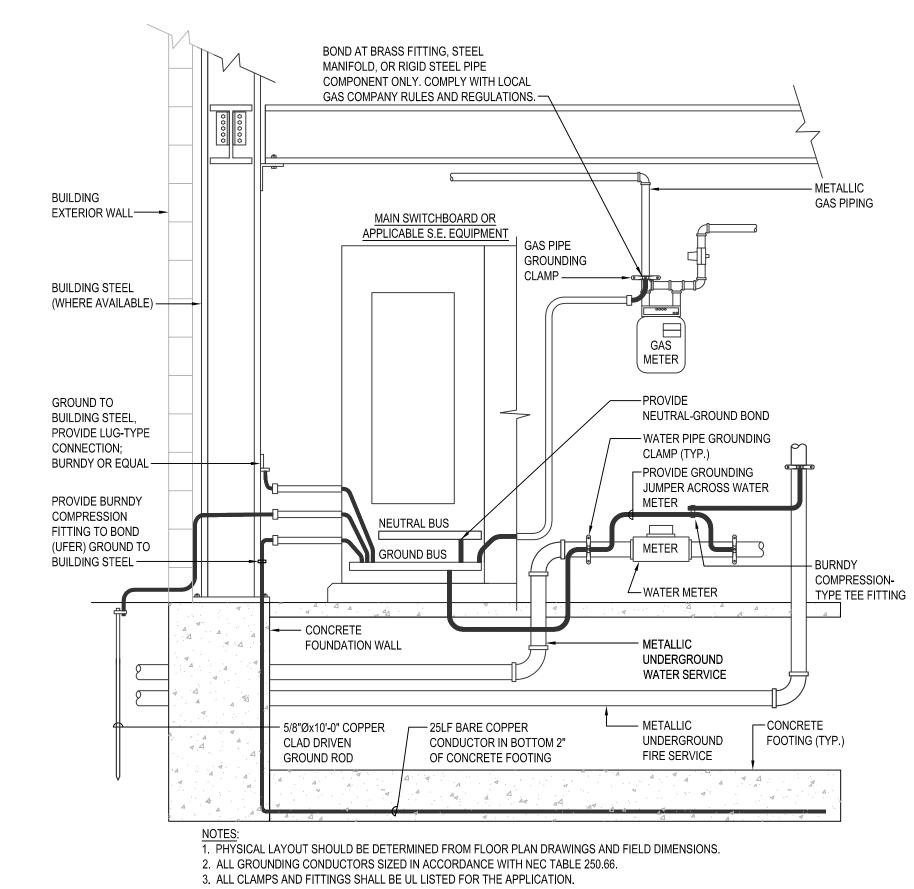
PULL

STATION

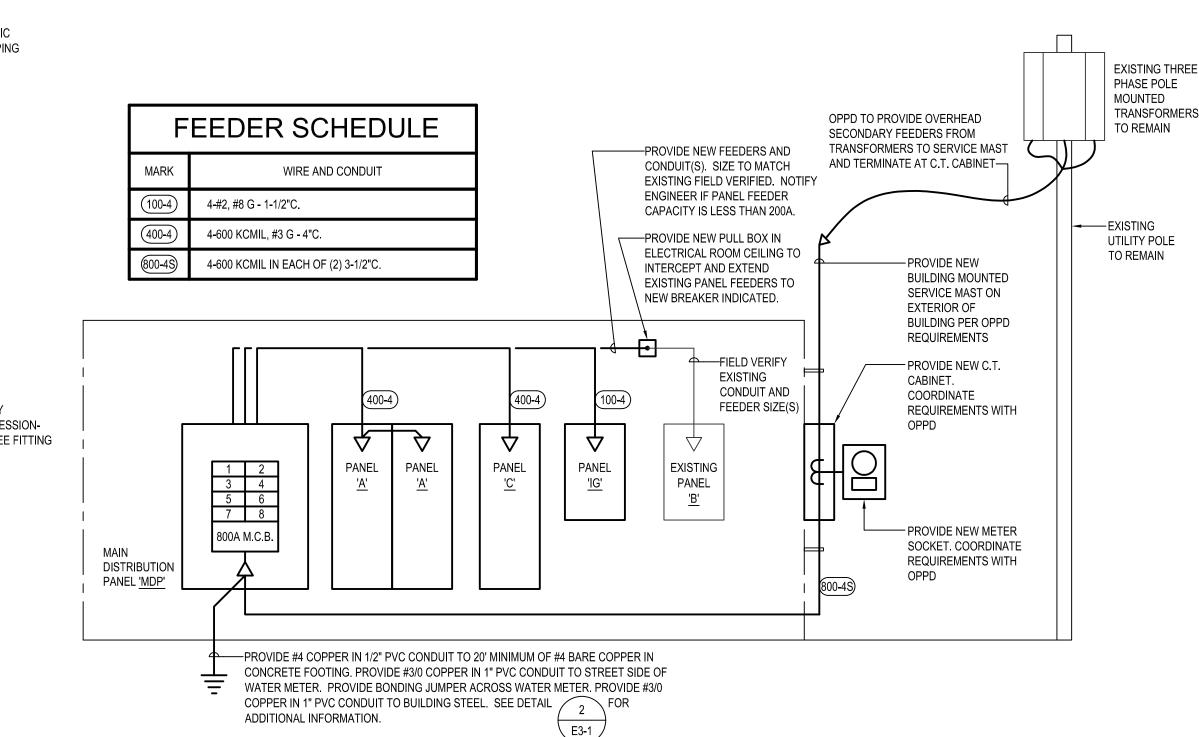
WITH THE ENGINEER PRIOR TO ROUGH-IN. SEE FLOOR PLANS FOR INDIVIDUAL DOOR REQUIREMENTS. . WHERE MULTIPLE SWITCHES OR WALL BOX DIMMERS ARE GANGED TOGETHER, ALIGN FIRST GANG WITH DEVICES ABOVE AND ADD DEVICES TO THE RIGHT AS REQUIRED.

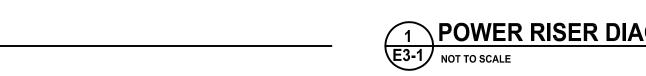
3. DIMENSIONS ARE TO BE MEASURED FROM OUTSIDE EDGE OF DOOR FRAME OR TRIM. WHERE SIDE LIGHT WINDOWS ARE PROVIDED, DIMENSIONS SHOULD BE MEASURED FROM OUTSIDE EDGE OF SIDE LIGHT WINDOW FRAME OR TRIM.

4. ALL DEVICES SHALL BE LOCATED TO MAINTAIN ALL A.D.A. MOUNTING HEIGHT REQUIREMENTS AND SUCH THAT CENTER OF ADJACENT DEVICES ARE AT SAME ELEVATION (TYPICALLY 44" A.F.F. TO CENTER OF DEVICE). NOTIFY ENGINEER OF ANY CONFLICTS WITH THE PROPOSED INSTALLATION.



MAIN SERVICE GROUNDING DETAIL





1 POWER RISER DIAGRAM

Sheet Information

ELECTRICAL SCHEDULES

DETAILS AND

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SPECIFICATIONS

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Consultants

4940 North 118th Stree

P: 402.491.4144

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architectural, structural, shop and other appropriate drawings or

at site. lay out and coordinate all work prior to installation to

provide clearances required for operation, maintenance, and codes

and verify non-interference with other work. do not fabricate prior

Certification

GEORGE M.

MORRISSEY

E-8874

Date: 03/28/2024

I, Alan J. Plutowski, am the Coordinating

Professional on this Westgate Retail -

Project Information

WESTGATE PLAZA

ACE HARDWARE

TENANT REVISIONS

TENANT REVISIONS

02/16/2024

NWM

NWM

00324

ACE Hardware project.

S. 84TH STREET OMAHA, NE 68124

Revisions

1 05/30/24

2 07/17/24

Date:

Drawn By:

Checked By

Job Number:

verification of clearance for all trades

MEI NO: 24069

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WALL BOX

DIMMER

SWITCH

ENTRY

STATION

OCCUPANCY

SENSOR

SWITCH

1. Panelboard bus material shall be hard-drawn copper, 98 percent conductivity. B. COORDINATION - Coordinate chases, slots, inserts, sleeves, and openings with general construction work and

conductors. Bus shall be bonded to box.

4. Each panelboard shall be fully rated to interrupt symmetrical short-circuit current available at terminals. See schedules for required interrupting current (A.I.C.).

7. Panelboards shall be manufactured by Cutler-Hammer, General Electric, Siemens, or Square D.

1. Overcurrent Protective Devices: Bolt-on circuit breakers, replaceable without disturbing adjacent units.

1. Overcurrent Protective Devices: Bolt-on circuit breakers

SECTION 262726 - WIRING DEVICES

A. GENERAL - Devices shall be installed plumb and secure. Unless otherwise indicated, flush mount wiring devices

Wall switches and wall box dimmers = 44"

2. Group adjacent devices under single multi-gang wall plates.

2. Receptacles serving owner furnished equipment shall have configuration to match that of equipment plug.

E. WALL PLATES - Plates shall be smooth finish plastic in single and combination types to match corresponding wiring devices. Match color of associated device(s).

mechanical equipment for use with portable tools that would be normally connected to the outlet when attended.

LIGHTING PANEL SCHEDULE (TUB TWO) LIGHTING PANEL: LIGHTING PANEL: A VOLTAGE: RATING: PHASE: RATING: MOUNTING: SURFACE MOUNTING: WIRE: A.I.C. RATING: SERIES MLO W/ GND. TYPE:

20/1 77 78 80/2 ACUR-1A

20/1 81 82 80/2 ACUR-1B

20/1 79 80 --- ----

20/1 83 84 --- -----

20/1 45 46 20/1 REC - GONDOLA 20/1 47 48 20/1 REC - GONDOLA 20/1 49 50 20/1 REC - GONDOLA 20/1 51 52 20/1 REC - GONDOLA 20/1 53 54 20/1 REC - GONDOLA 20/1 55 56 20/1 REC - GONDOLA 20/1 57 58 20/1 REC - GONDOLA 20/1 59 60 20/1 REC - GONDOLA 20/1 63 64 20/1 REC - GONDOLA 20/1 65 66 20/1 REC - GONDOLA 20/1 67 68 20/1 REC - GONDOLA 20/1 69 70 20/1 REC - GONDOLA 20/1 71 72 20/1 REC - GONDOLA 20/1 73 74 20/1 REC - GONDOLA 20/1 75 76 20/1 LTG - BUILDING SIGNAGE

THRU LUGS AND GND. BAR					
DESCRIPTION	O/C	Ck	(T.	O/C	DESCRIPTION
RTU-1	60/3	1	2	60/3	RTU-2
		3	4		
		5	6		
RTU-3	60/3	7	8	60/3	RTU-4
		9	10		
		11	12		
RTU-5	60/3	13	14	30/3	RTU-6
		15	16		
		17	18		
REC - ROOF TOP	20/1	19	20	15/1	EF-1
EWH-1	20/2	21	22	20/1	EF-2
		23	24	80/2	ACUR-1C
SPARE	20/1	25	26		
SPARE	20/1	27	28		SPACE ONLY
SPARE	20/1	29	30		SPACE ONLY
SPARE	20/1	31	32		SPACE ONLY
SPARE	20/1	33	34		SPACE ONLY
SPARE	20/1	35	36		SPACE ONLY
SPACE ONLY		37	38		SPACE ONLY
SPACE ONLY		39	40		SPACE ONLY
SPACE ONLY		41	42		SPACE ONLY

LIGHTING PANEL SCHEDULE

VOLTAGE:

A.I.C. RATING:

SERIES

PHASE:

WIRE: