

# WESTGATE PLAZA ACE HARDWARE

**Alan J. Plutowski**  
**ARCHITECT**  
 4125 Lakeland Ave N., Suite 200  
 Minneapolis, Minnesota 55422  
 Phone: 763-533-7171

## BUILDING REMODELING 3401 S. 84TH STREET, OMAHA, NE 68124

### PROJECT DATA

<b>NAME:</b>	ACE HARDWARE BUILDING REMODELING 8, 84TH STREET OMAHA, NE 68124	<b>INTERIOR FINISHES:</b> (BC 503.15)	OCUPANCY M	<b>STAIRS, RAMP, EXIT PASSAGEWAYS</b> B	<b>CORRIDORS FOR EXIT ACCESS</b> C	<b>ROOMS/ENCL. SPACES</b> C
<b>COUNTY:</b>	DOUGLAS COUNTY	<b>OCUPANCY SEPARATIONS:</b> (BC 503.4)		BUILDING IS NONSEPARATED.		
<b>CLIMATE ZONE:</b>	4A	<b>BUILDING ELEMENT FIRE RESISTANCE RATING TYPE I-B</b> (BC 503.4)		TABLE 601 602 (EXTERIOR WALLS)		
<b>FLOOD ZONE:</b>	LOW RISK CLASSIFICATION			A. STRUCTURAL FRAME	0 HR	-
<b>PROJECT DESCRIPTION:</b>	A COMBINATION OF SIX COMMERCIAL TENANT SPACES AND REMODELING FOR A NEW RETAIL TENANT			B. BEARING WALLS	0 HR	-
<b>BUILDING:</b>	EXISTING: GROUPS B, A-2, 4 M OCUPANCIES PROPOSED ADDITION: M - MERCHANTILE TYPE II-B CONSTRUCTION, NONSEPARATED FIRE SPRINKLERED			EXTERIOR	0 HR	*NO CHANGE
<b>APPLICABLE CODE:</b>	2010 INTERNATIONAL BUILDING CODE (IBC) 2012 INTERNATIONAL MECHANICAL CODE (IMC) OMAHA MUNICIPAL CODE 2010 OMAHA PLUMBING CODE (OPC) 2010 INTERNATIONAL EXISTING BUILDINGS CODE (IEBC) 2011 NATIONAL ELECTRICAL CODE (NEC) 2012 INTERNATIONAL FIRE CODE (IFC) 2012 LIFE SAFETY CODE			C. NONBEARING WALLS	1 HR (LESS THAN 10')	0 HR (GREATER THAN 10')
<b>BASIC ALLOWABLE BY OCUPANCY GROUPS:</b> (BC 504.3, 504.4, 506.2)	TYPE: M - MERCHANTILE ALLOWABLE HEIGHT: 55 FEET ABOVE GRADE PLANE, 2 STORIES (15', 1 STORY) ALLOWABLE AREA: 50,000 SF/FLOOR	<b>OCUPANT LOADS:</b>		D. NONBEARING INT. WALLS EXCEPT AS REQUIRED ELSEWHERE	0 HR	-
<b>ALLOWABLE AREA:</b> (BC 507.4)	UNLIMITED AREA ALLOWED IN 1-STORY, GROUP B, F, M, AND S OCUPANCIES, ANY CONSTRUCTION TYPE THAT ARE SPRINKLERED AND SURROUNDED BY 60' OPEN SPACE.			E. FLOOR CONSTRUCTION INCL. SUPPORT BMS/JOISTS	0 HR	-
<b>BUILDING HEIGHT AND AREA:</b>		<b>EXIT UNIT CALCULATIONS:</b>		F. ROOF	0 HR	*RATED FROM INSIDE ONLY WHERE SEPARATION IS GREATER THAN 10'-0" (BC 105.5)
EXISTING BUILDING HEIGHT:	15'-0" HIGHEST POINT					
EXISTING BUILDING AREA:	62,018 SF			RETAIL	16,002.04 / 60 = 266	
REMODELING OF EXISTING TENANT AREA:	21,910 NSF			STORAGE	4,699.23 / 300 = 16	
<b>ALLOWABLE BUILDING DATA:</b> (BC 506.3 FRONTAGE INCREASE)	(1.672/1.036-0.25)/60/30 = 2.72 AREA FACTOR INCREASE 50,000 X 2.72 = 136,000 50,000 + 136,000 = 186,000 SF TOTAL ALLOWABLE AREA	<b>FLUMBING FIXTURES:</b> (BC 2402.1)		UTILITY	384.06 / 300 = 1	
<b>AUTOMATIC SPRINKLER AND STANDPIPE PROTECTION:</b>	THIS BUILDING IS EQUIPPED WITH A PARTIAL AUTOMATIC SPRINKLER SYSTEM. THE SYSTEM WILL BE FULL EXPANDED AND COMPLETED.			OFFICE	530.53 / 150 = 4	
<b>BUILDING SETBACKS:</b>	EXISTING TO REMAN			RR/MOP	265.31	
				TOTAL	21,910 S.F.	284 OCC.

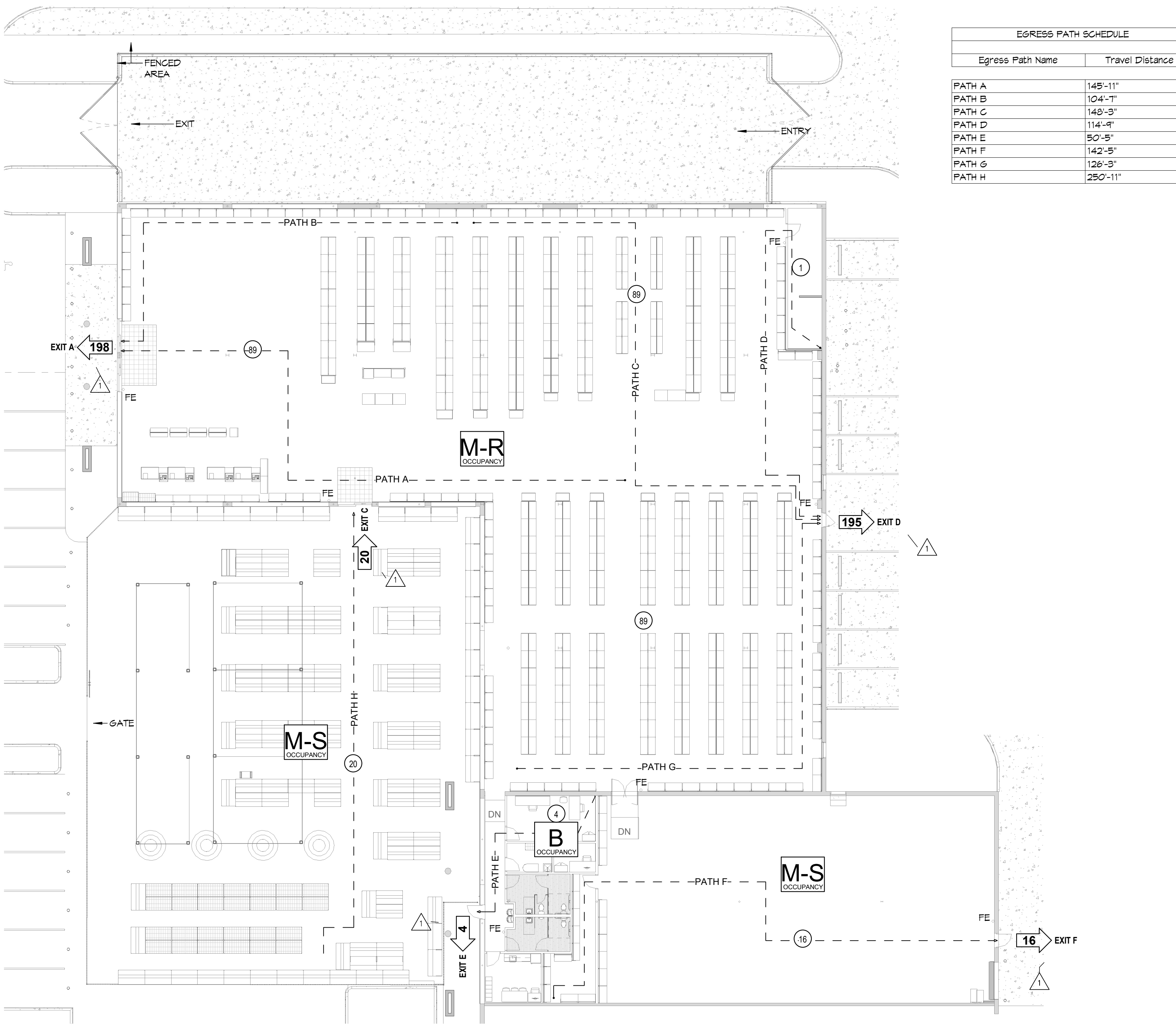
### SHEET SCHEDULE

<b>TITLE SHEETS</b>	<b>ARCHITECTURAL</b>	<b>MECHANICAL DESIGN / BUILD</b>
T1-0 TITLE SHEET & PROJECT DATA SPECIFICATIONS	A2-1 DEMOLITION PLAN & NOTES A3-1 FLOOR PLAN A3-2 ROOF PLAN & DETAILS A3-3 ENLARGED PLAN A4-1 REFLECTED CEILING PLAN A5-1 EXTERIOR ELEVATIONS A5-2 INTERIOR ELEVATIONS A10-1 SCHEDULES, DOOR & FRAME TYPES, WALL TYPES/ASSEMBLIES, DETAILS, ABBREVIATIONS	M1.1 FIRST FLOOR PLAN - MECHANICAL M1.2 ROOF PLAN - MECHANICAL M2.1 MECHANICAL DETAILS AND PLUMBING PLANS M3.1 MECHANICAL SCHEDULES M4.1 MECHANICAL SPECIFICATIONS
<b>CIVIL</b>	<b>STRUCTURAL</b>	<b>ELECTRICAL</b>
C0.0 COVER C0.1 REFERENCE PLAN C1.1 TOPOGRAPHICAL SURVEY/DEMOLITION PLAN C2.1 DIMENSION PLAN C3.1 GRADING PLAN C4.1 UTILITY PLAN L1.1 LANDSCAPE PLAN	S1-0 GENERAL STRUCTURAL NOTES S1-1 STRUCTURAL FLOOR PLAN AND NOTE S2-1 STRUCTURAL ROOF PLAN AND SECTIONS	E1-1 FLOOR PLAN - LIGHTING E2-1 FLOOR PLAN - POWER E3-1 FIRST FLOOR LIGHTING AND POWER PLAN

### CODE ANALYSIS LEGEND

<b>PATH A</b>	EGRESS PATH WITH NAME, SEGMENT LENGTH, AND DIRECTION INDICATED
<b>EXIT</b>	EXIT INDICATOR WITH NAME OF EXIT AND TOTAL OCCUPANTS EXITING INDICATED
<b>B</b> (OCUPANCY)	IBC OCUPANCY GROUP
<b>FE</b>	WALL MOUNTED BRACKET /V/ FIRE EXTINGUISHER. GC VERIFY QUANTITIES WITH FIRE MARSHAL.

EGRESS PATH SCHEDULE	
Egress Path Name	Travel Distance
PATH A	145'-11"
PATH B	104'-7"
PATH C	140'-3"
PATH D	114'-9"
PATH E	50'-5"
PATH F	142'-5"
PATH G	126'-3"
PATH H	250'-11"



Consultants

Certification



Date: 07/11/24  
 I, Alan J. Plutowski, am the Coordinating Professional on this Westgate Retail - ACE Hardware project.

Project Information  
**WESTGATE PLAZA  
 ACE HARDWARE**

3401 S. 84TH STREET  
 OMAHA, NE 68124

Revisions  
 CITY SUBMITTAL 07/11/24  
 1 05/30/24 TENANT REVISIONS  
 2 07/11/24 TENANT REVISIONS

Date: 03/12/2024  
 Drawn By: DM  
 Checked By: AS/DC  
 Job Number: 00324



Sheet Information  
 TITLE SHEET & PROJECT DATA

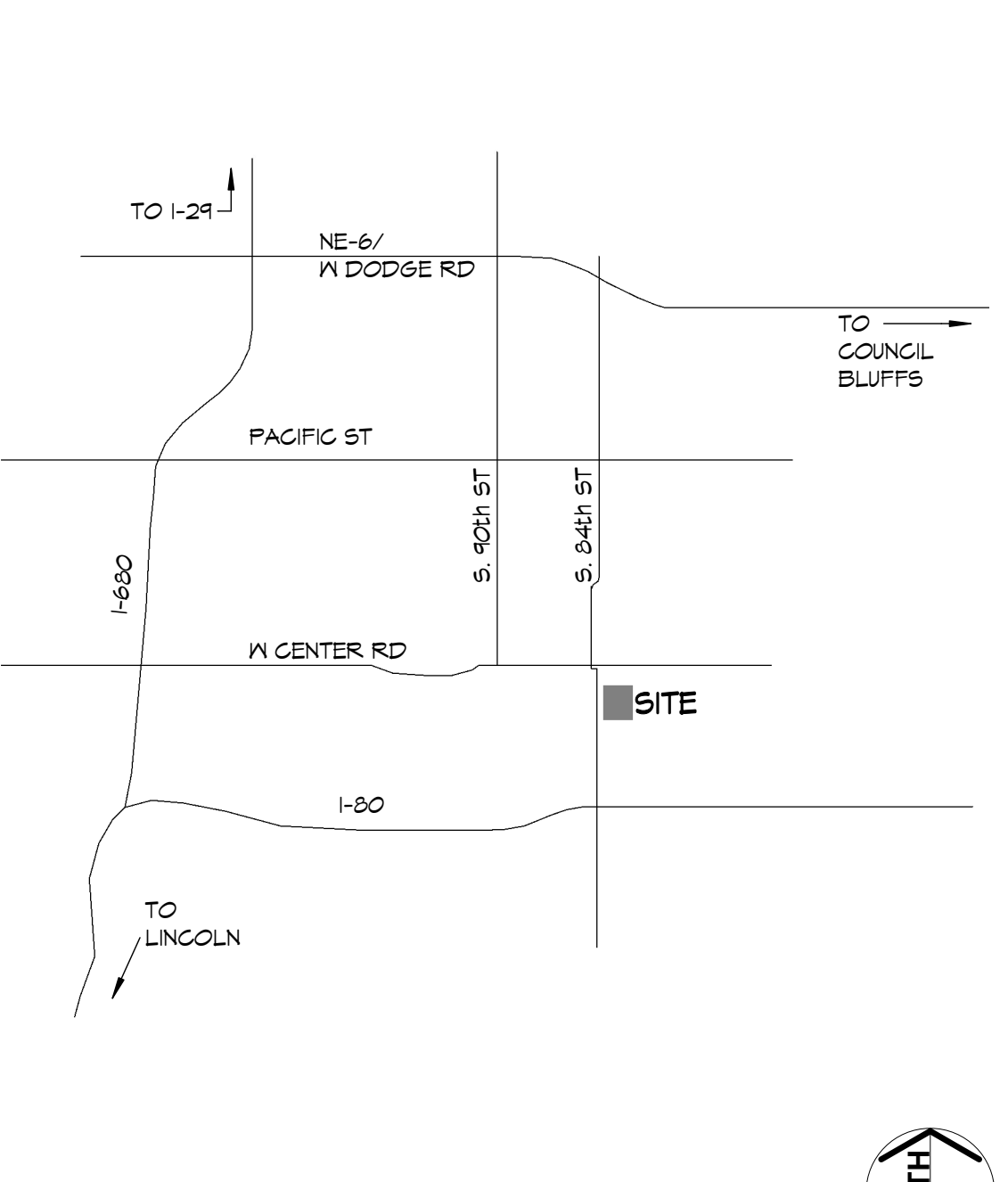
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T1-0

### PROJECT TEAM

<b>OWNER</b>	<b>AUTHORITY HAVING JURISDICTION</b>
DAKOTA REIT MANAGEMENT, L.L.C. 3303 32ND AVE. S. SUITE #250 FARGO, ND 58103 CONTACT: ROBERT RUSH, DIR. OF ASSET MANAGEMENT PHONE: 701-234-6978 EMAIL: rrush@dakotareit.com	CITY OF OMAHA PLANNING DEPARTMENT PERMIT & INSPECTIONS 1218 FARMHAY ST OMAHA, NE 68103-1100 PHONE: 402-444-9360 EMAIL: permit.info@cityofomaha.org CONTACT: ANNA BESPOFAYAN, BUILDING SUPERINTENDENT
<b>ARCHITECT</b>	<b>TENANT</b>
ALAN J. PLUTOWSKI ARCHITECT 4125 LAKELAND AVENUE N., SUITE 200 MINNEAPOLIS, MINNESOTA 55422 PHONE: 763-533-7171 CONTACT: AMY SCHWABE (EXT. 20) EMAIL: aschwab@plutowskiarchitects.com	WESTLAKE ACE HARDWARE 14000 MARSHALL DRIVE LENEXA, KS 66219 PHONE: 816-910-3050 CONTACT: JOE MEEKER
<b>CIVIL ENGINEER</b>	<b>MECHANICAL ENGINEER (BY DESIGN BUILD)</b>
CIVIL DESIGN ADVANTAGE 4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: 505-364-4400 CONTACT: NIKKI NEAL, ASLA EMAIL: nicolene@cd-a-eng.com	MORRISSEY ENGINEERING 4940 NORTH 118TH STREET OMAHA, NE 68164 PHONE: 402-491-4144 CONTACT: COLTON BAYLOR EMAIL: cbaylor@morriseyengineering.com
<b>STRUCTURAL ENGINEER</b>	
PERFORMANCE ENGINEERING 11811 FORT STREET, SUITE 104 OMAHA, NE 68164 PHONE: 402-343-9360 CONTACT: ROB WHORLEY, P.E. EMAIL: rwhorley@performancece.com	
<b>ELECTRICAL ENGINEER</b>	
MORRISSEY ENGINEERING 4940 NORTH 118TH STREET OMAHA, NE 68164 PHONE: 402-491-4144 CONTACT: NICK MANNING, CTS EMAIL: nmanning@morriseyengineering.com	

### LOCATION PLAN



1 T1-0 1/16" = 1'-0"



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**1. GENERAL REQUIREMENTS**

- a. Exterior storefront/sign backdrop is required as "focal" point over main store entrance/exit. 18x Individual Channel Letter Sign (by owner) to be installed over EFS backdrop w/ faux Trex "Spiced Rum" picket detail. Lighting required specified in this "Electrical-Exterior Signs" section of this document. Typical storefront finishes: standing seam roof panels in Firestone "Silver Metallic", corrugated wall panels UC-601 in Firestone "Acrylume" and sealed split face CMU.
- b. Receiving dock shall be at grade with a 9'-0"H x 8'-6" W insulated coil-over w/manual chain operator and slide locks dock door.
- c. Outside seasonal sales area to be located on the west building side. Seasonal sales area floor to be concrete finished at grade, front sidewalk, and parking lot. Seasonal sales area will be fenced with Ameristar Montage Plus Classic Style fence or similar to be 8' tall. Fence will be gated with two minimum 6' openings at front of store for access to parking lot and an 8' gate at rear to allow forklift access to the area. All gates are to be cantilever style. A swing style 4ft gate will be provided from seasonal sales area to pallet goods sales location. Lighting shall be as specified in "Electrical-Lighting" section of this document.
- d. Provide an interior illuminated monument sign base set up for the sign assembly TT will place.

**2. CONCRETE/MASONRY**

- a. Sidewalk to have zero-entry (no curb) at main entry/exit and handicap parking with bollards for crash protection. The handicap parking that is placed on either side of this zero entry shall have covered bollards for the ADA sign installations. The galvanized square sign post will extend out of the concrete filled bollard through a neatly cut hole in the bollard cover.
- b. All dock and truck traffic areas, as well as the pallet goods space, shall be min 6" concrete.
- c. Provide 6" diameter pipe bollards at receiving dock overhead door, lawn & garden area, and all exposed building corners. Install bollard covers on all customer facing bollards - Reliance Foundry grey w/red reflective stripes (or approved similar). Provide protection posts at exposed downspouts.
- d. Provide concrete slab for propane tank. Size and location to be as shown - ±320sqft of concrete and a maximum of 14 pipe bollards. Concrete shall be 6" with thickened slab to 36" at the base of the propane tank.
- e. Provide thickened slab for sufficient anchoring of the shade structure in seasonal sales area - 9 anchors typically.
- f. Provide 6" thick concrete slab in pallet sales area, garden area and east parking area as shown. Slope for drainage. See civil engineer's drawings.
- g. Provide custom-profile cast-in-place concrete bumper curb along the building in the pallet sales area as shown and detailed.
- h. **MASONRY**
  - i. Provide concrete block or brick infill at storefront window replacement infill areas as shown and detailed. Note alternates described and provide a separate cost.
  - j. Provide a unit cost for tuckpointing of the existing masonry to remain.

**3. EXTERIOR FINISH SYSTEM**

- a. Exterior insulation and finish system as shown in designated infill areas of the exterior walls.

**9. HVAC**

- a. Units(s) should be roof mounted with insulated ducts preferred gas-fired or electric. If no natural gas availability, RTUs should have hail guards, economizers, and smoke detectors (if required by code). Minimum one (1) ton per 350 non-stock square feet.
- b. Units shall be sized to maintain not less than 70 degrees F. for an outside design temperature of -10 degree F. and 10% fresh air intake and 72 degree F. with 100% relative humidity at ambient outdoor temperature of 95 degrees F.
  - Provide 7-day programmable setback thermostats with a lock-out feature, tenant's project manager to determine locations. Sales floor thermostats are typically on columns.
  - Office areas are to have a separate RTU system with thermostat.
  - Provide additional supply to the cash register area.
- c. Stockroom should have a suspended gas fired heater sized for the room's area and a thermostat located by the tenant project manager (Reznor "B" model or similar)
- d. Provide a high volume exhaust fan in the service area (typically wall mounted w/ 3-speed switch). Install all conduit and boxes required for thermostats installed with a neat installed appearance.

**10. ELECTRICAL**

**Requirements:**

- a. Electrical service to typically be 120/208 volt, 3 phase 4 wire, 600 amp minimum.
- b. Business class broadband service must be available to the building.
- c. Separate overhead duct or cable raceway required for low voltage line.
- d. Office Power - 2 isolated ground circuits with 2 quad and 1 duplex receptacles, 1 circuit with 5 duplex receptacles.
- e. Break Room - 1 isolated ground circuits with two duplex receptacles, 3 circuits with 4 duplex and 1 quad receptacles (includes switched receptacle for disposer)
- f. Sales Floor Walls- 1 IG & 4 dirty circuits with 14 duplex receptacles
- g. Provide separate conduit or dual channel power pole drops to conceal cabling/power from above ceiling space to any column/counter-mounted equipment. All wiring and cabling to be dropped from ceiling, not in floor. Typically 4 Wiremold DTP415 GRAY are utilized and approximately 15 conduit drops. (circuit/receptacle counts are noted below)
- h. Stock Room & Service - 1 isolated ground circuit with 2 quad receptacles, 3 circuits with 9 duplex receptacles
- i. Restroom - 1 ground fault duplex per restroom and one at the mop sink (one circuit)
- j. Overhead conduits or cable trays can be deleted for low voltage phone/computer cabling if code allows wires to run exposed.
- k. 2-120v 20amp dedicated circuits to building front required with photo cell and a 7-day programmable time clock control, verify additional exterior sign lighting requirements with tenant project manager. Install an override switch for maintenance needs.
- l. Doors - Provide electrical service above door header for automatic doors and receptacles over the transom glass for lighted signs.
- m. Provide GFI weatherproof duplex receptacles at exterior front, throughout the garden center and rear of building. (10 receptacles on 4 circuits)
- n. Explosion-proof electrical circuit to Propane filling station and emergency shut-off on the exterior of the building.
- o. 120v 20amp GFI weatherproof duplex receptacles (2 per 1,000 sq. ft.) in outside seasonal sales area.
- p. Direct wire the exhaust fans for the service and restrooms. Restroom fans should be controlled with the room lighting.
- q. Provide power for the irrigation control box

- r. Direct wire the Burglar and Fire panels
- s. Wire the egress doors with the delayed option
- t. Make the final connections for the monument sign installed by TT

**Sales Area Displays & Mounted Power Requirements:**

- a. Fixture (Shelving) Equipment Receptacles
  - Provide wall mount duplex receptacles for wall fixtures as shown on plan. Duplex receptacles are mounted in the fixture and wired into the wall box with an MC whip. Verify receptacle height and locations from the electrical plan.
- b. Gondola units - ceiling mount junction box above island fixtures as shown on plan or as per retailer. Drop conduit from ceiling junction box down to top of fixture. Bend a 90 degree radius and run on top of the fixture strapping to the top cap as required. Mount a steel handy box with a 20amp, 120volt duplex receptacle facing up at the desired location. If a gondola has receptacles extending both directions down the gondola from the drop point a junction box can be set in lieu of the radius bend. Verify final electrical dropped locations with electrical plan. These devices will add up to approximately 2 isolated ground circuits with 2 quad and 1 duplex receptacles, 12 circuits 0 quad and 31 duplex receptacles. This count includes 5 receptacles at the ceiling for Westlake supplied cord reels that should be installed by LL.

Several of these drops need to be tied into the lighting controls if the lighting is 120v. If lighting is 277, then utilize separate contactors to control these areas.

- Paint chip displays
- LED tool headers (drop has 24hr circuit needed as well)
- LED strips in sales floor valences (STHL runs with a tablet and/or video player require 24hr as well)
- The shelved and suspended Edison lamp and lighting displays
- Fan & heater receptacles
- Seasonal gondola receptacles
- All drop cord reel receptacles
- b. Provide20 amp duplex receptacle on each interior column (may not be required on each column - pending the final merchandising plan. Mount duplex receptacle to code at typical height. Verify the positioning of the column mounted receptacle with the fixture plan and tenant project manager.
- c. Point of sale (POS) checkout counters/service counter- provide one standard 120v 20amp duplex receptacle and one 120v 20amp quad receptacle with isolated ground per register location for a total of 2 IG and 2 dirty circuits.

**Lighting (see reference plan)**

- a. Sales area lighting level to be targeted at 100 foot-candle at 5'. Must meet local energy usage requirements based on municipality.
- b. Light fixtures: Lithonia TZLIN L96 10000LM FST MVOLT 40K 80CRI WH (4ft fixtures may be require to fit tight areas or finish rows. Appropriate hangers for open or acoustical ceilings will be required at 2 per fixture. Provide for after hours security lighting in sales area and stock/receiving. All remaining sales, stock/receiving, as well as 50% of the wall pack and soffit lighting should be controlled by a master switch and contactors. Switch to be located in the operations office. Lighting on sales floor to be at 45 degrees to side walls - max 10ft on center
- c. Offices, break room and corridor lighting to be 70 foot-candles (minimum); provide troffer fixtures: Lithonia ZGTL 4 48L E21 LP840 Restroom lighting to be surface mount low profile wrap-around: Lithonia SBL4 48LEZ1\_LP840 if hard lid ceiling (or troffers if acoustical system)

- f. Interior office and restroom doors are to be solid core wood with metal jambs and closers with the "hold-open" function. Minwax "Slate" stain with a Minwax "Polyuretic" satin is the preferred finish. The Break room door shall have a half-lite. All locksets should be stainless ADA compliant lever style. Lock Functions: Multi-user Restrooms - Push/Pull, Operations Office & Cash room - Storeroom Function, Managers Office - Entrance/Office Function.
- g. One 4"x4" one-way glass window w/ steel frame (matching the interior doors) is required in the operations office.
- h. Storefront: anodized aluminum thermal-separation with solar-tinted insulated glass, tempered to meet code.

**7. FINISHES**

**Ceiling systems:**

- a. The Sales area ceiling system is to be open with all joist work, deck, and utilities exposed. Sales area: paint all exposed sales area ceiling components including beams, joists and decking with dryfall coating - color to be confirmed by tenant (light gray). If the deck is galvanized or gray in color and the structural steel is finished in foundry gray, then painting can be reduced to just touch-up and natural finishes. The electrical and HVAC equipment/ducting can remain the natural finish.
- b. Offices, Hallway: Provide Armstrong 2910A 2' x 4' acoustical ceiling tile and a 15/16" suspension system at the height shown.
- c. Stock/receiving area, Service area, Utility room: ceiling is open with natural finishes.

**Floor treatments:**

- a. Sales Floor, Break room, Hall: Diamond polished ground hardened finished concrete. During polishing process, apply Proscoco LS densifier and after polishing, apply Proscoco Polish Guard per manufacturer's instruction. Install black 5" vinyl base only where walls are not covered by shelving. Stock/Receiving Areas, and Service Area: Exposed concrete sealed by the application of Proscoco densifier. No vinyl base is required. Restrooms: Porcelain floor tile with porcelain tile extending up the walls to just over the light switches. The Tile Shop- Dyewood Sage 1550mm (wood look planks) The wall terminations and floor transitions should be the appropriate cosmetic profile and the floor stock should be ADA compliant. (aluminum)
- b. Offices, Breakroom: LVT; provide samples & allowances.
- c. Vestibule or Entry Area: First ±10'x door area or vestibule width using Mats Inc. Diagonal Tile "Beige" installed quarter turn with Release-Bond adhesive. Install 2-3/4" aluminum transition edge to surrounding floor surfaces.

**Wall finishes, painting and decorating:**

- a. Apply 5/8" sheetrock to all interior walls (Sales area, Offices, Restrooms, Corridor, and Break room). Sand, prime and finish for all areas not covered by fixtures. If any sales walls are clean masonry block surface, then block seal and a top coat of eggshell paint will be an acceptable finish.
- b. Sales Floor wall colors to be approved by tenant's project manager - two coats of latex eggshell finish. Walls can include combinations of four colors. With a 5" trim color for jambs and frames.
- c. Interior doors, frames, trim, and columns to be primed and finished with semi-gloss enamel.
- d. Offices, Stock/receiving area and Service area to be painted w/ two coats of latex eggshell. Install 1/2" unpainted plywood on designated stud walls in the Stock/receiving area in lieu of sheetrock.

- d. Stock/receiving and utility room lighting to be 50 foot-candles (minimum); Lithonia TZLIN L96 10000LM FST MVOLT 40K 80CRI WH (4ft fixtures may be require to fit tight areas or finish rows. Appropriate hangers for open or acoustical ceilings will be required at 2 per fixture.
- e. Provide and install emergency lighting and exit signs/lights as required by code.
- f. Exterior flood light required above rear receiving door, and over storage areas. 50% controlled by photocell and the remaining controlled by photocell and timer as storefront sign lighting. Provide a photocell override switch for service needs. Only LED fixtures allowed
- g. Soffit Lighting: Cree fixtures with trim ring as required CPY250-A-DM-D-B-UL-WH
- h. Provide lighting for outside seasonal sales area. Typically wall pack lighting controlled 50/50 as above along with wash from lot pole lighting.
- i. Sign Lighting will be Abolite RLM fixtures with Satco S2750 LED lamps (RLM head: AD200-INC-120-GBK-LDS96WL, Arm/base: GB-P-3-GBK & Nursery sign Arm/base-GB-D-3-GBK)
- j. Propane fill station needs adequate coverage from wall pack or pole lights. If that is not feasible, then add a dedicated light source to that fill station - must be explosion proof.
- k. Provide and install LED strip lights into Westlake supplied and installed shelving valance. This is typical for the STHL sales & service areas as well as the BBQ shelving, (approximately 22-8ft and 2-4ft fixtures. These should be controlled with the sales floor lighting master switch.
- l. Provide and install an 8ft vapor-tight LED fixture in the front 20ft x 20ft section of the shade structure. (Williams 96-8-166/850-HA-FR-DIM-UVN or approved similar) Installation will require a 20ft x 1-5/8in x 1-5/8in galvanized Unistrut and two end anchors for spanning truss assembly. (this assumes an overall 20ft x 60ft structure - If the final plan shows a 40ft, or two sections, wide then double the items listed above)

**11. Computer Equipment Cabling**

**Property must have Multiple Carrier Internet Ingress**

- a. All computer equipment to be provided and installed by retailer. Data cabling, conduit runs, boxes, terminations, and port wall plates to be provided and installed by LL.
- b. Use Cat-5 or better low voltage cable for all computer (data) lines.
- c. CAT 5 Cable run terminations to be located:
  - 2 at customer service counter
  - 9 in offices
  - 1in break room (training pc)
  - 2 in service area (Citrix terminal & future STHL PC/Laptop)
  - 3 at paint mixing area
  - 1 located in Sales floor ceiling per plan (antenna -scan access point)
  - 1 located inside exterior wall adjacent to Garden Center (external antenna)
  - 4 runs to Elec/Telco area (extended frame, extended dsj, music & extended phone)
  - All CATS runs should terminate at a patch panel located near the D-MARC. (This is typically located adjacent to the electrical panels and will require a ¾" x 4" x 8" mounting board) Patch panel required.

**12. TELEPHONE EQUIPMENT**

- a. All phone equipment to be provided and installed by retailer. Voice cabling and, conduit runs and boxes by General Contractor. All terminations and port wall plates will be provided by a vendor contracted directly to Westlake.
  - b. Use Cat-5 or better low voltage cable for all phone (voice) lines.
  - c. CAT-5 phone runs to be located:
    - 1 at each checkout counter (3 total)
    - 1 at customer service counter
    - 3 in offices (1 manager, 1 fax & 1 phone - operations)
    - 1 in service area
    - 1 in receiving/storage
    - 4 column mounts (max) throughout sales area for phone locations
    - All phone lines terminate at the Elec/Telco location on the plans
  - d. Patch panel required

**13. SECURITY EQUIPMENT**

- a. Confirm security system electrical requirements with tenant project manager. Burglar alarm, 16 channel closed circuit TV, to be provided and installed by owner.
- b. Provide and make all CAT5 cable runs for camera system. (15 total terminating on data/telco plywood). Patch panel required.

**14. MUSIC/PAGING**

- a. Install the music paging speakers, volume controls and wiring with all terminations at the Data Telco mounting board. Westlake will provide a layout and materials specification for the project. Westlake will contract with Sound Products for the monthly service. Westlake would prefer the LL use our existing service provider - Sound Products

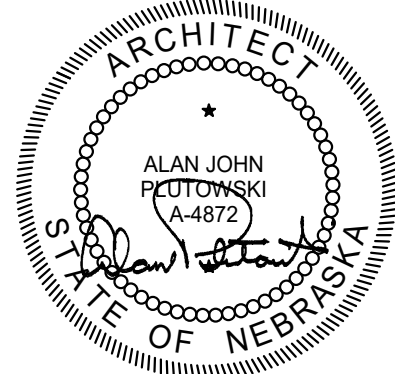
**15. MISCELLANEOUS:**

- Toilet Partitions: Solid phenolic, floor supported with wall bracing.
- Toilet Accessories: Bobrick, Bradley or equal, surface mounted, brushed chrome finish.
- All shelving shall be furnished and installed by the tenant.
- All furniture shall be furnished by the tenant and installed by the general contractor.
- Provide Danback wood blocking in designated areas.
- Provide Prefinished Barnwood product from Home Depot over ½" CDX plywood sheathing in designated areas behind the POS Station area.
- Provide 16' long x 4' deep Canvas Awning on Aluminum wall-mounted framing with bottom at 10'-0" at Dock/Access door - see plan. Provide color samples to Tenant.
- Garden Center Fence shall be Ameristar Montage plus Classic style 8' high with cantilever style gates as shown. All posts shall be set in concrete. All work shall be per Manufacturer's Strictest Recommendations.

**Hardware Groups**

- 1. **Sliding Doors**  
Complete Sliding Door Package- Power Operator, Motion-Activated  
See notes: with Strike-Guard, Cylinder-Keyed Both Sides
- 2. **Office Breakroom**  
1-1/2 Pair Butt Hinges  
1 Wall Stop  
1 Lever Handle Office Lockset  
1 Keyed Entry  
1 Closer with Hold-Open  
1 Air Louver- vsJ Slimline 6x27, Blk - Breakroom Only  
1 Peephole - Omit at Breakroom
- 2A. **Cash Office**  
Sim to 2, but Storage Lockset
- 2B. **Mop Room**  
Sim. to 2, but no Closer, Peephole
- 3. **Restrooms**  
1-1/2 Pair Butt Hinges  
1 Wall Stop  
1 Push Pad  
1 Pull Bar with Scratch Plate  
1 Closer with Hold-Open Feature  
1 Kickplate
- 4. **Egress**  
1-1/2 Pair Butt Hinges  
1 Panic Exit Device  
1 ADA Threshold  
1 Gasket  
1 Buzzer
- 5. **Secure Storage**  
1-1/2 Pair Butt Hinges  
1 Wall Stop  
1 Lever Handle Storage Lockset  
1 Closer with Hold-Open
- 6. **Stockroom Egress**  
1-1/2 Pair Butt Hinges  
1 Panic Exit Device - Detex V40 EB  
1 Keyed Entry  
1 ADA Threshold  
1 Sweep  
1 Gasket  
1 Drip Cap  
1 Buzzer  
1 Closer with Hold-Open Device  
1 Peephole
- 7. **Ceiling Overhead Delivery**  
Complete Package as Noted, Chain Operated with Chain-Keeper/Lock, Slide Locks
- 8. **Common Electrical**  
1-1/2 Pair Butt Hinges  
1 Lever Handle Storage Lockset  
1 Closer with Hold-Open
- 9. **Pair Double-Acting**  
Complete Package with Vision Panel as Noted.

**Certification**



Date: 07/11/24

I, Alan J. Plutowski, am the Coordinating Professional on this Westgate Retail - ACE Hardware project.

**Project Information**

**WESTGATE PLAZA  
ACE HARDWARE**

3101 S. 84TH STREET  
OMAHA, NE 68124

**Revisions**

1 05/30/24 TENANT REVISIONS

Date: 03/12/2024  
Drawn By: BG  
Checked By: AS/DC  
Job Number: 00324

**Sheet Information**

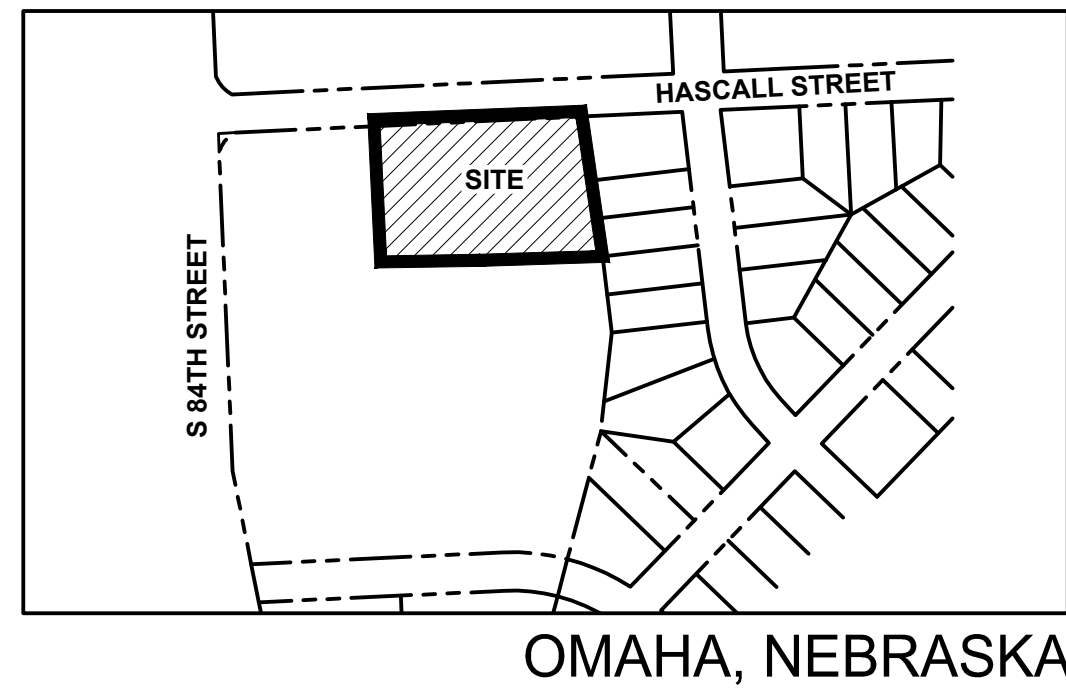
**SPECIFICATIONS**



# SITE PLAN FOR: WESTGATE PLAZA - ACE HARDWARE

## OMAHA, NEBRASKA

### VICINITY MAP NOT TO SCALE



### OWNER

DAKOTA UPREIT LIMITED PARTNER  
3003 32 AVENUE, SUITE 250  
FARGO, ND 58103

### ENGINEER

CDA ENGINEERING, LLC  
4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
CONTACT: NIKKI NEAL  
EMAIL: NICOLEN@CDA-ENG.COM  
PH: (515) 369-4400

### SURVEYOR

HUSKER SURVEYING  
4535 NORMAL BLVD  
LINCOLN, NE 68506  
CONTACT: JAYME MALONE  
EMAIL: JAYME@HUSKERSURVEYING.COM  
PH: (402) 423-5202

### ARCHITECT

TWP ARCHITECTS  
4125 LAKELAND AVENUE N, SUITE 200  
MINNEAPOLIS, MN 55422  
CONTACT: DAN CAYEMBERG  
EMAIL: DCAYEMBERG@TWPARCHITECTS.COM  
PH: (763) 533-7171

### SUBMITTAL DATES

FIRST SUBMITTAL: 04/26/2024  
SECOND SUBMITTAL: 07/02/2024  
ZONING BOARD OF APPEALS: 07/20/2024  
PERMIT SUBMITTAL: 07/24/2024

### TITLE DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF DOUGLAS, STATE OF NEBRASKA, AND IS DESCRIBED AS FOLLOWS:  
LOT 985, WESTGATE, A SUBDIVISION IN DOUGLAS COUNTY, NEBRASKA.

### ZONING

CC-FF - COMMUNITY COMMERCIAL/FLOOD FRINGE DISTRICT  
CC - COMMUNITY COMMERCIAL DISTRICT

### PROJECT SITE ADDRESS

3457 SOUTH 84TH STREET  
OMAHA, NEBRASKA 68124

### EXISTING/ PROPOSED USE

EXISTING: MULTI-TENANT RETAIL CENTER  
PROPOSED: MULTI-TENANT RETAIL CENTER

### DEVELOPMENT SUMMARY

<b>AREA:</b>	8.25 ACRES (359,473 SF)
<b>ZONING:</b>	COMMUNITY COMMERCIAL DISTRICT
<b>SETBACKS</b>	
FRONT:	25 FEET
STREET SIDE:	15 FEET
INTERIOR SIDE:	NONE
REAR:	15 FEET
<b>PARKING REQUIRED</b>	
MULTI-TENANT RETAIL CENTER (85,819 SF/250 SF):	343 SPACES
MEDICAL OFFICE (14,722 SF/200 SF):	74 SPACES
OUTDOOR SALES (16,064 SF/2,000 SF):	8 SPACES
RESTAURANT (228 CAPACITY) (1/4 SEATS):	57 SPACES
AUTOMOTIVE REPAIR (4 X CAPACITY):	12 SPACES
RESTAURANT (2,770 SF/40 SERVICE SF):	28 SPACES
	522 SPACES*
*5% PKNG REDUCTION FOR PUBLIC TRANSIT ACCESS:	22 SPACES
UPDATED REQUIRED PKNG:	500 SPACES
PROVIDED:	518 SPACES
<b>OPEN SPACE</b>	
REQUIRED:	53,921 SF (15%)
EXISTING:	30,233 SF (8%)
PROVIDED:	35,484 SF (10%)

### DATE OF SURVEY

04/01/2024

### BASIS OF BEARINGS

- NORTH 87°19'27" EAST, BEING NORTH LINE OF LOT 732 OF WESTGATE SUBDIVISION, DOUGLAS COUNTY, OMAHA, NEBRASKA.

### INDEX OF SHEETS

NO.	DESCRIPTION
C0.0	COVER SHEET
C0.1	REFERENCE PLAN
C1.1	TOPOGRAPHIC SURVEY/DEMOLITION PLAN
C2.1	DIMENSION PLAN
C3.1	GRADING PLAN
C4.1	UTILITY PLAN
L1.1	LANDSCAPE PLAN

### GENERAL LEGEND

PROPOSED	EXISTING
PROPERTY BOUNDARY	SANITARY MANHOLE
SECTION LINE	WATER VALVE BOX
CENTER LINE	FIRE HYDRANT
RIGHT OF WAY	WATER CURB STOP
BUILDING SETBACK	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
STORM INTAKE	STORM SEWER DOUBLE INTAKE
STORM INTAKE	FLARED END SECTION
STORM INTAKE	DECIDUOUS TREE
STORM INTAKE	CONIFEROUS TREE
STORM INTAKE	DECIDUOUS SHRUB
STORM MANHOLE	CONIFEROUS SHRUB
SANITARY MANHOLE	ELECTRIC POWER POLE
STORM/SANITARY CLEANOUT	GUY ANCHOR
WATER VALVE	STREET LIGHT
FIRE HYDRANT ASSEMBLY	POWER POLE W/ TRANSFORMER
SIGN	UTILITY POLE W/ LIGHT
DETECTABLE WARNING PANEL	ELECTRIC BOX
WATER CURB STOP	ELECTRIC TRANSFORMER
SANITARY SEWER	ELECTRIC MANHOLE OR VAULT
SANITARY SERVICE	TRAFFIC SIGN
STORM SEWER	TELEPHONE JUNCTION BOX
STORM SERVICE	TELEPHONE MANHOLE/VAULT
WATERMAIN WITH SIZE	TELEPHONE POLE
WATER SERVICE	GAS VALVE BOX
SAWCUT (FULL DEPTH)	CABLE TV JUNCTION BOX
SILT FENCE	CABLE TV MANHOLE/VAULT
USE AS CONSTRUCTED (UAC)	MAIL BOX
MINIMUM PROTECTION ELEVATION (MPE)	BENCHMARK
FINISH FLOOR ELEVATION (FFE)	SOIL BORING
	UNDERGROUND TV CABLE
	GAS MAIN
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE



### UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.



## CDA ENGINEERING

4121 NW URBANDALE DRIVE, URBANDALE, IA 50322  
PH: (515) 369-4400  
PROJECT NO. 2403.225

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.



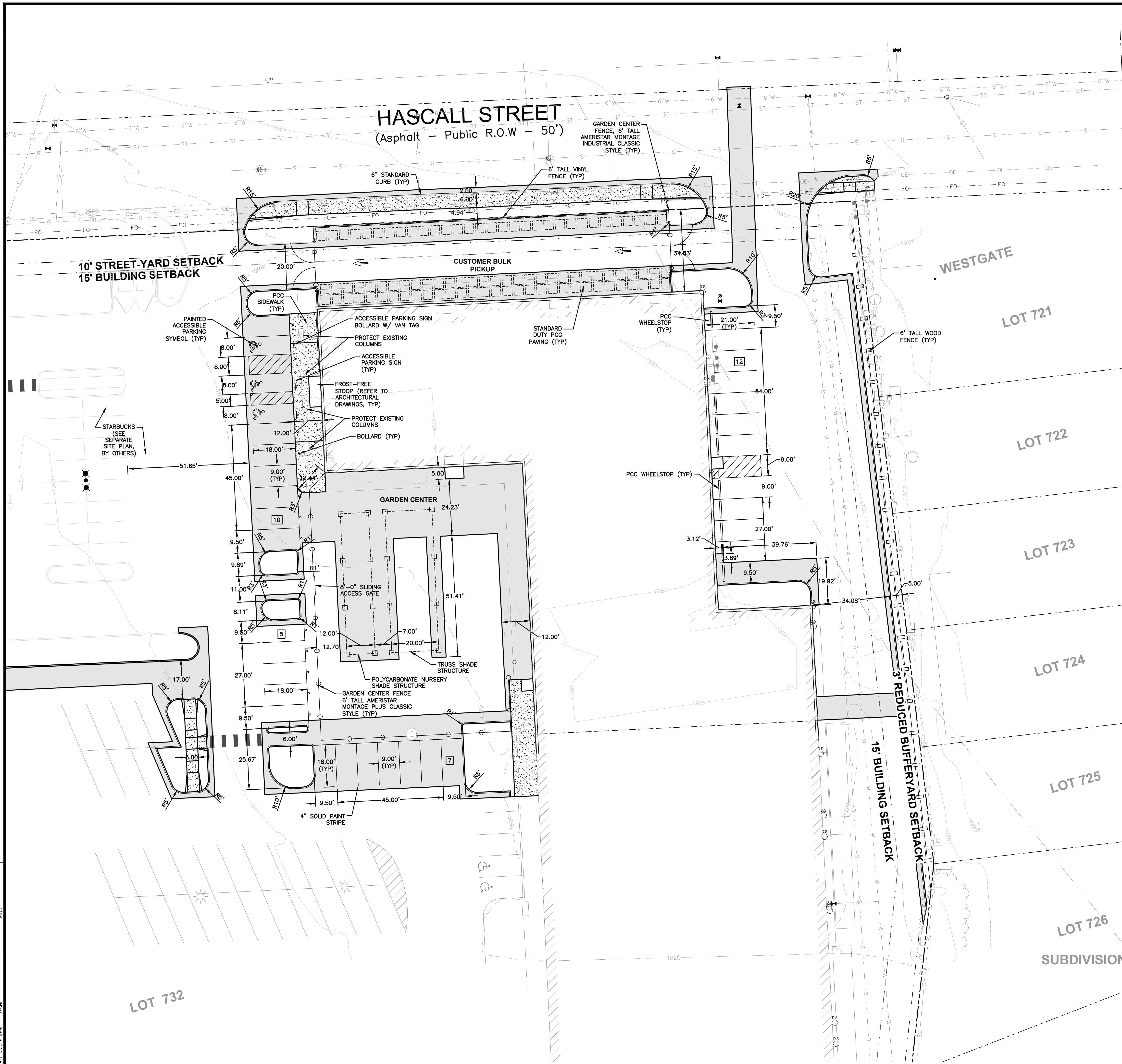












**GENERAL NOTES**

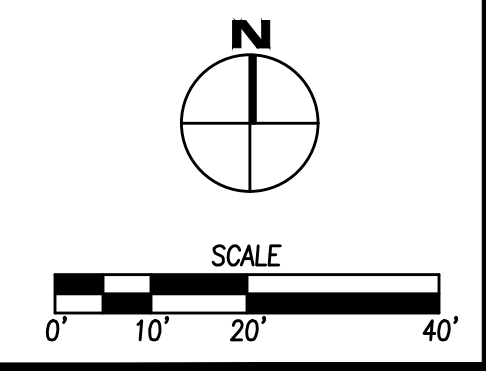
1. ALL PROJECT PROCEDURES, MATERIALS, BONDS AND RESERVES SHALL CONFORM TO THE CITY OF OMAHA'S STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2020 EDITION ("STANDARD SPECIFICATIONS"). IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE AWARE OF THE CONTENTS OF THE STANDARD SPECIFICATIONS. THE STANDARD SPECIFICATIONS CAN BE FOUND AT: [HTTPS://PUBLICWORKS.CITYOFOMAHA.ORG/CONTRACTORS-CONSULTANTS2/CONTRACTORS/STANDARD-PLATES-CURB-RAMPS-AND-SPECIFICATIONS](https://publicworks.cityofomaha.org/contractors-consultants2/contractors/standard-plates-curb-ramps-and-specifications)
2. REFERENCES TO "STANDARD PLATES" REFERS TO THE CITY OF OMAHA'S 2020 STANDARD PLATE LIST. THESE STANDARD PLATES CAN BE FOUND AT: [HTTPS://PUBLICWORKS.CITYOFOMAHA.ORG/2018-STANDARD-PLATE-LIST](https://publicworks.cityofomaha.org/2018-STANDARD-PLATE-LIST)
3. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES AND PAVEMENT WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED SATISFACTORY TO THE OWNER AND OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.
4. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS. ANY REVISIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE DESIGNER.
5. CONSTRUCTION MAY REQUIRE THE DISTURBANCE OF EXISTING DRAINAGE AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL MAKE THEMSELVES AWARE OF THE EXISTING DRAINAGE AND EROSION CONTROL MEASURES PRIOR TO BIDDING THIS WORK. A COPY OF THE GRADING AND EROSION CONTROL PLAN OMA-20140825-2710-0P1 IS AVAILABLE FOR REVIEW AT THE OFFICE OF THE DESIGNER AND INSPECTOR. THE FUNCTION OF THESE ITEMS MUST BE MAINTAINED THROUGHOUT CONSTRUCTION WITH EMPHASIS PLACED ON RESTORING THEIR INTEGRITY PRIOR TO ANY RAINFALL EVENT. EROSION CONTROL IMPROVEMENTS HAVE BEEN CONSTRUCTED ON THIS SITE, INCLUDING TERRACES, SILT FENCING, AND TEMPORARY SEDIMENT BASINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPT RECONSTRUCTION OF ANY EROSION CONTROL IMPROVEMENTS DISTURBED BY HIS OPERATIONS. ALL DISTURBED EROSION CONTROL IMPROVEMENTS SHALL BE FULLY RECONSTRUCTED AT THE END OF EACH WORKING DAY PRIOR TO LEAVING THE SITE.
6. ELEVATIONS ARE REFERENCED TO U.S.G.S. DATUM.
7. THE CONTRACTOR SHALL ADHERE TO GOOD HOUSEKEEPING BEST MANAGEMENT PRACTICES AT ALL TIMES. GOOD HOUSEKEEPING BEST MANAGEMENT PRACTICES FOCUS ON KEEPING THE WORK SITE CLEAN AND ORDERLY WHILE HANDLING MATERIALS AND WASTE IN A MANNER THAT ELIMINATES THE POTENTIAL FOR POLLUTANT RUNOFF.
8. THE CONSTRUCTION DOCUMENTS (E.G., CONTRACT, BOND, INSURANCE, SPECIFICATIONS, AND CONSTRUCTION PLANS) ARE ESSENTIAL AND A REQUIREMENT IN ONE PART IS AS BINDING AS THOUGH OCCURRING IN ALL. THUS, THE CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY IN NATURE. THE DOCUMENTS DESCRIBE AND PROVIDE THE COMPLETE CONSTRUCTION PROJECT. THE CONTRACTOR MAY NOT TAKE ADVANTAGE OF ANY APPARENT CONSTRUCTION PROJECT ERRORS OR OMISSIONS. THE CONTRACTOR SHALL NOTIFY THE INSPECTOR PROMPTLY OF ANY OMISSIONS OR ERRORS. IN THE CASE OF A DISCREPANCY BETWEEN PARTS OF THE CONSTRUCTION DOCUMENTS, THE MOST STRINGENT CONSTRUCTION METHODOLOGY SHALL RULE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THEIR WORK WITH THE ENGINEER IN REQUESTING LINE STAKES AND GRADES. THE OWNER WILL NOT BE RESPONSIBLE FOR DELAYS DUE TO LACK OF GRADES OR LINE STAKES.
10. THE CONTRACTOR SHALL BE CHARGED FOR REPLACING CONSTRUCTION STAKES AND LOT PINS WHICH ARE DESTROYED BY HIS OPERATIONS.
11. THE CONTRACTOR SHALL PLACE SILT FENCE AS SHOWN AND AS DIRECTED BY THE ENGINEER TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE.
12. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
13. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
14. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
15. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
16. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
17. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
18. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
19. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
20. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
21. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
22. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
23. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
24. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
25. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
26. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
27. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
28. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
29. ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

**PAVEMENT THICKNESS**

1. SIDEWALKS	4" P.C.C.	
2. STANDARD DUTY PAVING	6" P.C.C.	

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 PLOTTED BY: NICKOLE NEAL

DATE: \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_  
 4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400  
 FAX: (515) 369-4410  
  
**WESTGATE PLAZA - ACE HARDWARE**  
 DIMENSION PLAN  
 OMAHA, NE  
 3457 S. 84TH ST.  
 DATE: 07/24/2024  
 SHEET NUMBER: **C2.1**  
 2403.225

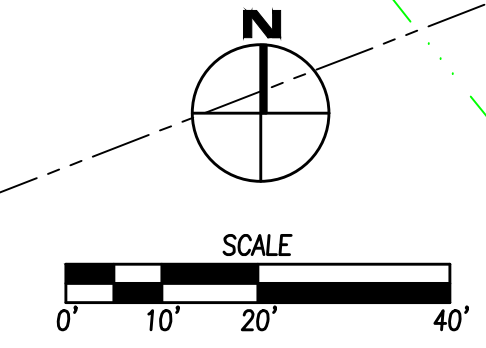
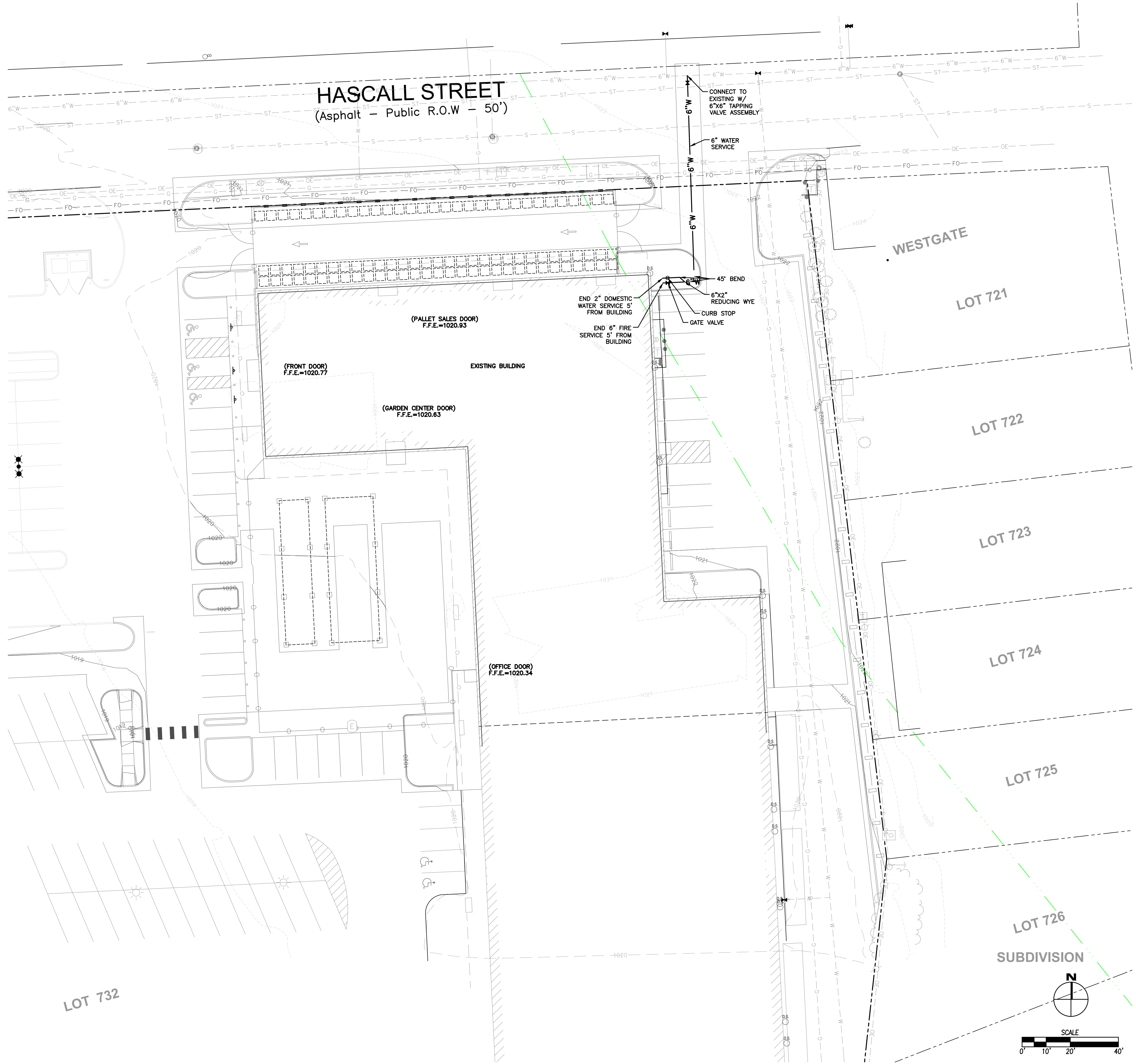








**HASCALL STREET**  
(Asphalt - Public R.O.W - 50')

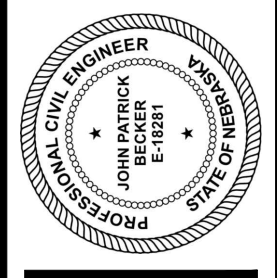


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COMMENTS:  
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REVISIONS	DATE

4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400  
 FAX: (515) 369-4410



CIVIL DESIGN ADVANTAGE  
 OMAHA, NE

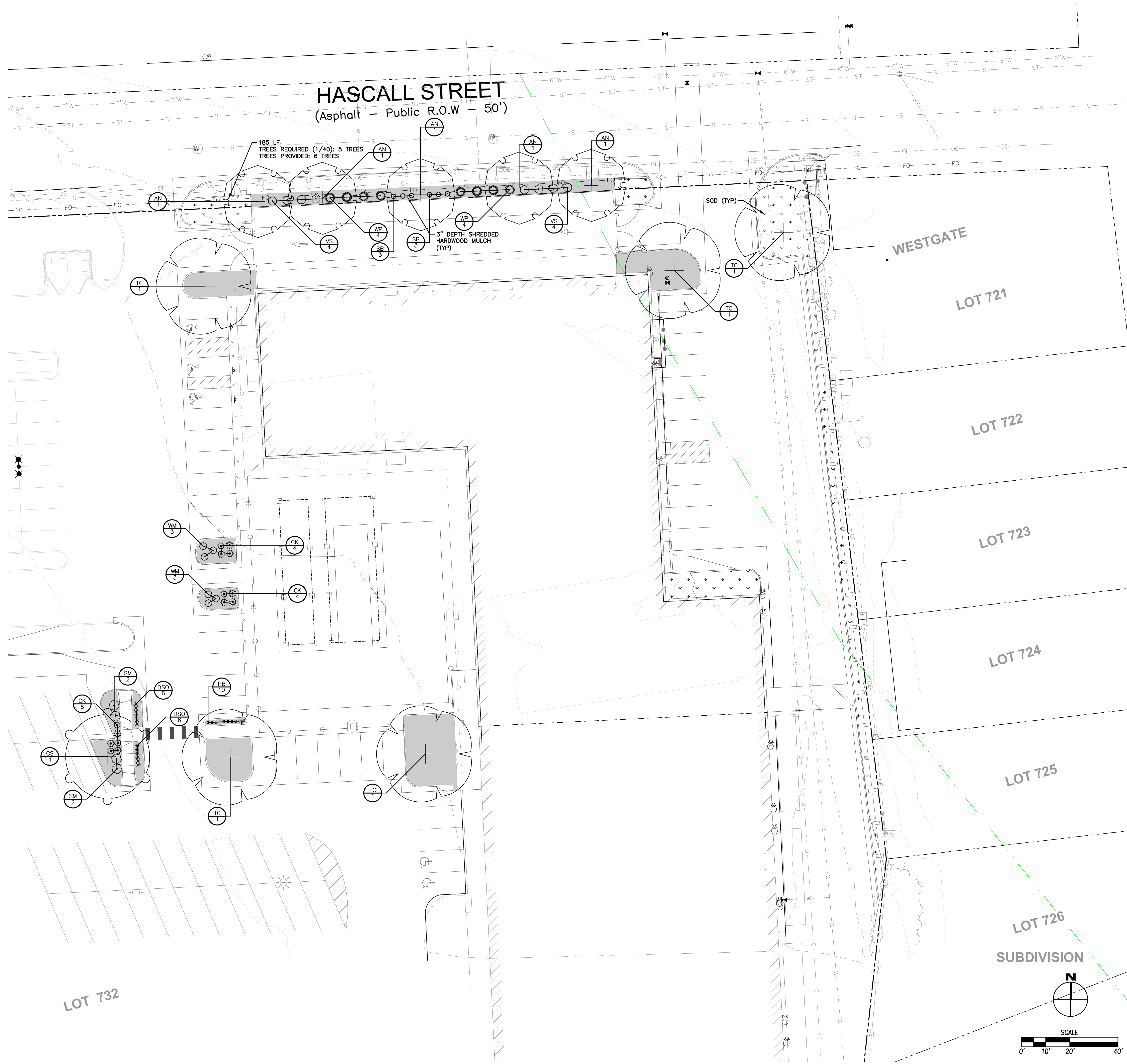
**WESTGATE PLAZA - ACE HARDWARE**  
 UTILITY PLAN

DATE: 07/24/2024

SHEET NUMBER:  
**C4.1**  
 2403.225

3457 S. 84TH ST.





**LANDSCAPE NOTES**

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS. TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SEED (TYPE 1) OR SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
7. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
9. ALL EDGING SHALL BE SPADE CUT EDGE.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY. THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
12. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
13. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
<b>OVERSTORY TREES</b>				
AN	5	Green Column Maple	Acer nigrum 'Greencolumn'	B&B, 2" CALIPER
GS	1	Skyline Honey Locust	Gleditsia triacanthos inermis 'Skyline'	B&B, 2" CALIPER
TC	5	Littleleaf Linden	Tilia cordata	B&B, 2" CALIPER
<b>SHRUBS</b>				
SM	14	Golden Sunrise Spirea	Spiraea x bumalda 'Monhuf' TM	3' GAL
VS	8	Summersweet Vanilla Spice	Clethra alnifolia 'Vanilla Spice'	CONT, 3 GAL
WM	6	Minuet Weigela	Weigela florida 'Minuet'	CONT, 3 GAL
WP	8	Pink Poppet Weigela	Weigela florida 'Piangen'	3' GAL
<b>GRASSES</b>				
CK	14	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	CONT, 1 GAL
PB	10	Little Bunny Fountain Grass	Pennisetum alopecuroides 'Little Bunny'	CONT, 1 GAL
SB	6	Standing Ovation Little Bluestem	Schizachyrium scoparium 'Standing Ovation'	CONT, 1 GAL
<b>PERENNIALS</b>				
DSO	12	Stella de Oro Daylily	Hemerocallis x 'Stella de Oro'	CONT, 1 GAL

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 PLOTTED BY: NICOLE NEAL

COMMENTS:  
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DATE: \_\_\_\_\_

REVISIONS: \_\_\_\_\_

4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400  
 FAX: (515) 369-4410

**ACE HARDWARE**

CIVIL DESIGN ADVANTAGE

OMAHA, NE

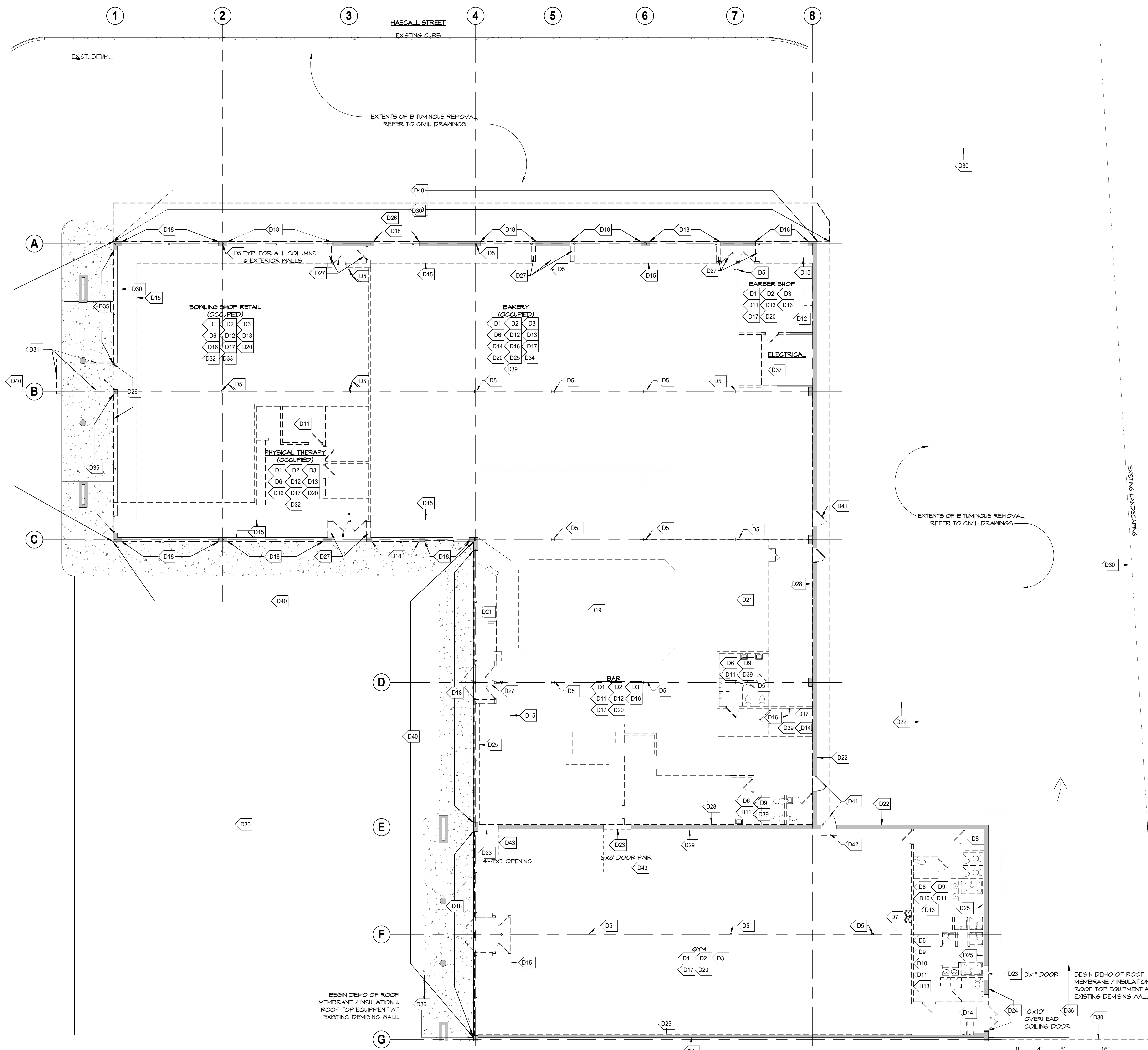
**WESTGATE PLAZA - ACE HARDWARE**  
**LANDSCAPE PLAN**

3457 S. 84TH ST.

DATE: 07/24/2024  
 SHEET NUMBER: **L1.1**  
 2403.225



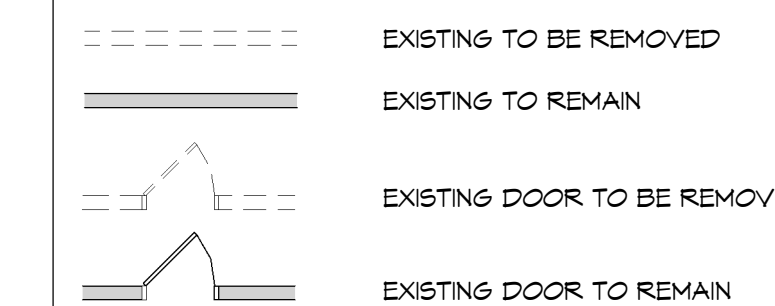
Consultants



**GENERAL DEMO NOTES:**

1. THE GENERAL CONTRACTOR SHALL ACCEPT THE PROJECT AS IT EXISTS. AS-BUILT DRAWINGS HAVE NOT BEEN FIELD VERIFIED. ALL EXISTING CONDITIONS, WHETHER OR NOT SPECIFICALLY NOTED ON THE DRAWINGS (INCLUDING BUT NOT LIMITED TO ADDITIONAL WALLS, DOORS, PLUMBING, ELECTRICAL, ETC. NOT SHOWN ON THE PLANS) SHALL BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
2. DEMOLITION DRAWINGS INDICATE GENERAL SCOPE OF WORK ONLY. NOT ALL DEMOLITION WORK NECESSARY IS SPECIFICALLY INDICATED. THE EXTENT AND METHOD OF DEMOLITION SHALL BE AS NEEDED TO ACCOMMODATE THE NEW WORK AS DETAILED.
3. ACCESS ITEMS INDICATED FOR DEMOLITION IN A MANNER DESIGNED TO MINIMIZE IMPACT ON EXISTING WORK INDICATED TO REMAIN. WHENEVER POSSIBLE, PERFORM DEMOLITION ACTIVITIES FROM AREAS TO BE CONCEALED BY NEW WORK.
4. PATCH AND REPAIR ALL EXISTING CONSTRUCTION WHICH IS DAMAGED OR DISTURBED TO MATCH EXISTING OR RESTORE TO ORIGINAL CONDITION. WHERE AREAS OR ITEMS THAT ARE INDICATED TO BE REMOVED ADJACENT TO EXISTING CONSTRUCTION INDICATED TO REMAIN, SANICUT OR OTHERWISE REMOVE TO PROVIDE A CLEAN EDGE. IF EVIDENCE OF DEMOLITION WILL NOT BE CONCEALED BY NEW WORK, PATCH AND/OR REPAIR TRANSITION TO MATCH ADJACENT SURFACE AND FINISH.
5. ALL CONSTRUCTION SCHEDULING AND SEQUENCING SHALL BE COORDINATED WITH THE OWNER PRIOR TO BEGINNING ANY WORK. COORDINATE ALL DEMOLITION WORK TO ACCOMMODATE OWNER'S NORMAL OPERATIONS.
6. ERECT TEMPORARY PARTITIONS/BARRIERS AS REQUIRED TO PREVENT CONTAMINATION OF ADJACENT AREAS THAT ARE OR WILL BE USED BY THE OWNER FROM DUST, DEBRIS, AND EXCESSIVE NOISE CAUSED BY DEMOLITION ACTIVITIES.
7. SHORE AND/OR BRACE EXISTING WORK AS REQUIRED TO SAFELY REMOVE ITEM(S) OR EXISTING CONSTRUCTION WITHOUT DAMAGE TO EXISTING CONSTRUCTION INDICATED TO REMAIN.
8. DO NOT MODIFY EXISTING STRUCTURE UNLESS SPECIFICALLY INDICATED ON THE DRAWINGS OR APPROVED IN ADVANCE BY BOTH THE ARCHITECT AND STRUCTURAL ENGINEER.

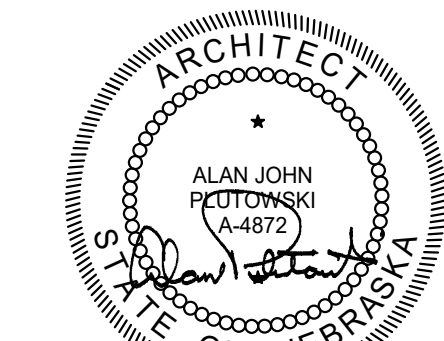
**DEMOLITION LEGEND:**



**DEMOLITION KEY NOTES:**

- |     |   |
|-----|---|
| D1  | REMOVE FLOOR ADHESIVES, CORRECT SLAB IMPERFECTIONS, PROVIDE FLOOR LEVELER AND PREP CONCRETE SLAB TO BE SMOOTH, LEVEL, AND FREE OF IMPERFECTIONS AS REQUIRED FOR FLOOR FINISHES.   |
| D2  | DEMO & REMOVE ALL EXISTING INTERIOR WALLS. THIS SHALL INCLUDE BASES, TRIMS, MIRRORS, POLES, ETC. WHERE APPLICABLE. REMOVE ALL UNUSED CONDUIT & WIRING BACK TO EXISTING ELECTRICAL PANELS.   |
| D3  | DEMO & REMOVE EXISTING INTERIOR DOORS, FRAMES AND HARDWARE.   |
| D4  | EXISTING DEMISING WALL TO REMAIN. PATCH TO MATCH AS NEEDED.   |
| D5  | EXISTING STRUCTURAL STEEL COLUMN TO BE REMOVED IF FEASIBLE. GO TO INVESTIGATE. REMOVE ANY DECORATIVE COVER / WRAPS.   |
| D6  | DEMO & REMOVE EXISTING WATER CLOSETS / URINALS, LAVATORIES, COUNTERTOPS, GRAB BARS AND ALL RESTROOM ACCESSORIES. CAP OR REROUTE PLUMBING TO MEET CODE.  |
| D7  | DEMO & REMOVE EXISTING DRINKING FOUNTAIN. SALVAGE FOR RELOCATION.   |
| D8  | DEMO & REMOVE EXISTING WATER HEATER.  |
| D9  | DEMO & REMOVE EXISTING TOILET STALL PARTITIONS / DOORS.   |
| D10 | DEMO & REMOVE EXISTING SHOWERS, CURTAINS, GYP. BD. CEILING / SOFFITS, AND ANY ASSOCIATED ACCESSORIES.   |
| D11 | DEMO & REMOVE ALL EXISTING VCT FLOOR FINISH & WALL BASE. PATCH, REPAIR AND PREP FLOOR SLAB AS NEEDED TO RECEIVE NEW FINISHES.   |
| D12 | DEMO & REMOVE EXISTING SHELVES / STORE FIXTURES / CASEWORK.   |
| D13 | DEMO & REMOVE EXISTING ACOUSTICAL CEILING TILE & GRID, INCLUDING ANY LIGHT FIXTURES, GELING MOUNTED EQUIPMENT, ETC. IN ITS ENTIRETY. REMOVE EXISTING DUCTWORK, WIRING CONTROLS, ETC. CONNECTED TO CEILING MOUNTED ITEMS BACK TO THE SOURCE (RTU, PANEL, ETC.) REMOVE ALL CONDUIT & WIRING BACK TO EXISTING ELECTRICAL PANELS. |
| D14 | DEMO & REMOVE EXISTING ELECTRICAL PANEL AND TIMBERLOK.  |
| D15 | EXISTING SOFFIT TO REMAIN. PATCH TO MATCH OR REPLACE GYP. BD. SHEATHING.  |
| D16 | DEMO & REMOVE ALL PLUMBING FIXTURES, WATER HEATERS AND ASSOCIATED ACCESSORIES. CAP OR REROUTE PLUMBING TO MEET CODE.  |
| D17 | DEMO & REMOVE ALL ELECTRICAL FIXTURES AND ASSOCIATED ACCESSORIES. REMOVE ALL UNUSED CONDUIT & WIRING BACK TO EXISTING ELECTRICAL PANELS.  |
| D18 | DEMO & REMOVE EXISTING STOREFRONT DOORS, WINDOWS, FRAMES AND PREP AS NEEDED FOR WALL INFILL.  |
| D19 | DEMO & REMOVE EXISTING WOOD FLOOR PLATFORM.   |
| D20 | DEMO & REMOVE EXISTING CEILING MOUNTED EQUIPMENT INCLUDING LIGHT FIXTURES AND DUCTWORK. REMOVE WIRING, CONTROLS, ETC. CONNECTED TO CEILING MOUNTED ITEMS BACK TO EXISTING ELECTRICAL PANELS.  |
| D21 | DEMO & REMOVE EXISTING RAISED PLATFORM / STAGE, RAILING, STAIRS AND ALL ASSOCIATED ITEMS.   |
| D22 | DEMO & REMOVE EXISTING FENCE AND ALL ASSOCIATED PATIO ITEMS.  |
| D23 | GAREFULLY SANICUT & REMOVE PORTION OF EXISTING CMU WALL AS NEEDED FOR LINTEL AND DOOR OPENING.  |
| D24 | DEMO & REMOVE EXISTING DOOR PAIR, FRAME, ASSOCIATED HARDWARE AND PORTION OF EXISTING CMU WALL AS NEEDED FOR LINTEL AND OVERHEAD COILING DOOR INSTALLATION.  |
| D25 | DEMO & REMOVE EXISTING FURRING WALLS.   |
| D26 | DEMO & REMOVE PORTION OF EXISTING STOREFRONT AND EXTERIOR WALLS AS NEEDED FOR NEW DOORS.  |
| D27 | DEMO & REMOVE EXISTING INTERIOR STOREFRONT DOORS / WINDOWS AND WALLS AT ALCOVES.  |
| D28 | REMOVE ALL PANELING / FURRING, STRIP AND CLEAN INTERIOR FACE OF EXISTING CMU WALLS IN PROPOSED SALES AREA AS NEEDED FOR PAINT FINISH.   |
| D29 | EXISTING CMU BEARING WALL TO REMAIN.  |
| D30 | DEMO & REMOVE EXISTING BITUMINOUS. PREP AS NEEDED FOR CONCRETE INFILL.  |
| D31 | DEMO & REMOVE PORTION OF EXISTING CONCRETE CURB AND SIDEWALK AS NEEDED FOR ADA-COMPLIANT CURB CUT FROM ADA-COMPLIANT ACCESS ASLE. DEMO & REMOVE EXISTING EXTERIOR VINYL CANOPY.   |
| D32 | DEMO & REMOVE ALL EXISTING CARPET FLOOR FINISH AND WALL BASE. PATCH, REPAIR AND PREP FLOOR SLAB AS NEEDED TO RECEIVE NEW FINISHES.  |
| D33 | DEMO & REMOVE EXISTING SLAT WALLS AND FURRING.  |
| D34 | DEMO & REMOVE EXISTING TILE FLOOR AND WALL BASE. PATCH, REPAIR AND PREP FLOOR SLAB AS NEEDED TO RECEIVE NEW FINISHES.   |
| D35 | DEMO & REMOVE EXISTING STOREFRONT DOORS, WINDOWS, FRAMES AND PREP AS NEEDED FOR STOREFRONT REPLACEMENT.   |
| D36 | DEMO & REMOVE EXISTING ROOF MEMBRANE AND INSULATION DOWN TO EXISTING METAL DECK, AND ALL ROOFTOP EQUIPMENT ABOVE AREA OF REMODEL. SEE PLAN FOR EXTENT OF DEMO.  |
| D37 | DEMO & REMOVE ELECTRICAL PANELS AND ELECTRICAL COMPONENTS / WIRING AS NEEDED TO CONDENSE EXISTING SEPARATE SERVICES INTO ONE SERVICE FOR REMODELED SPACE.   |
| D38 | DEMO & REMOVE EXISTING CONCRETE SIDEWALK.   |
| D39 | DEMO & REMOVE EXISTING GYP. BD. CEILING / SOFFIT AND FRAMING.   |
| D40 | DEMO & REMOVE EXISTING E.I.F.S. FINISH AS NEEDED FOR NEW E.I.F.S. FINISH.   |
| D41 | EXISTING DOOR TO REMAIN. CLOSE AND LOCK DOOR. TACK WELD AND SEAL.   |
| D42 | SANICUT & REMOVE EXISTING CONCRETE RAISED STEP TO PROVIDE FOR FURRING OF WALL ACCESS OPENING FLUSH TO MATCH EXISTING.   |
| D43 | SANICUT & REMOVE PORTION OF EXISTING CONCRETE SLAB TO PROVIDE FOR NEW POURED CONCRETE RAMP.   |

**Certification**



Date: 07/11/24

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**Project Information**

**WESTGATE PLAZA**  
**ACE HARDWARE**

3101 S. 84TH STREET  
 OMAHA, NE 68124

**Revisions**

1 05/30/24 TENANT REVISIONS

Date: 03/12/2024

Drawn By: DM

Checked By: AS/DC

Job Number: 00324



**Sheet Information**

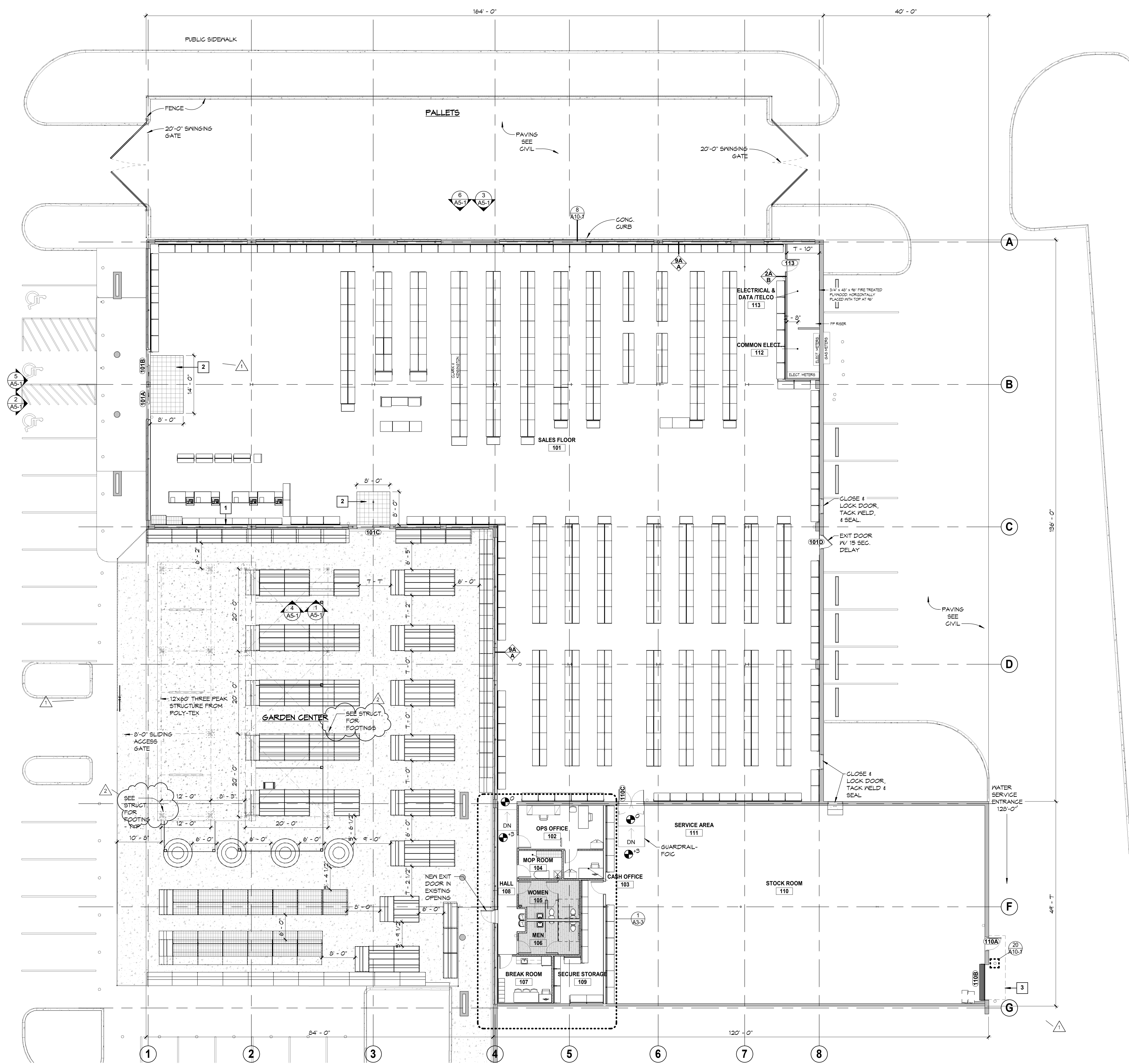
DEMOLITION PLAN &  
 NOTES

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A2-1



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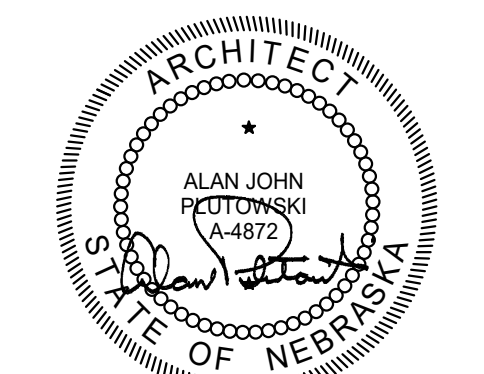


- FLOOR PLAN KEYED NOTES:**
- 1 BARNWOOD FINISH FROM TOP OF BASE TO BOTTOM OF SOFFIT - REQUIRES 1/2" CDX BACKER.
  - 2 WALK-OFF MAT WITH RAMP-STYLE TRANSITION EDGE FRAME.
  - 3 4" WIDE CANVAS AVINGS WITH ALUMINUM FRAME - MIN 12" HT TO BOTTOM - CONFIRM COLOR WITH TENANT.
  - 4 6" DIAMETER CONCRETE-FILLED STEEL PIPE BOLLARDS WITH DECORATIVE COVERS AT JAMBS OF DOCK DOORS.

- KEY TO WALL TYPES AND DOORS:**
- EXISTING WALL TO BE REMOVED
  - - - - - ITEMS TO BE DEMOLISHED SHOWN DASHED
  - ===== EXISTING WALL TO REMAIN
  - ===== NEW STUD WALL - TYP. 2x4 @ 16" O.C.
  - 1-HR RATED WALL
  - EXISTING DOOR # FRAME TO BE DEMOLISHED
  - EXISTING DOOR # FRAME TO REMAIN
  - NEW OR RELOCATED DOOR # FRAME

- GENERAL NOTES:**
- ◆ WALL TYPES REFER TO SHEET A10-1
  - INDICATES CONCRETE CURB. REFER TO --- (8) (A10.1)
  - (A10.1) REFER TO SHEET A10-1 FOR DOOR SCHEDULE
  - FD FLOOR DRAIN, REFER TO MECHANICAL
  - CONSTRUCTION JOINTS, REFER TO DETAIL (8) (A10.1)
  - FE FIRE EXTINGUISHER - BRACKET MOUNT W/ SIGN TO MEET CODE. VERIFY ALL LOCATIONS W/ FIRE MARSHAL.
  - DIMENSIONS
  - INTERIOR - ALL DIMENSIONS ARE TO CENTERLINE OF STUDS (UNLESS NOTED OTHERWISE)
  - EXTERIOR - ALL DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING OR FACE OF MASONRY (UNLESS NOTED OTHERWISE).

**Certification**



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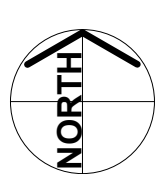
**Project Information**  
**WESTGATE PLAZA**  
**ACE HARDWARE**

3101 S. 84TH STREET  
 OMAHA, NE 68124

**Revisions**

- 1 05/30/24 TENANT REVISIONS
- 2 07/11/24 TENANT REVISIONS

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 Job Number: 00324



**Sheet Information**

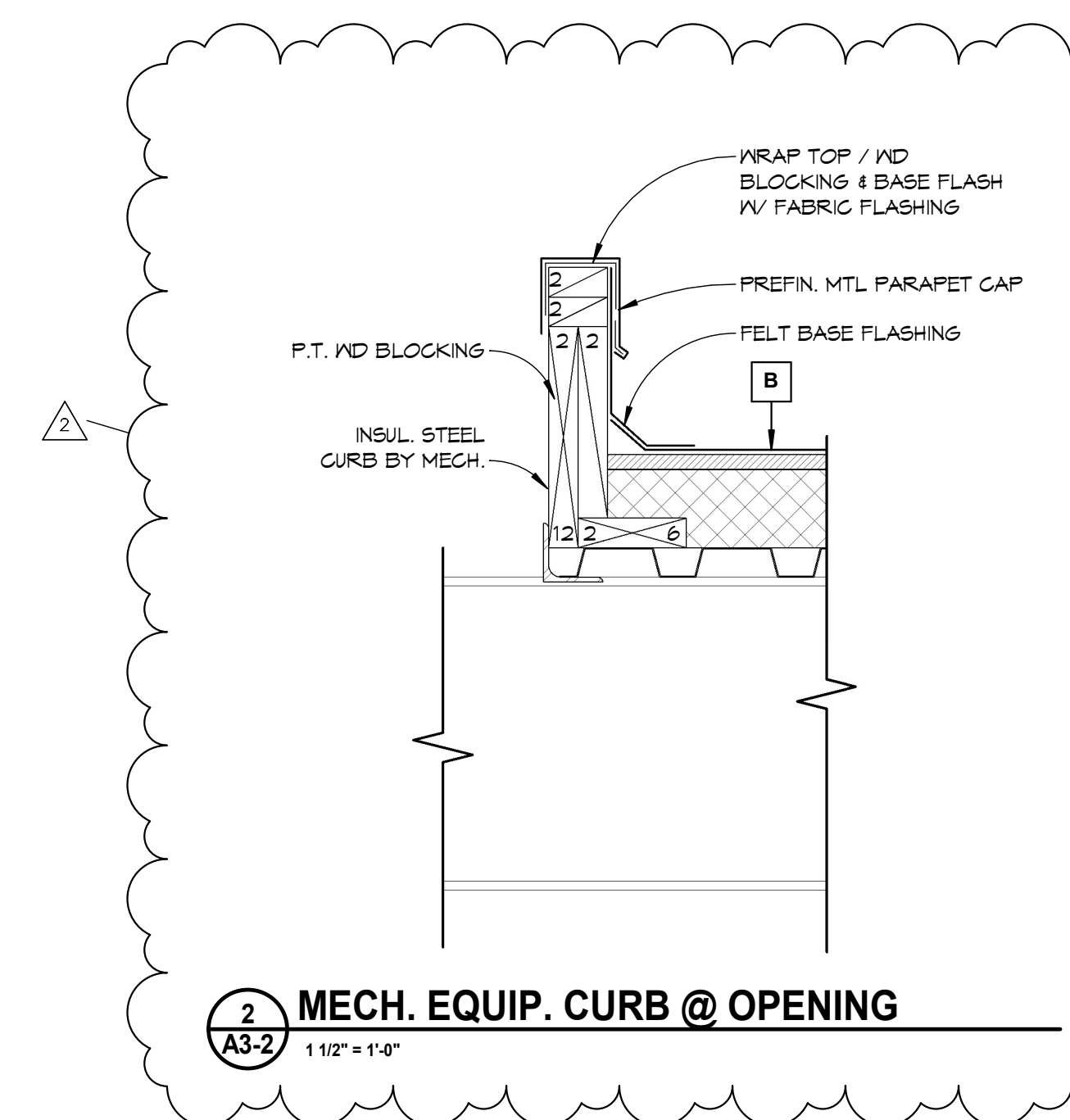
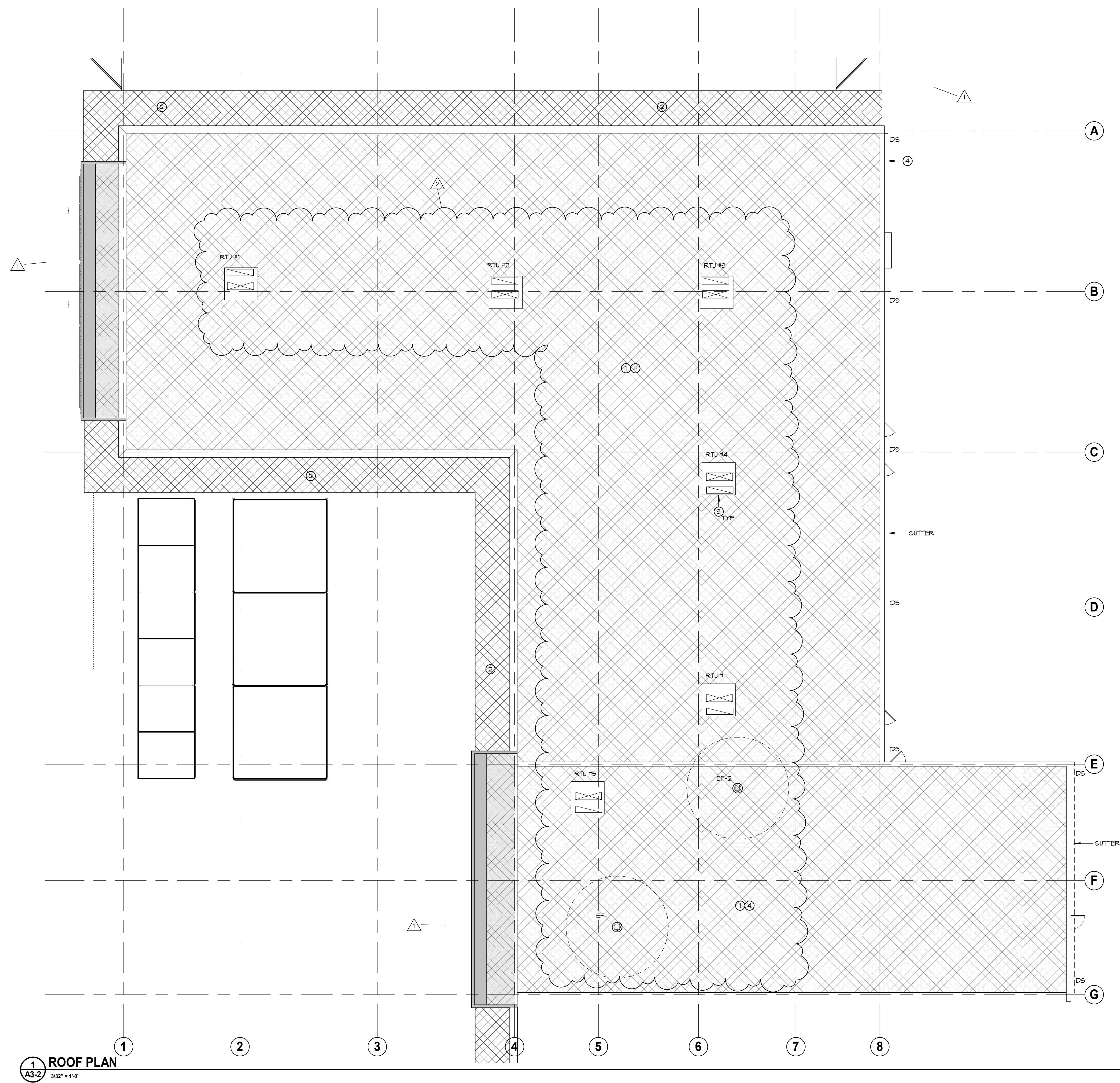
FLOOR PLAN

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**A3-1**



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**ROOFING KEYED NOTES:**

- ① REMOVE ALL EXISTING ROOFING & INSULATION FOR REPLACEMENT
- ② REMOVE ALL EXISTING ROOFING & INSULATION IN CANOPES FOR REPLACEMENT WITH NEW ROOFING. MAINTAIN EXISTING DRAIN LOCATIONS.
- ③ TYPICAL RTU LOCATION IN/ ROOF CURB. SEE MECHANICAL.
- ④ FIELD VERIFY EXISTING ROOF DRAIN, DOWNSPOUTS & OTHER COMPONENT. MAINTAIN EXISTING SYSTEM DESIGN & REPLACE EXISTING EXPOSED COMPONENTS & IN SIMILAR LOCATIONS.

**GENERAL ROOF NOTES:**

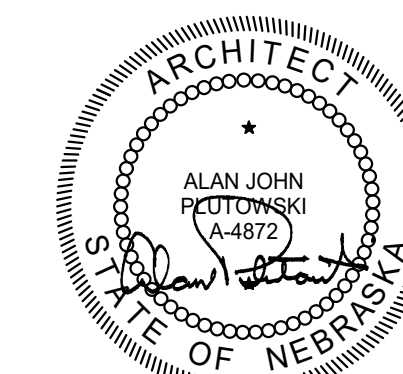
- 1. AVERAGE ROOF INSULATION TO EXCEED CURRENT STATE CODE REQUIREMENTS. SEE SPEC.
- 2. MECHANICAL INFORMATION SHOWN IS INTENDED ONLY TO COMMUNICATE DESIGN INTENT. REFER TO MECHANICAL DRAWINGS FOR DETAILED INFORMATION. COORDINATE / VERIFY ALL EQUIPMENT LOCATIONS WITH MECHANICAL DRAWINGS.
- 3. CONNECT DOWNSPOUTS TO STORM SEWER. REFER TO CIVIL.
- 4. REFER TO CIVIL FOR GRADE CONDITIONS & DRAINAGE.

**ROOF LEGEND**

EXTENT OF ROOF REPLACEMENT

	SLOPING STRUCTURE WITH RIGID INSULATION & MEMBRANE ROOFING
DSG	DOWNSPOUT TO EMPTY AT GRADE (18 A107) SIM
DS	DOWNSPOUT TIED INTO EXISTING STORM SEWER (18 A107)
S	EXISTING SCUPPER IN/ MODIFIED DOWNSPOUT
	DRAINAGE ARROW

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Date: 07/11/24  
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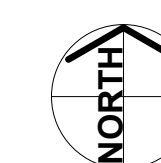
**Project Information**  
**WESTGATE PLAZA**  
**ACE HARDWARE**

3401 S. 84TH STREET  
 OMAHA, NE 68124

**Revisions**

1	05/30/24	TENANT REVISIONS
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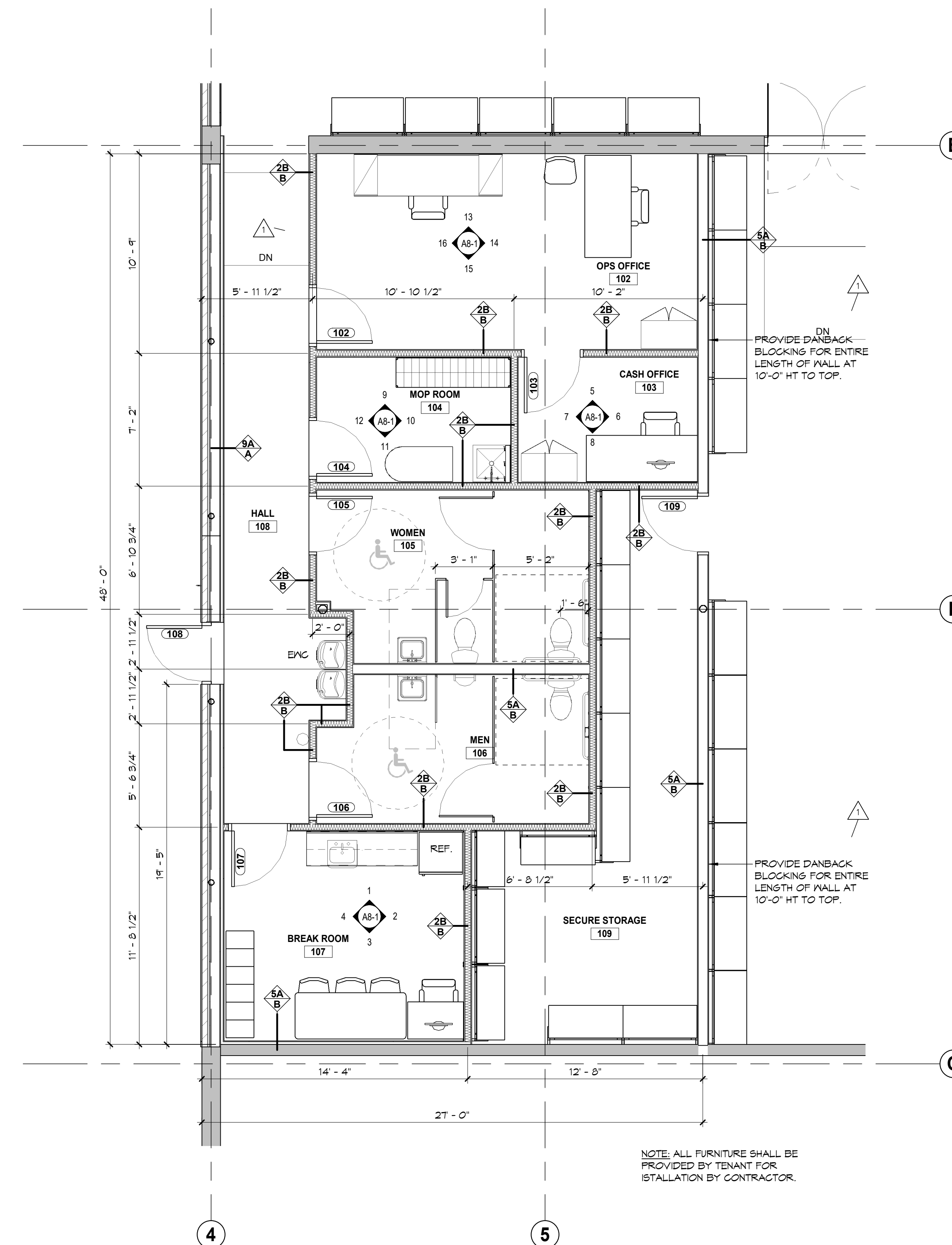
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ROOF PLAN & DETAILS

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**A3-2**

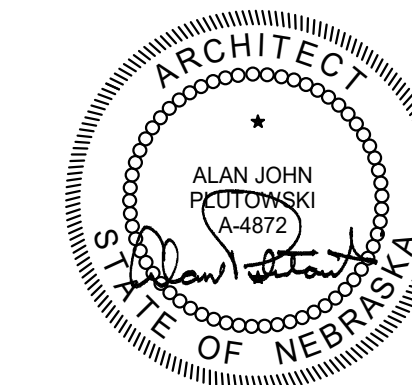




**1 ENLARGED FLOOR PLAN**  
 A3-3 1/4" = 1'-0"

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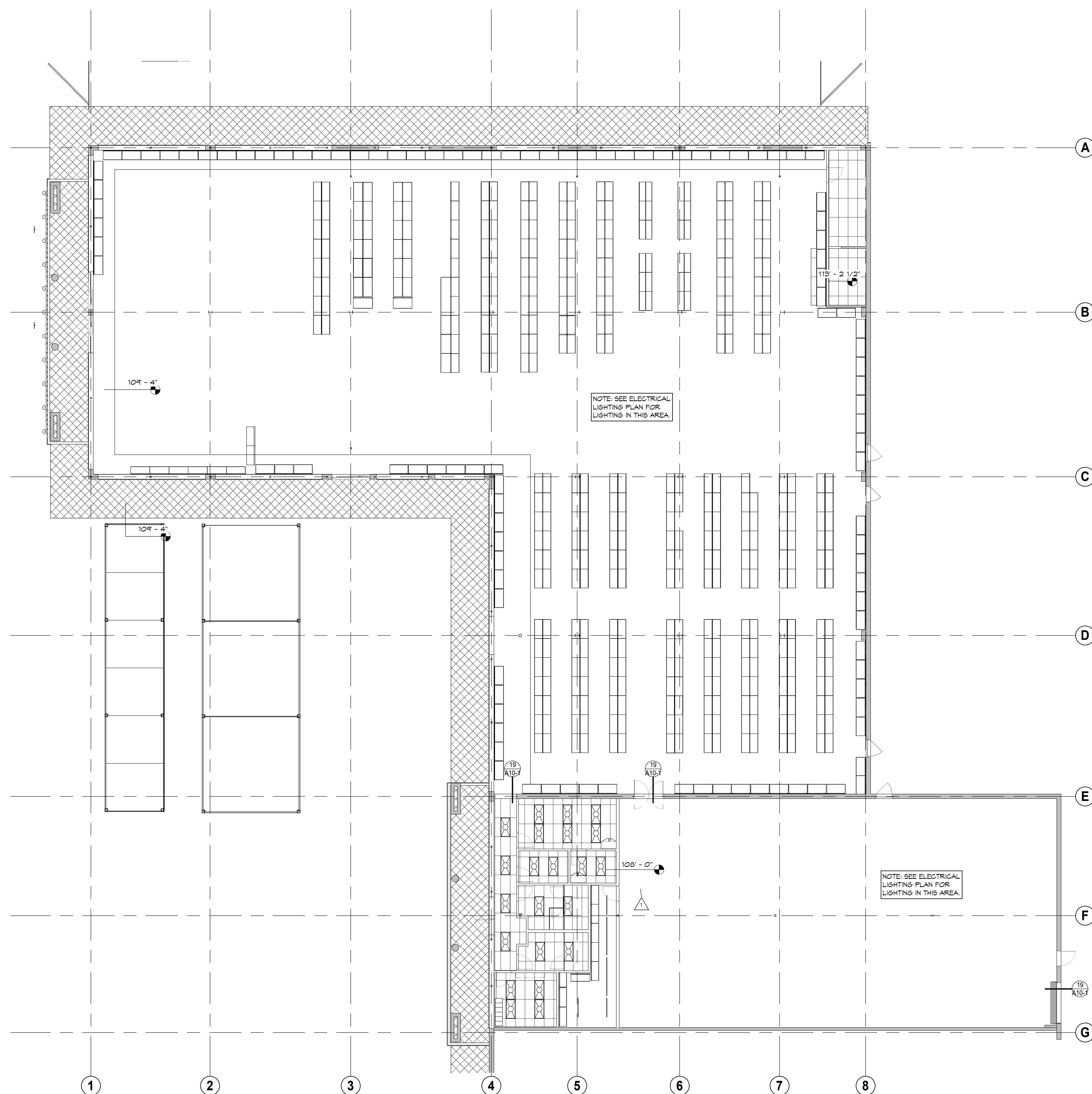
ENLARGED PLAN

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**A3-3**

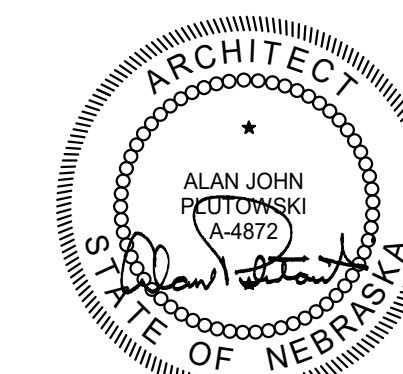


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CEILING LEGEND	
	ACT-1: 2x4' ACOUSTIC CEILING TILE AND GRID SYSTEM
	GYP. BD. CEILING @ BOTTOM OF STRUCTURE
	GYP. BD. SOFFIT
	EXISTING EXTERIOR LINEAR WOOD SOFFIT
	EXTERIOR WALL SCONCE
	2x4 LAY-IN LED LIGHT FIXTURE
	4' CEILING MOUNTED LED STRIP LIGHT
	8' CEILING MOUNTED LED STRIP LIGHT

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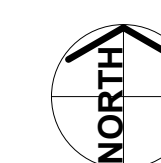
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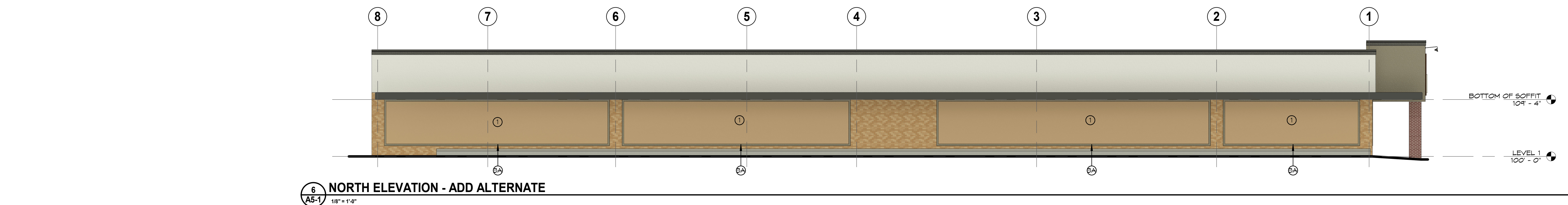
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REFLECTED CEILING PLAN

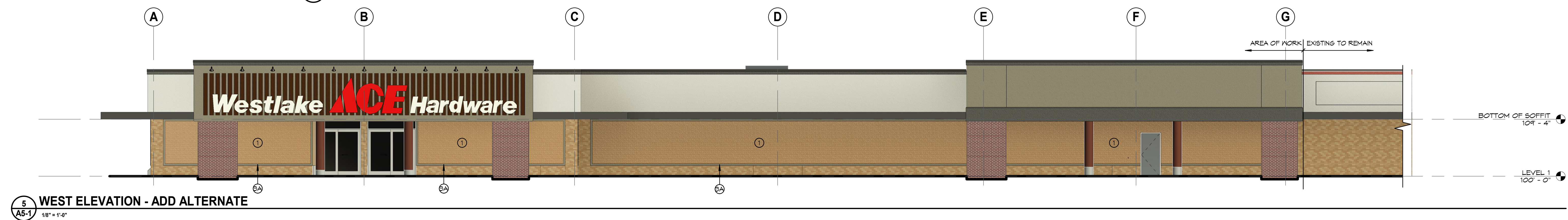
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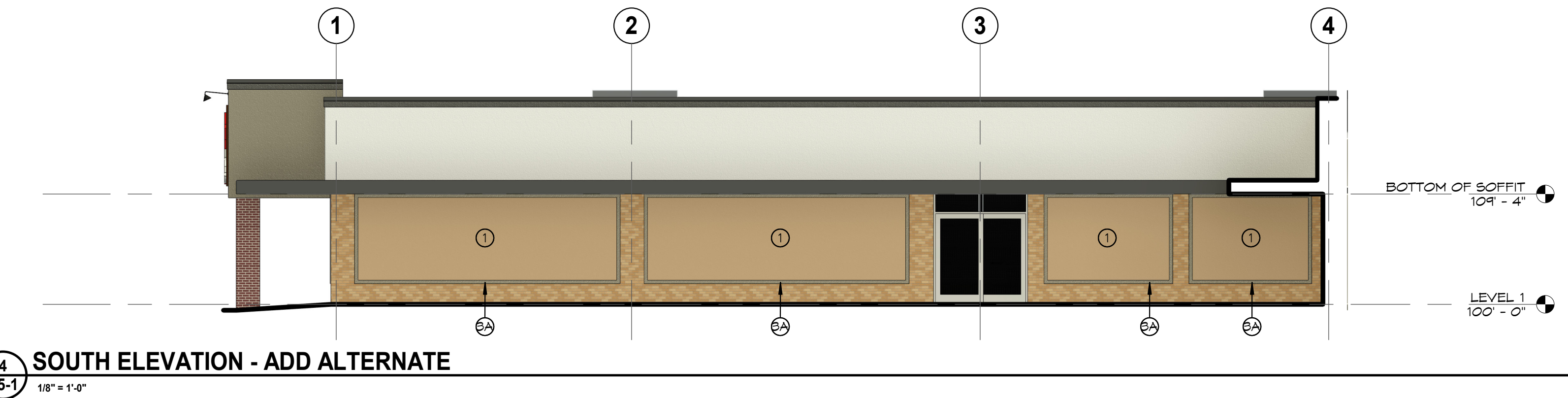
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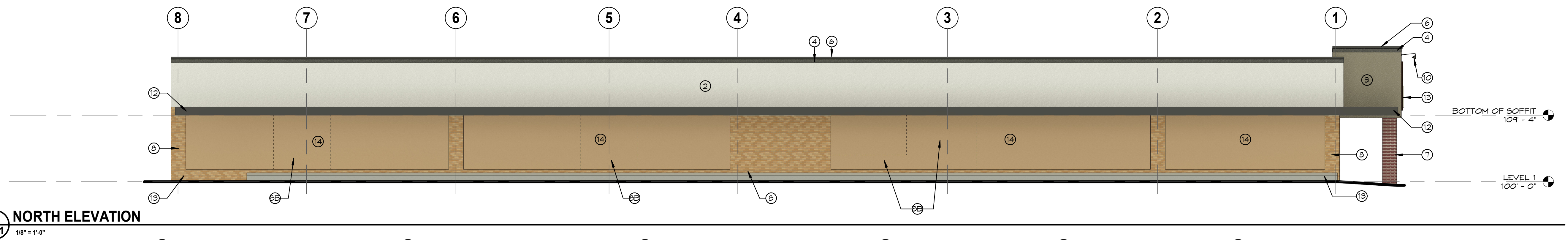
**6 NORTH ELEVATION - ADD ALTERNATE**  
 A5-1 1/8" = 1'-0"



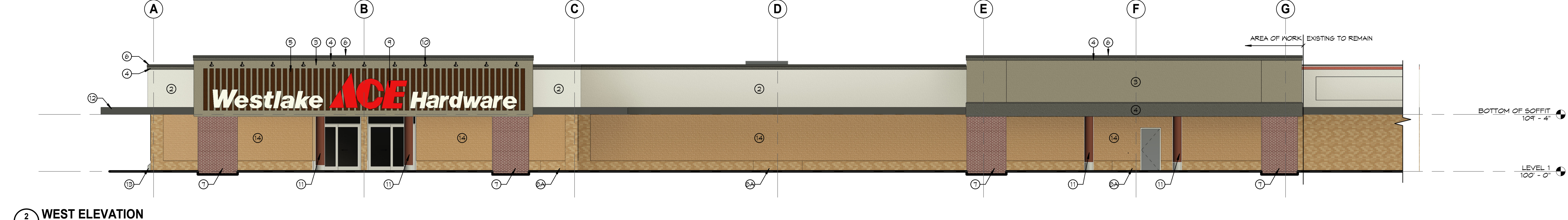
**5 WEST ELEVATION - ADD ALTERNATE**  
 A5-1 1/8" = 1'-0"



**4 SOUTH ELEVATION - ADD ALTERNATE**  
 A5-1 1/8" = 1'-0"



**3 NORTH ELEVATION**  
 A5-1 1/8" = 1'-0"

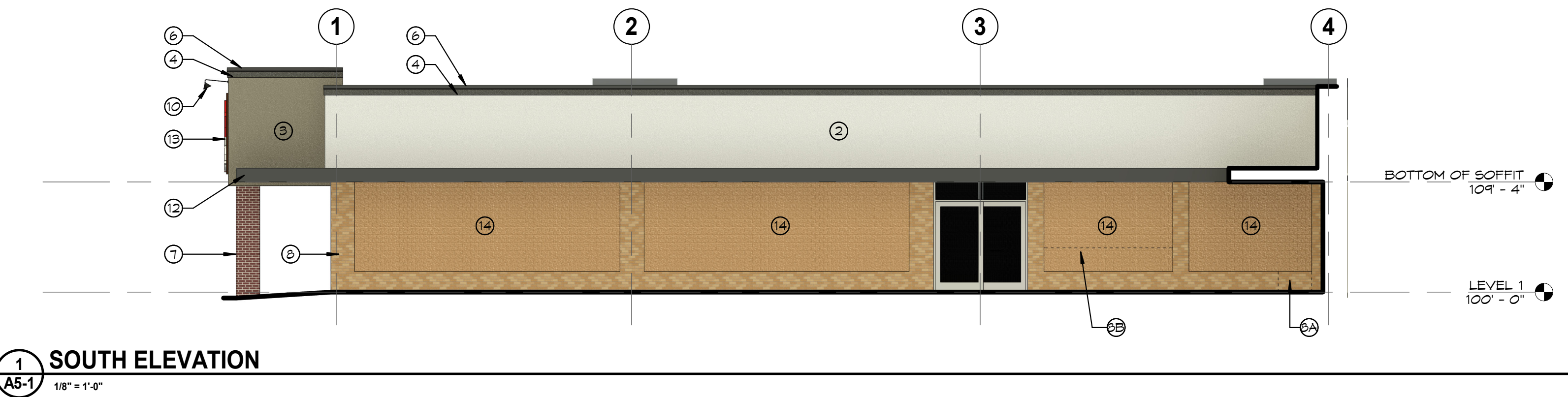


**2 WEST ELEVATION**  
 A5-1 1/8" = 1'-0"

**GENERAL NOTES:**  
 1. PAINT ALL MECHANICAL LOUVERS AND VENT CAPS TO MATCH EXTERIOR FINISH IN WHICH THEY ARE LOCATED.

**EXTERIOR FINISHES KEY:**

① E.I.F.S. (COLOR 'A' TAN)	②③ AREA OF BRICK / BACK-UP WALL DEMO TO BE INFILLED W/ E.I.F.S. OR CMU WALL SYSTEM
② EXISTING E.I.F.S. TO REMAIN (COLOR 'B' MATCH EXISTING)	④ SIGNAGE BY OTHERS, PROVIDE BLOCKING.
③ E.I.F.S. (COLOR 'C' WARM GRAY)	⑤ GOOSENECK LIGHT FIXTURES, PROVIDE BLOCKING.
④ E.I.F.S. (COLOR 'D' DARK GRAY TO MATCH EXISTING PARAPET CAP)	⑥ PAINT EXISTING COLUMN TO MATCH EXISTING BRICK (COLOR 'G' RED) EXPOSED GRAY CONCRETE BASE TO REMAIN AS-IS
⑤ E.I.F.S. (COLOR 'E' TO MATCH TREX "SPICED RUM") 1"x8" PICKET DETAIL SPACED @ 12" O.C.	⑦ EXISTING CANOPY STRUCTURE TO REMAIN. PROVIDE / INSTALL METAL FASCIA ON CANOPY STRUCTURE TO MATCH EXISTING (COLOR 'F' DARK GRAY) PREFIN. METAL SOFFIT (COLOR TBD)
⑥ METAL PARAPET CAP MATCH EXISTING COLOR AND FINISH (COLOR 'F' DARK GRAY)	⑧ CAST-IN-PLACE CONCRETE CURB (1/2") FIELD VERIFY TO ALIGN W/ BOTTOM OF E.I.F.S. / CMU WALL INFILL.
⑦ EXISTING BRICK TO REMAIN (COLOR 'G' RED)	⑨ 12" SPLIT-FACE CMU (COLOR 'A' TAN)
⑧ EXISTING BRICK TO REMAIN (COLOR 'H' TAN)	
⑨ BRICK INFILL TO MATCH EXISTING ADJACENT BRICK (COLOR 'H' TAN)	



**1 SOUTH ELEVATION**  
 A5-1 1/8" = 1'-0"

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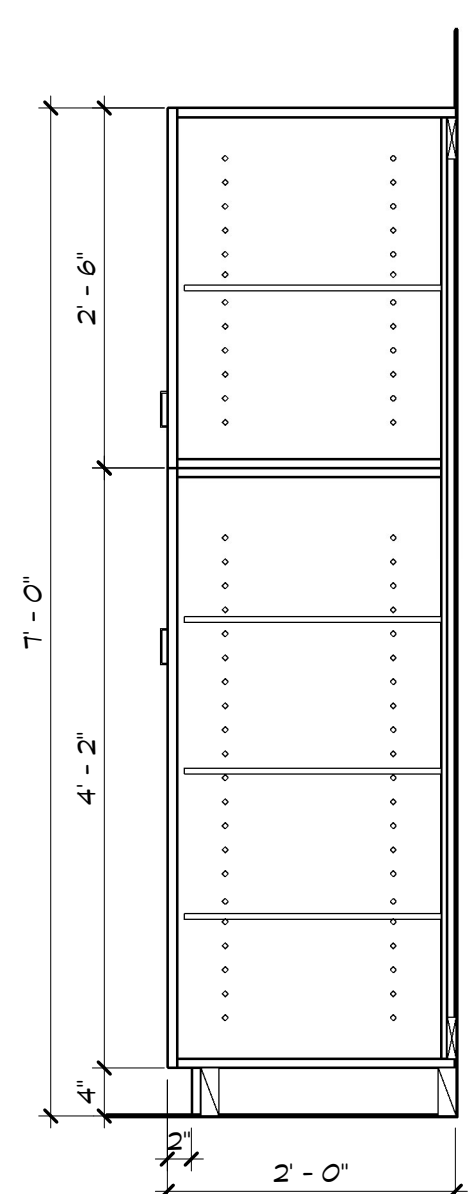
EXTERIOR ELEVATIONS

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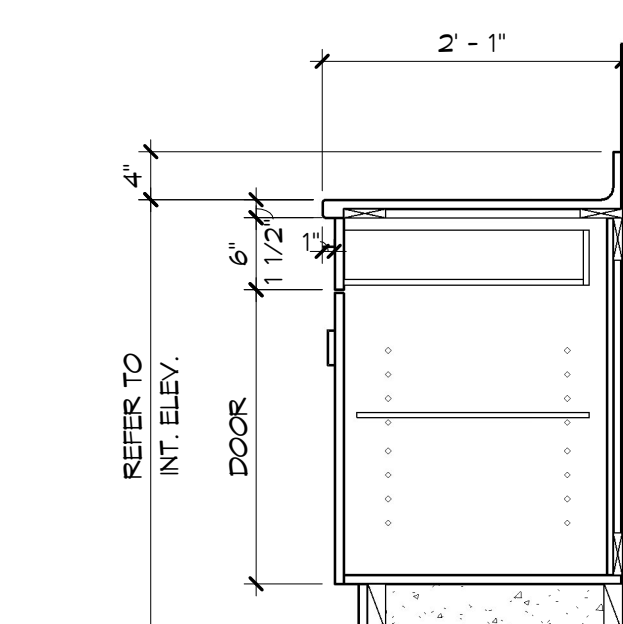
**A5-1**



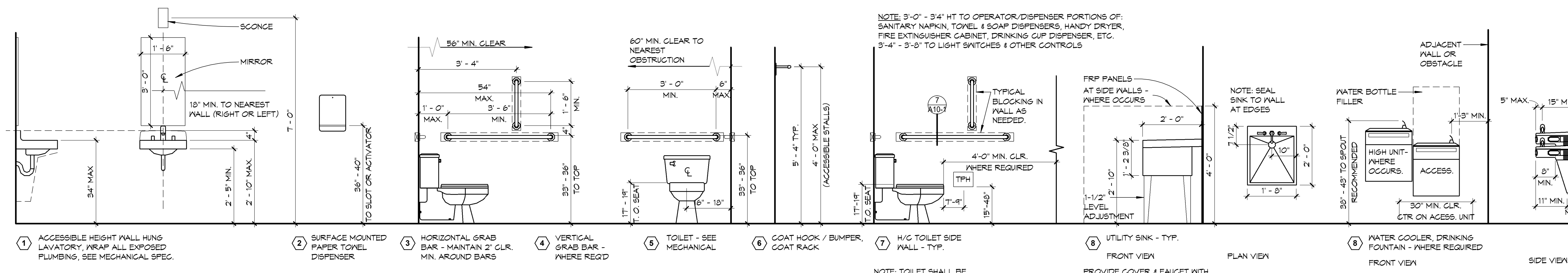
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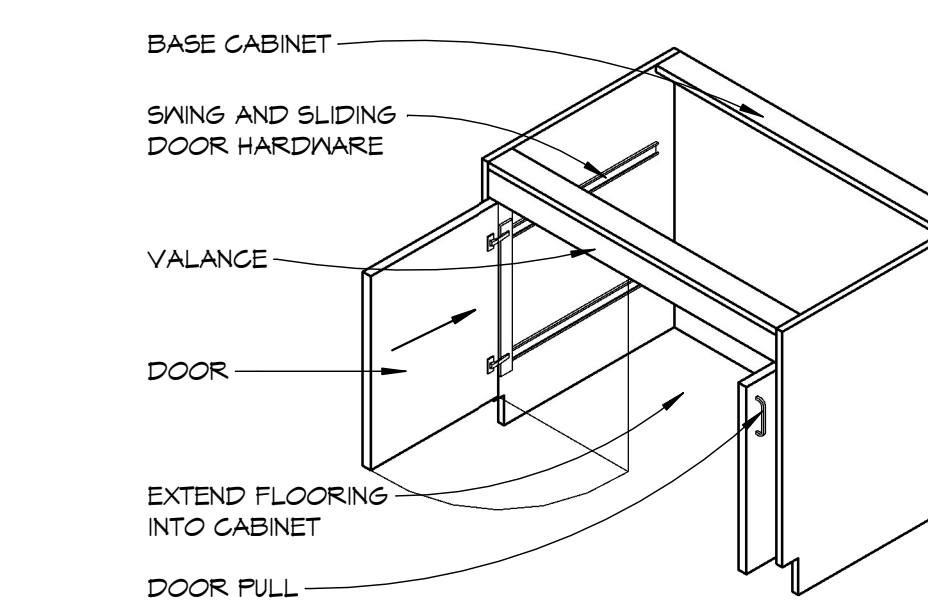
**19 UTILITY CABINET**  
 A8-1 3/4" = 1'-0"



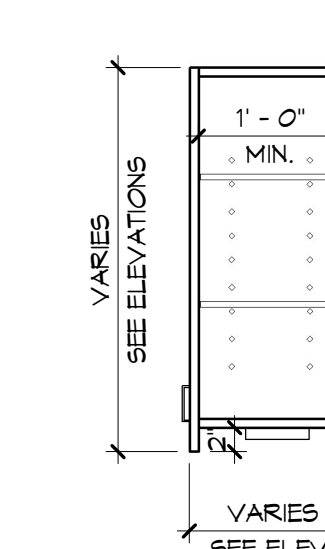
**18 BASE CABINET**  
 A8-1 3/4" = 1'-0"



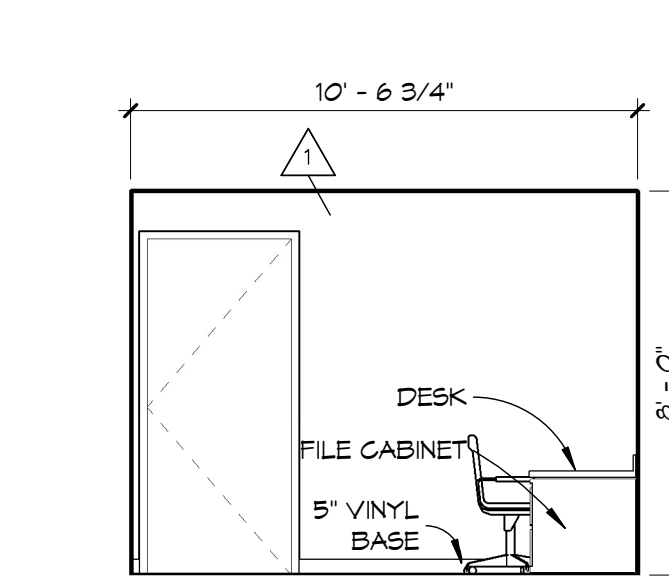
**TYP. FIXTURE AND ACCESSORY MOUNTING HEIGHT REQUIREMENTS (WHERE APPLICABLE)**  
 A8-1 1/2" = 1'-0"



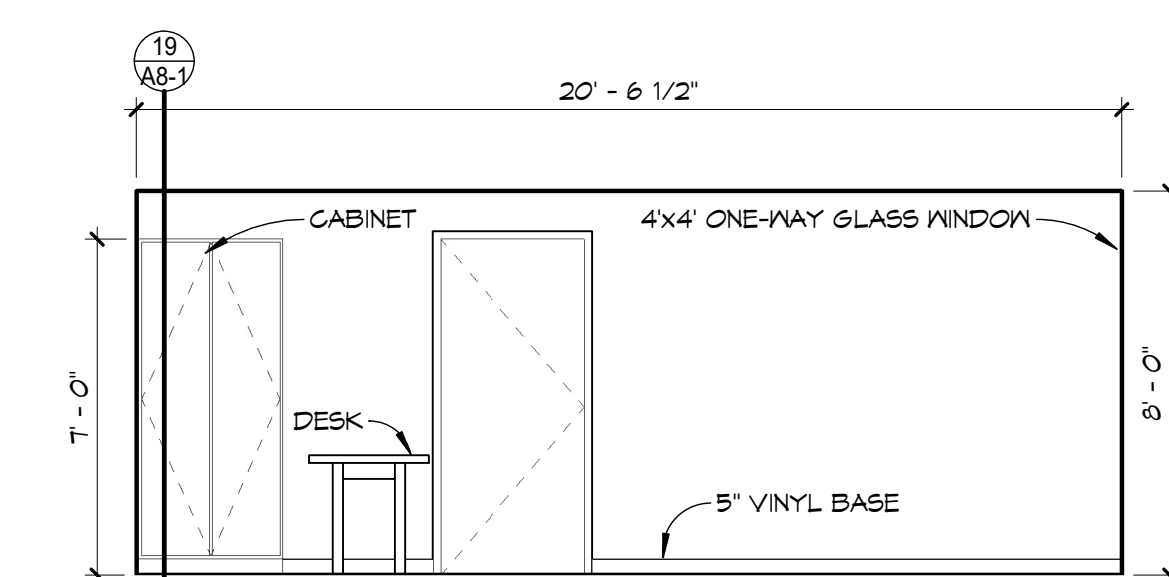
**21 RETRACTABLE DOOR CABINET ISOMETRIC**  
 A8-1 1/2" = 1'-0"



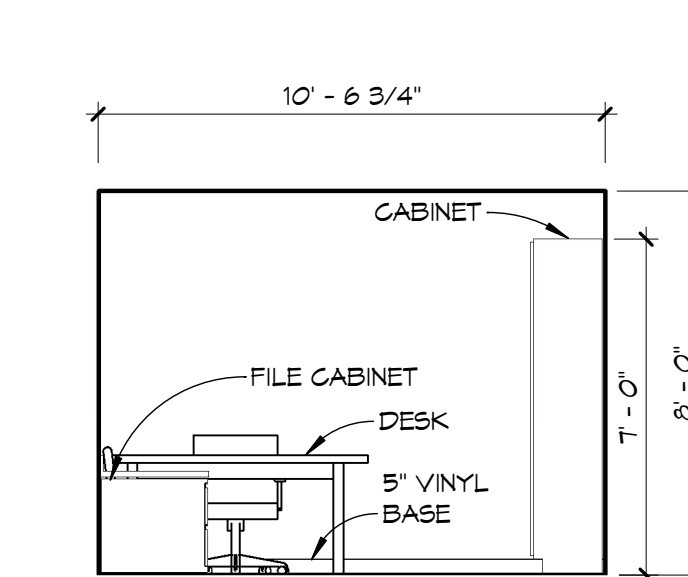
**20 WALL CABINET**  
 A8-1 3/4" = 1'-0"



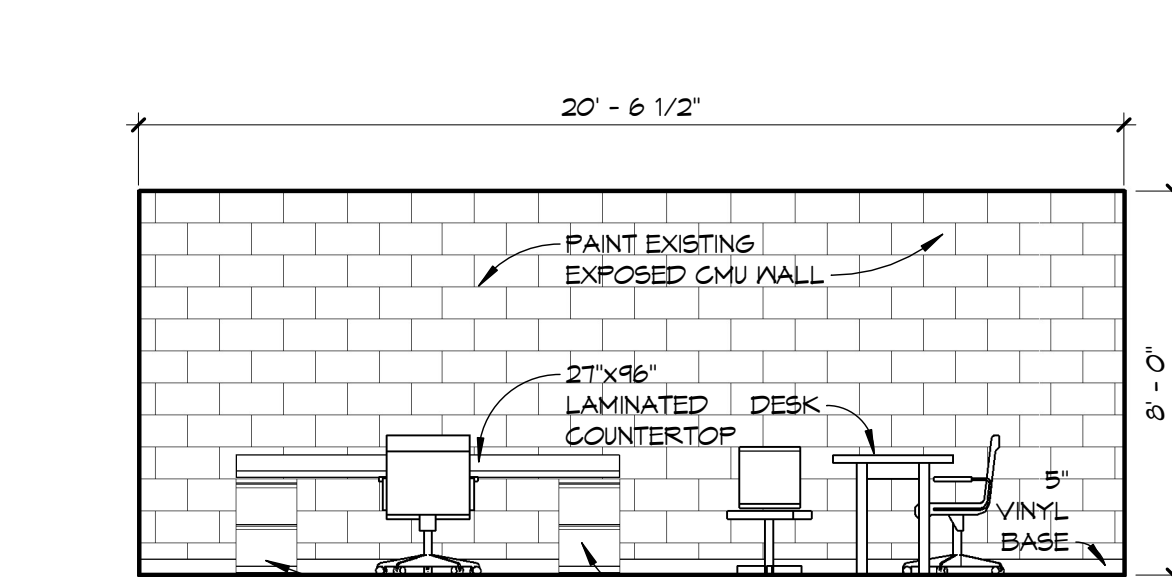
**16 OPS OFFICE ELEVATION**  
 A8-1 1/4" = 1'-0"



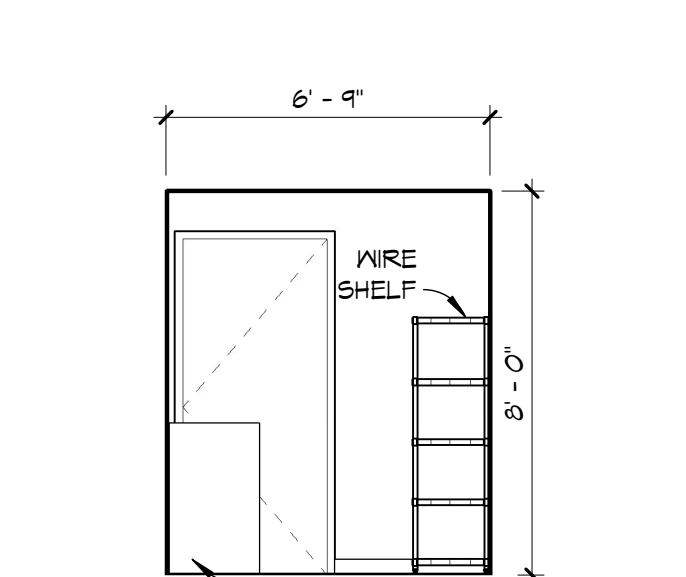
**15 OPS OFFICE ELEVATION**  
 A8-1 1/4" = 1'-0"



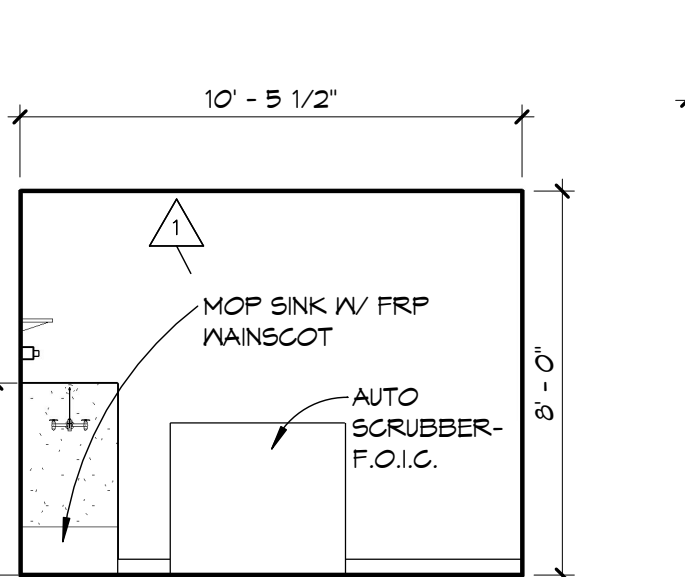
**14 OPS OFFICE ELEVATION**  
 A8-1 1/4" = 1'-0"



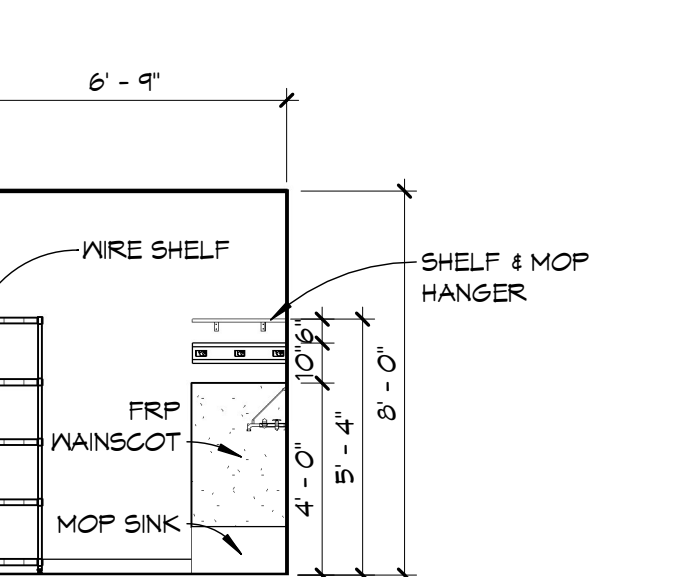
**13 OPS OFFICE ELEVATION**  
 A8-1 1/4" = 1'-0"



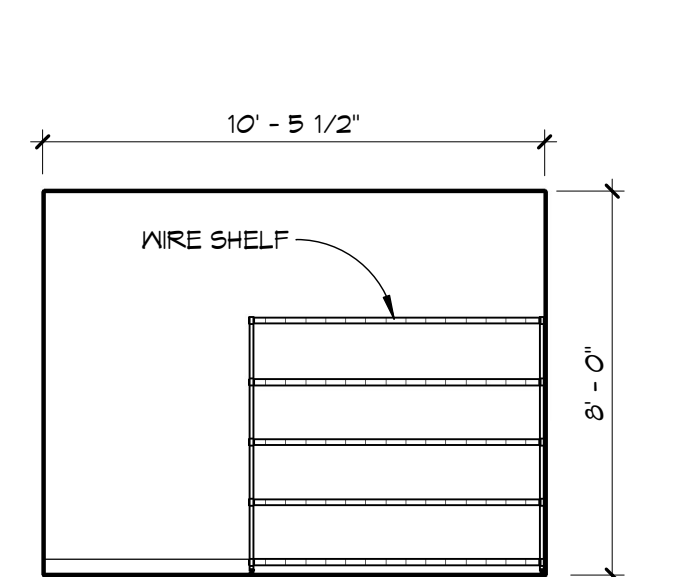
**12 MOP ROOM ELEVATION**  
 A8-1 1/4" = 1'-0"



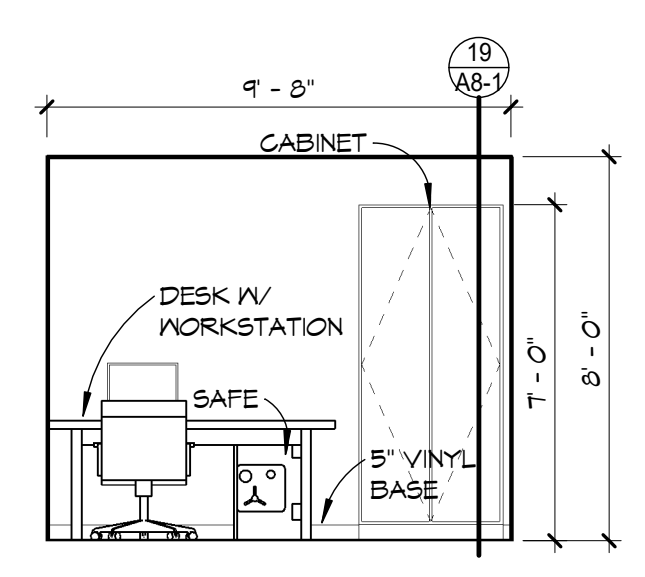
**11 MOP ROOM ELEVATION**  
 A8-1 1/4" = 1'-0"



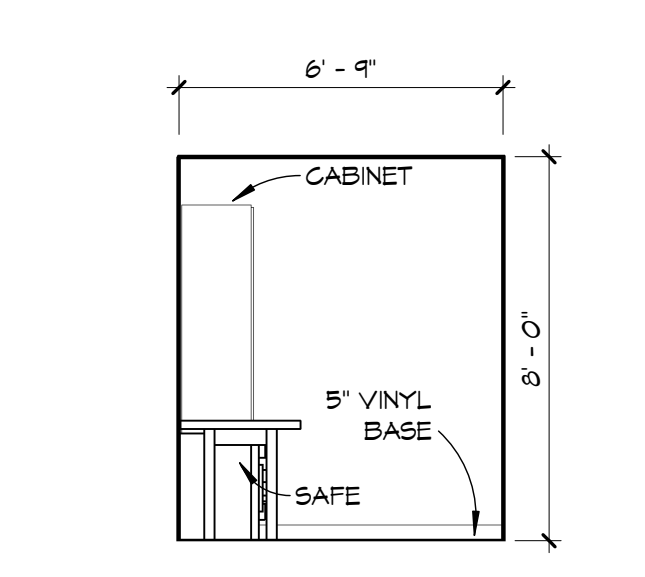
**10 MOP ROOM ELEVATION**  
 A8-1 1/4" = 1'-0"



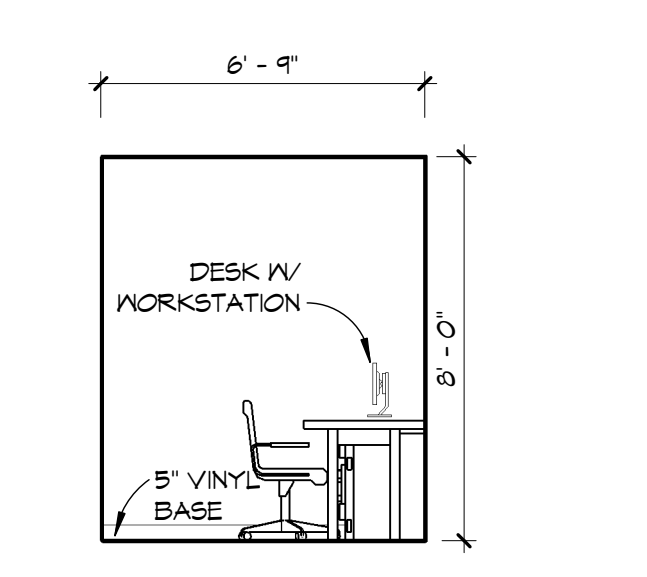
**9 MOP ROOM ELEVATION**  
 A8-1 1/4" = 1'-0"



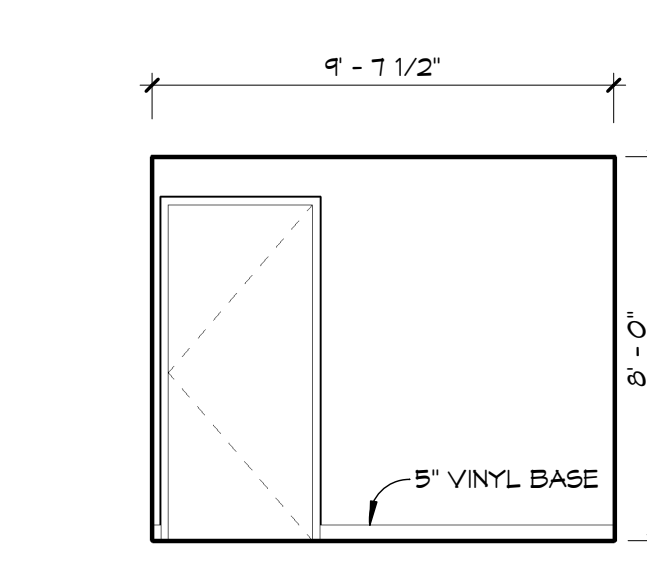
**8 CASH OFFICE**  
 A8-1 1/4" = 1'-0"



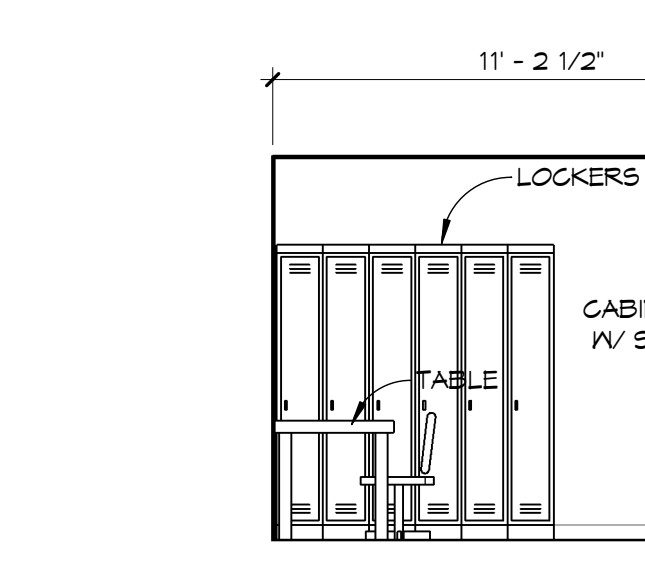
**7 CASH OFFICE**  
 A8-1 1/4" = 1'-0"



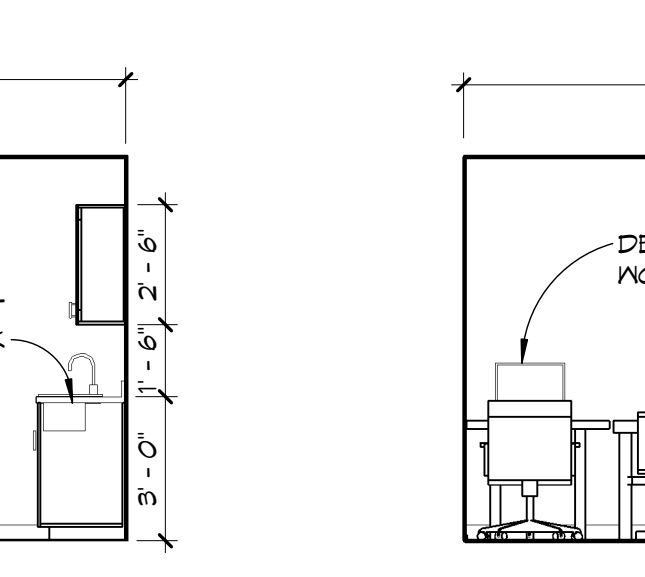
**6 CASH OFFICE**  
 A8-1 1/4" = 1'-0"



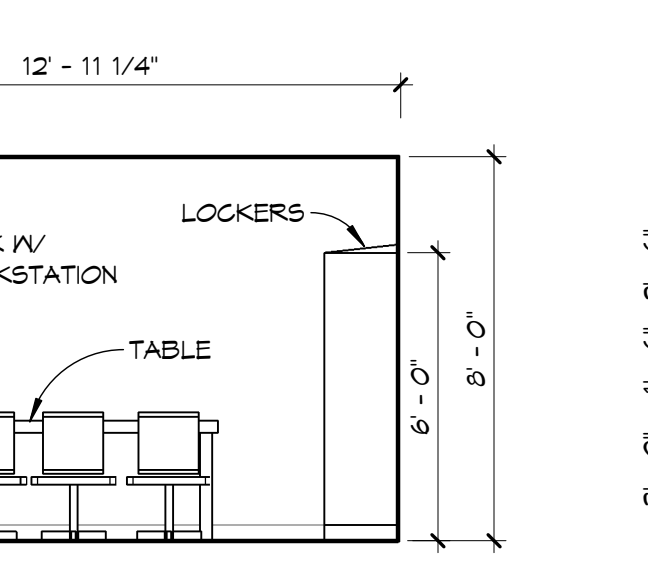
**5 CASH OFFICE**  
 A8-1 1/4" = 1'-0"



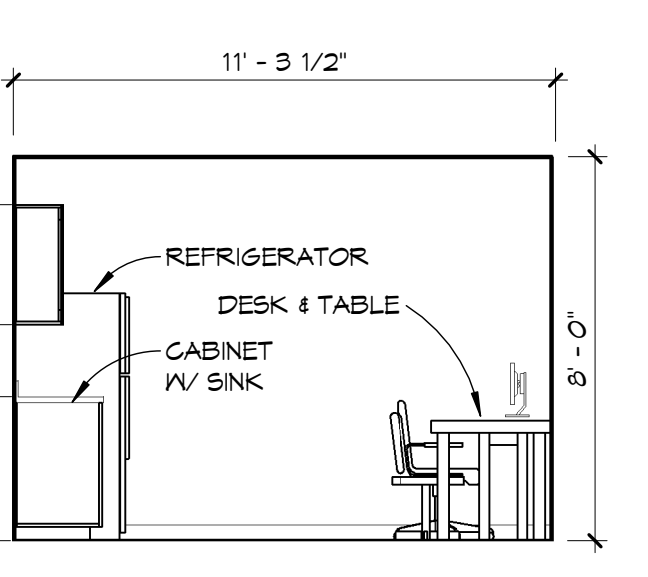
**4 BREAK ROOM ELEVATION**  
 A8-1 1/4" = 1'-0"



**3 BREAK ROOM ELEVATION**  
 A8-1 1/4" = 1'-0"

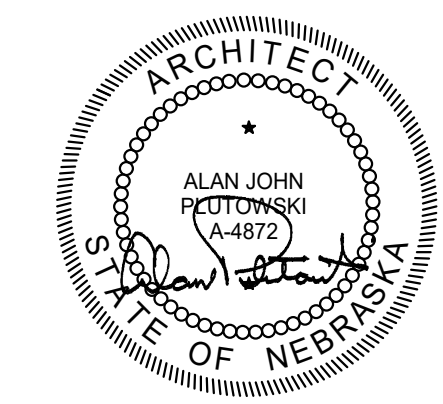


**2 BREAK ROOM ELEVATION**  
 A8-1 1/4" = 1'-0"



**1 BREAK ROOM ELEVATION**  
 A8-1 1/4" = 1'-0"

Certification



Date: 07/11/24  
 I, Alan J. Plutowski, am the Coordinating Professional on this Westgate Retail - ACE Hardware project.

Project Information

**WESTGATE PLAZA**  
**ACE HARDWARE**

3401 S. 84TH STREET  
 OMAHA, NE 68124

Revisions

1 05/30/24 TENANT REVISIONS

Date: 03/12/2024  
 Drawn By: DM  
 Checked By: AS/DC  
 Job Number: 00324

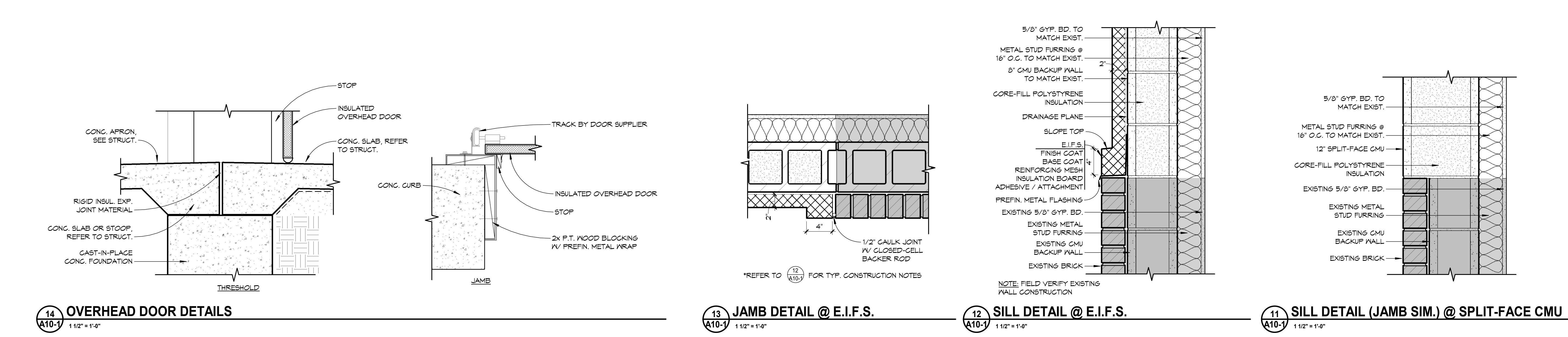
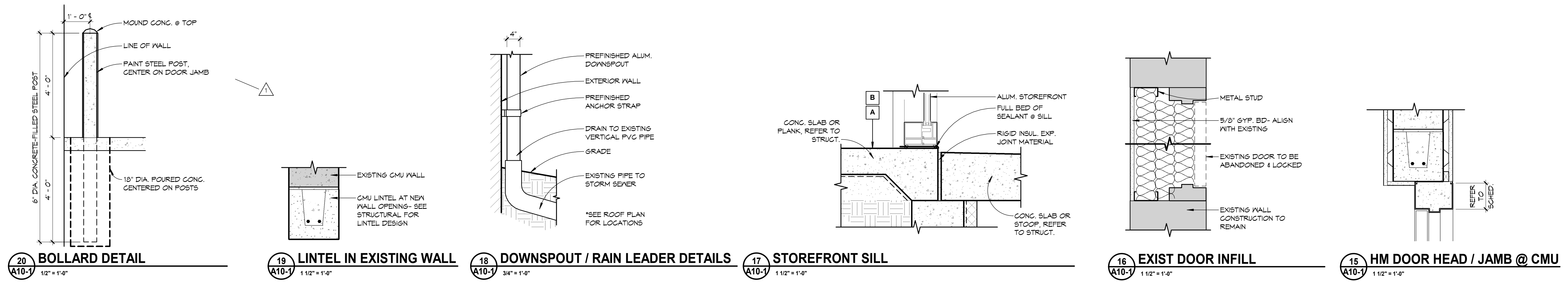
Sheet Information

INTERIOR ELEVATIONS

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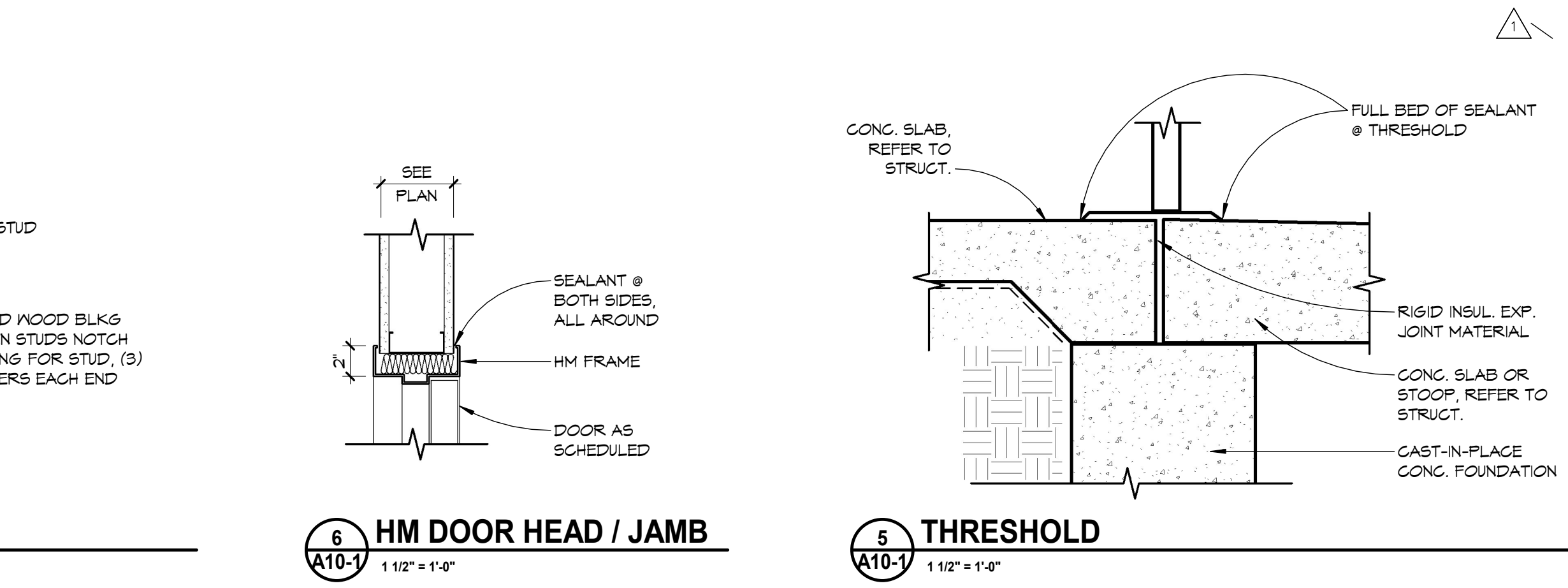
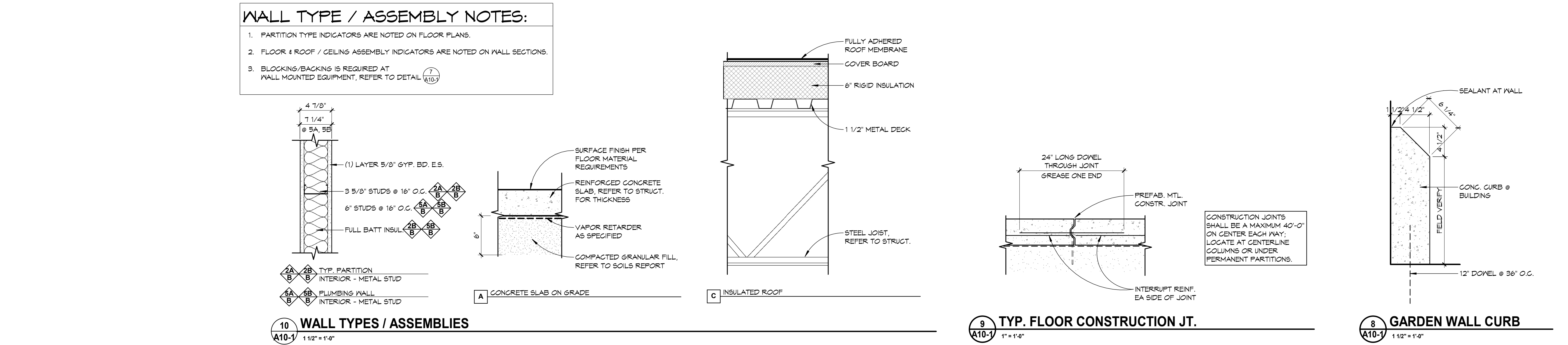
**A8-1**





**WALL TYPE / ASSEMBLY NOTES:**

- PARTITION TYPE INDICATORS ARE NOTED ON FLOOR PLANS.
- FLOOR & ROOF / CEILING ASSEMBLY INDICATORS ARE NOTED ON WALL SECTIONS.
- BLOCKING/BACKING IS REQUIRED AT WALL MOUNTED EQUIPMENT, REFER TO DETAIL A10-7.



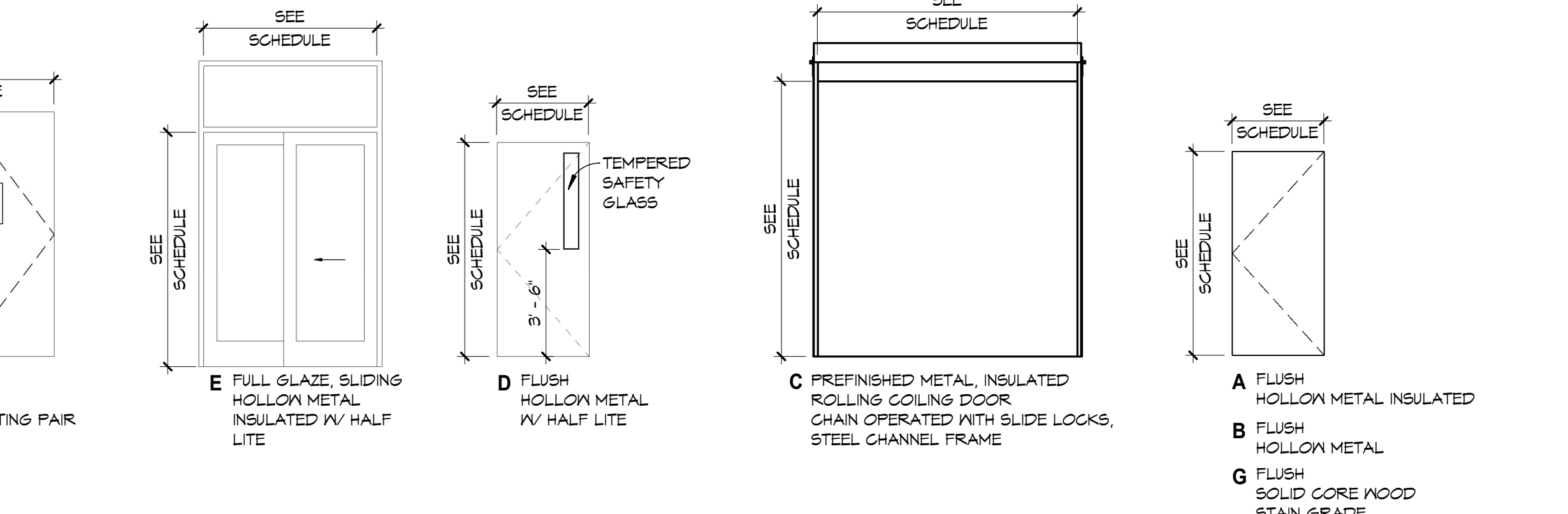
**ROOM FINISH SCHEDULE**

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
LEVEL 1						
101	SALES FLOOR	CONC.	VB	PT	OPEN - PT	FLOOR MATS AT ENTRIES - SEE SPEC.
102	OPS OFFICE	LVT	VB	PT	ACT	
103	CASH OFFICE	LVT	VB	PT	ACT	
104	MOP ROOM	LVT	VB	PT	ACT	FRP AT UTILITY SINK
105	WOMEN	LVT	VB	FRP / FT	ACT	4 FRP PANSCOT
106	MEN	LVT	VB	FRP / FT	ACT	4 FRP PANSCOT
107	BREAK ROOM	LVT	VB	PT	ACT	
108	HALL	LVT	VB	PT	ACT	
109	SECURE STORAGE	SEAL CONC.	-	PT	ACT	
110	STOCK ROOM	SEAL CONC.	-	FLYND	OPEN	
111	SERVICE AREA	SEAL CONC.	-	FLYND	OPEN	
112	COMMON ELECT.	SEAL CONC.	-	GYP	OPEN	
113	ELECTRICAL & DATA /TELCO	SEAL CONC.	-	GYP	OPEN	

NOTE: SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

**ABBREVIATIONS**

ACT	ACOUSTIC CEILING TILE
CPT	CARPET
FRP	FIBER REINFORCED PLASTIC
GYP	GYPSUM BOARD
LVT	LUXURY VINYL TILE
FLYND	PLYWOOD
PT	PANT
POL CONC.	POLISHED CONCRETE
SEAL CONC.	SEALED CONCRETE
VB	VINYL BASE



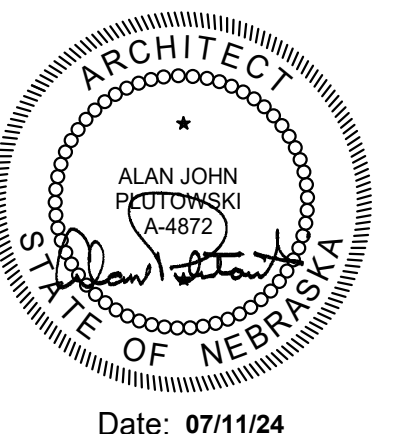
**DOOR SCHEDULE**

OPENING NUMBER	ROOM NAME	EXIST/NEV	DOOR TYPE	DOOR SIZE	DOOR / FRAME LABEL	FRAME TYPE	DETAILS	HARDWAR E GROUP	NOTES
101A	SALES FLOOR	NEV	E	8'-0" x 7'-0"	4 1/2" CLR. ANOD. ALUM	NA		1	STANLEY DURA-SLIDE 3000, FULL BLACKOUT, FACTORY CONTACTS, 1" INSUL. GLASS
101B	SALES FLOOR	NEV	E	8'-0" x 7'-0"	4 1/2" CLR. ANOD. ALUM	NA		1	STANLEY DURA-SLIDE 3000, FULL BLACKOUT, FACTORY CONTACTS, 1" INSUL. GLASS
101C	SALES FLOOR	NEV	E	8'-0" x 7'-0"	4 1/2" CLR. ANOD. ALUM	NA		1	STANLEY DURA-SLIDE 3000, FULL BLACKOUT, FACTORY CONTACTS, 1" INSUL. GLASS
101D	SALES FLOOR	EXIST	EXIST	3'-0" x 7'-0"	1 3/4" EXIST	EXIST		-	REPAIR AS NEEDED & PAINT
102	OPS OFFICE	NEV	S	3'-0" x 7'-0"	1 3/4" SG PD - STAIN	F1		2	MINIAX 'SLATE' w/ POLYCRYLIC SATIN
103	CASH OFFICE	NEV	S	3'-0" x 7'-0"	1 3/4" SG PD - STAIN	F1		2A	MINIAX 'SLATE' w/ POLYCRYLIC SATIN
104	MOP ROOM	NEV	S	3'-0" x 7'-0"	1 3/4" SG PD - STAIN	F1		2B	MINIAX 'SLATE' w/ POLYCRYLIC SATIN
105	WOMEN	NEV	S	3'-0" x 7'-0"	1 3/4" SG PD - STAIN	F1		3	MINIAX 'SLATE' w/ POLYCRYLIC SATIN
106	MEN	NEV	S	3'-0" x 7'-0"	1 3/4" SG PD - STAIN	F1		3	MINIAX 'SLATE' w/ POLYCRYLIC SATIN
107	BREAK ROOM	NEV	D	3'-0" x 7'-0"	1 3/4" SOLID CORE STAIN GRADE	F1		2	MINIAX 'SLATE' w/ POLYCRYLIC SATIN
108	HALL	NEV	A	3'-0" x 7'-0"	1 3/4" HM - INSULATED	F1/GROUT SOLID		4	PAINT EXT TO MATCH EX. WALL / REVERSE PENTER S.G.
109	SECURE STORAGE	NEV	B	3'-0" x 7'-0"	1 3/4" HM	F1		5	PAINT 'REVERSE PENTER' S.G.
110A	STOCK ROOM	NEV	A	3'-0" x 7'-0"	1 3/4" HM - INSULATED	F1/GROUT SOLID		6	PAINT EXT TO MATCH EX. WALL / REVERSE PENTER S.G.
110B	STOCK ROOM	NEV	C	8'-0" x 8'-0"	INSULATED COLLING	STEEL CHANNEL		7	COLLING OVERHEAD DOOR, FACTORY FINISH (CLOSEST TO EXT WALL COLOR)
110C	STOCK ROOM	NEV	F	6'-0" x 8'-0"	ALUM DBL ACTION	F2		4	PAIR - DOUBLE ACTING, ELIASON LWP-3 w/ 9" JAMB GUARD & 36" S5 BASE PLATES
113	ELECTRICAL & DATA /TELCO	NEV	S	3'-0" x 7'-0"	1 3/4" SG PD - STAIN	F1		6	MINIAX 'SLATE' w/ POLYCRYLIC SATIN

NOTE: SEE SPECIFICATIONS FOR HARDWARE AND OTHER INFORMATION.

Consultants

Certification



Date: 07/11/24  
 Alan J. Plutowski, am the Coordinating Professional on this Westgate Retail - ACE Hardware project.

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Sheet Information  
 SCHEDULES, DOOR & FRAME TYPES, WALL TYPES/ASSEMBLIES, DETAILS, ABBREVIATIONS  
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**GENERAL STRUCTURAL NOTES:****A. DESIGN DATA:**

DESIGN CODE:	IBC 2018
CONCRETE 28 DAY STRENGTH:	F'C = 4,000 PSI
STRUCTURAL STEEL (BEAMS & COLUMNS):	ASTM A992
MISCELLANEOUS ROLLED SECTIONS AND PLATES (ANGLES, CHANNELS, PLATES, ETC.):	ASTM A36
HIGH STRENGTH BOLTS:	ASTM A325
PLAIN BOLTS AND ANCHORS OR GR. 36 (WELDABLE, S1):	ASTM F1554 GR. 36
REINFORCING STEEL:	ASTM A615 F <sub>y</sub> = 60,000 PSI
WELDED REINFORCING:	ASTM A615 F <sub>y</sub> = 60,000 PSI
WELDED WIRE FABRIC:	ASTM A185
CONCRETE MASONRY UNITS (ASTM C90 NORMAL WEIGHT/ 1,900 PSI UNIT STRENGTH):	F <sub>m</sub> = 1,500 PSI
MORTAR TYPE M OR S GROUT 28 DAY STRENGTH:	F'C = 2,000 PSI
ALLOWABLE SOIL BEARING CAPACITY:	1,500 PSF (ASSUMED)
DESIGN LOADS:	
GRAVITY LOADS:	
FLOORS:	DL = 25 PSF LL = 100 PSF
ROOFS:	DL = 25 PSF LL BASED ON GROUND SNOW LOAD OF 30 PSF (Ce = 1.0, Cf = 1.0, AND I = 1.0)**

\*\*INCREASE LIVE LOAD FOR SNOW DRIFTING AS REQUIRED IN CONFORMANCE WITH THE AMERICAN SOCIETY OF CIVIL ENGINEERS ANSISQAE 7-16.

**WIND LOADING CRITERIA (2018 IBC)**

BASE WIND SPEED (3 SECOND GUST) V = 115 MPH  
BUILDING CATEGORY II  
IMPORTANCE FACTOR I<sub>w</sub> = 1.0  
EXPOSURE CATEGORY B

**B. FOUNDATION WORK:**

- SUBSOILS SUPPORTING OR IN DIRECT CONTACT WITH FOOTINGS, SLABS ON GRADE, OR OTHER FOUNDATION ELEMENTS SHALL BE PROTECTED AGAINST FREEZING CONDITIONS THAT COULD CAUSE MOVEMENT OR OTHER DETRIMENTAL EFFECT TO THE STRUCTURE AS A WHOLE OR TO ANY OF ITS COMPONENT PARTS.
- WHEN WORKING NEAR EXISTING AND/OR NEW CONSTRUCTION, THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION SO AS NOT TO UNDERMINE, DISTURB, DAMAGE OR, IN ANY WAY, CAUSE UNDESIRABLE MOVEMENT, CRACKING, AND/OR SETTLEMENT OF THE ADJACENT CONSTRUCTION.
- ALL SLABS ON GRADE SHALL BEAR ON UNDISTURBED VIRGIN SOIL OR PROPERLY COMPACTED BACKFILL/GRANULAR FILL. ANY UNACCEPTABLE UNDISTURBED VIRGIN SOIL OR BACKFILL/GRANULAR FILL, AS DETERMINED BY THE OWNER'S GEOTECHNICAL ENGINEER, SHALL BE REMOVED AND REPLACED AS REQUIRED BY THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL COORDINATE FOOTING ELEVATIONS WITH FINAL GRADING PLAN TO PROVIDE A MINIMUM OF 4" OF GRADE ABOVE THE BOTTOM OF ALL FOOTINGS FOR FROST PROTECTION.

**C. CONCRETE:**

- CONCRETE SHALL BE REGULAR WEIGHT (144 PCF) WITH TYPE I CEMENT, POTABLE WATER, AND AGGREGATES CONFORMING TO REQUIREMENTS OF NEBRASKA DEPARTMENT OF ROADS FOR 47-B CONCRETE, UNLESS NOTED OTHERWISE. CONCRETE SHALL CONFORM TO ACI 301-10.
- MECHANICALLY VIBRATE CONCRETE, EXCEPT THAT SLABS ON GRADE NEED BE VIBRATED ONLY AROUND UNDERFLOOR DUCTS AND OTHER ITEMS EMBEDDED IN THE SLAB.
- DO NOT PLACE PIPES, DUCTS, OR CHASES IN STRUCTURAL CONCRETE WITHOUT APPROVAL OF THE ARCHITECT/ENGINEER. SEE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR LOCATIONS.
- CONSTRUCT FORMWORK SO CONCRETE MEMBERS AND STRUCTURES ARE OF SIZE, SHAPE, ALIGNMENT, ELEVATION, AND POSITION INDICATED, WITHIN TOLERANCE LIMITS OF ACI 117.
- ALL REINFORCING STEEL SHALL BE DEFORMED NEW BILLETS BARS (A615, GRADE 60), BENT COLD, AND DETAILED, FABRICATED, AND HELD IN PLACE IN ACCORDANCE WITH THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 315, LATEST EDITION) EXCEPT AS OTHERWISE DETAILED OR SPECIFIED.
- UNLESS NOTED OTHERWISE, SLABS ON GRADE SHALL BE 4" CONCRETE REINFORCED WITH 6 X 6, W1 X W1.4 WELDED WIRE FABRIC ON 4" GRANULAR FILL WITH VAPOR BARRIER.

**D. MASONRY:**

- FURNISH AND CONSTRUCT MASONRY IN ACCORDANCE WITH THE REQUIREMENTS OF THE SPECIFICATIONS FOR MASONRY CONSTRUCTION (ACI 530.1-02/ASCE 6-02/TMS 602-02).
  - LAY MASONRY UNITS IN RUNNING BOND.
  - MAXIMUM GROUT LIFT WITHOUT CLEANOUTS SHALL BE 40" IN BLOCK WALLS AND 8" GROUTED TWO WYTHE WALLS.
  - 8" WALLS PROVIDE CONTINUOUS FULL HEIGHT VERTICAL REINFORCING IN CENTER OF GROUT AT CENTER OF WALL. TYPICAL REINFORCING SHALL BE 1 #4 @ 40" ON CENTER AND 1 #4 @ CORNERS, INTERSECTIONS, WALL ENDS, DOOR AND WINDOW JAMBS, AND SIDE OF EXPANSION OR CONTROL JOINTS UNLESS NOTED OTHERWISE.
  - PROVIDE LADDER TYPE #9 JOINT REINFORCING AT 16" ON CENTER VERTICAL SPACING IN ALL CONCRETE MASONRY AND UNLESS NOTED OTHERWISE.
  - SPLICE MASONRY WALL REINFORCING 48 BAR DIAMETERS.
  - SPLICE PLACE BOND BEAM REINFORCING AT MASONRY CONTROL/EXPANSION JOINTS AS SHOWN ON MASONRY JOINT DETAIL ON THIS SHEET.
  - PROVIDE CONTINUOUS BOND BEAMS AT ALL BEAM BEARING ELEVATIONS AND AT THE TOP OF ALL WALLS.
  - PROVIDE CONTINUOUS WIRE LATH GROUT BARRIERS BELOW BOND BEAMS.
- PROVIDE LINTELS OVER ALL OPENINGS AND RECESSES IN MASONRY WALLS. EXTERIOR LINTELS SHALL BE GALVANIZED, UNLESS NOTED OTHERWISE.
- FOR ALL OPENINGS NOT OTHERWISE DETAILED OR SCHEDULED, MINIMUM LINTELS SHALL BE FOR EACH 4 INCH OF MASONRY WIDTH 1 L ½ X 3 ½ X ½ FOR SPANS UP TO 40", 1 L 4 X 3 ½ X ½ FOR SPANS UP TO 6' 0" AND 1 L 5 X 3 ½ X 5/16 FOR SPANS UP TO 8' 0". FOR SPANS LESS THAN 2' 0" PROVIDE A 5/16" PLATE.
  - ALL LINTELS SHALL HAVE A MINIMUM BEARING OF 8 INCHES EACH END.

**E. STEEL:**

- STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC SPECIFICATIONS AND OSHA REGULATION 29 CFR PART 1926.
- ALL STEEL BEAMS BEARING ON MASONRY SHALL HAVE A MINIMUM OF 8" OF BEARING. PROVIDE THE BEAMS WITH BEARING PLATES AND WALL ANCHORS UNLESS NOTED OTHERWISE. PROVIDE A MINIMUM OF 4 COURSES OF BRICK OR SOLID CONCRETE MASONRY FOR BEAM BEARING.
- SHOP PAINT STRUCTURAL STEEL WITH FABRICATOR'S STANDARD LEAD- AND CHROMATE-FREE, NONASPHALTIC, RUST-INHIBITING PRIMER, UNLESS NOTED OTHERWISE. ALL EXTERIOR EXPOSED STEEL SHALL BE GALVANIZED. UPON APPROVAL OF ARCHITECT, PAINTING MAY NOT BE REQUIRED FOR SURFACES ENCLOSED IN INTERIOR CONSTRUCTION.
- COMPLY WITH AMERICAN WELDING SOCIETY STANDARDS. ALL WELDERS SHALL HAVE VALID CERTIFICATES AND HAVE CURRENT EXPERIENCE IN TYPE OF WELD CALLED FOR.
- WELDING ELECTRODES SHALL BE E70 FOR ALL STEEL, UNLESS NOTED OTHERWISE.

**F. STEEL DECK:**

- MATERIAL, DESIGN, MANUFACTURE, AND INSTALLATION OF METAL DECKING SHALL BE FURNISHED BY A MEMBER OF THE STEEL DECK INSTITUTE.
- PROVIDE 1.3X3X1/4 ANGLE FRAMING AROUND ALL ROOF PENETRATIONS AND AS REQUIRED FOR SUPPORT OF ROOF CURBS TO STIFFEN METAL DECK EDGES.
- NEW ROOF DECK SHALL MATCH EXISTING PROFILE AND GAUGE. WELD STEEL DECK TO STRUCTURAL MEMBERS WITH MINIMUM 5/8" DIAMETER PUDDLE WELDS AT 6" ON CENTER AT DECK ENDS AND LAPS, 12" ON CENTER AT INTERMEDIATE LOCATIONS. FASTEN STEEL DECK SIDELAPS WITH #10 TEK SCREWS AT 8" ON CENTER.
- LIGHT GAUGE METAL:
  - LIGHT GAUGE METAL FRAMING SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH THE LATEST EDITION OF "THE NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS" AND "THE COLD FORMED STEEL FRAMING DESIGN GUIDE" OF THE AMERICAN IRON AND STEEL INSTITUTE.
  - PROVIDE TRACKS, BLOCKING, LINTELS, CLIP ANGLES, STRAP BRACING, SHOES, REINFORCEMENTS, FASTENERS, AND ACCESSORIES TO PROVIDE A COMPLETE METAL FRAME SYSTEM.
  - ISOLATE PARTITIONS FROM STRUCTURAL ELEMENTS WITH SLIP OR CUSHION TYPE JOINTS BETWEEN STEEL FRAMING AND STRUCTURE AS RECOMMENDED BY STEEL FRAMING MANUFACTURER TO PREVENT TRANSFER OF STRUCTURAL LOADS OR MOVEMENTS TO PARTITIONS.
  - INSTALL HORIZONTAL BRIDGING IN WALL SYSTEM AS REQUIRED BY METAL STUD SUPPLIER. MINIMUM BRIDGING SPACING SHALL BE 40" O.C. (VERTICAL DISTANCE.) UNTIL PERMANENT INTERIOR WALL SHEATHING IS INSTALLED.
  - FASTEN PLYWOOD WITH ¼ INCH TEK SCREWS AT 6 INCH AT ALL SUPPORTS AND EDGES.
  - BEARING STUDS MUST BE FABRICATED WITH FULL STUD END SEATED AGAINST TRACK WEB. DO NOT USE STUD THAT HAS BEEN CUT.
  - PROVIDE DOUBLE METAL STUD AROUND ALL OPENINGS IN STUD WALL SYSTEM AT JAMBS, HEADS, AND SILLS. WELD AT ALL INTERSECTIONS.

**H. INSPECTIONS:**

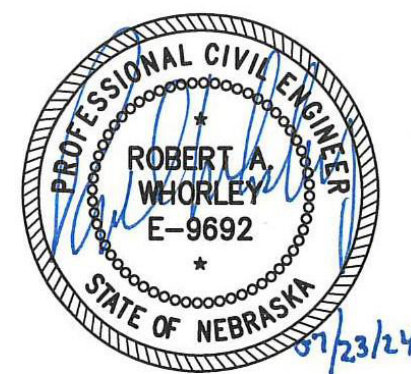
- IN ACCORDANCE WITH 2018 IBC SECTION 1705, AS NOTED BELOW, TESTING AND INSPECTION SHALL BE BY AN INDEPENDENT TESTING/INSPECTION FIRM UNDER THE SUPERVISION OF A LICENSED ENGINEER EMPLOYED BY THAT FIRM. THIS ENGINEER SHALL BE DEEMED THE DESIGNATED ENGINEER OF RECORD FOR SPECIAL INSPECTIONS PERFORMED BY HIS FIRM OR HIS CONSULTANTS. INSPECTORS SHALL BE ICBO CERTIFIED AND APPROVED BY THE BUILDING OFFICIAL.
- THE DESIGNATED ENGINEER OF RECORD FOR SPECIAL INSPECTIONS SHALL BE RESPONSIBLE FOR DEFINING THE ACTIVITIES OF THE INSPECTORS, FOR CERTIFYING THE QUALIFICATIONS OF THE INSPECTORS WITH THE BUILDING OFFICIAL, AND TO ATTEND THE PRE-CONSTRUCTION MEETING TO DEFINE THEIR SCOPE OF SERVICES AND THE TESTING OR TEST PROCEDURES THAT ARE REQUIRED AS OUTLINED IN THE INTERNATIONAL BUILDING CODE.
- SPECIAL INSPECTION IS TO BE PROVIDED IN ADDITION THE INSPECTIONS CONDUCTED BY THE LOCAL DEPARTMENT OF BUILDING SAFETY AND SHALL NOT BE CONSTRUED TO RELIEVE THE OWNER OR HIS AUTHORIZED AGENT FROM REQUESTING THE PERIODIC AND CALLED INSPECTIONS REQUIRED BY SECTION 104.4 OF "THE INTERNATIONAL BUILDING CODE.
- SPECIAL INSPECTIONS REQUIRED INCLUDE, BUT MAY NOT BE LIMITED TO, THE FOLLOWING:
  - CONCRETE PER SECTION 1705.3 AND TABLE 1705.3 AND ALL APPLICABLE EXCEPTIONS.
  - WELDING: PER SECTION 1705.3.
  - STRUCTURAL MASONRY PER SECTION 1705.4.

**I. OTHER:**

- UNLESS NOTED OTHERWISE, EXPANSION ANCHORS SHALL BE HILTI KWIK BOLT 3 EXPANSION ANCHORS OR APPROVED EQUAL. ADHESIVE (EPOXY) ANCHORS SHALL CONSIST OF HILTI STANDARD HAS-E RODS WITH THE HIT-HY 200 ADHESIVE SYSTEM OR APPROVED EQUAL. INSTALL ANCHOR PER MANUFACTURER'S REQUIREMENTS.
- VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK. NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR INCONSISTENCIES.
- VERIFY IN FIELD ALL EXISTING CONDITIONS SHOWN ON DRAWINGS.
- ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL, AND PLUMBING WITH APPROPRIATE TRADES. PROVIDE ALL TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.
- INSTALLING CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SHORING OF EXISTING STRUCTURE AT NEW WALL OPENINGS.
- ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE STAMP (AND SIGNATURE) OF AN ENGINEER REGISTERED IN NEBRASKA.



**Alan J. Plutowski**  
ARCHITECT  
4125 Lakeland Ave N., Suite 200  
Minneapolis, Minnesota 55422  
Phone: 763-533-7171

**Consultants****Certification****Project Information**

WESTGATE PLAZA  
ACE HARDWARE

3101 S. 84TH STREET  
OMAHA, NE 68124

**Revisions**

Date: 03/12/2024  
Drawn By: Author  
Checked By: Checker  
Job Number: 00324

**Sheet Information**

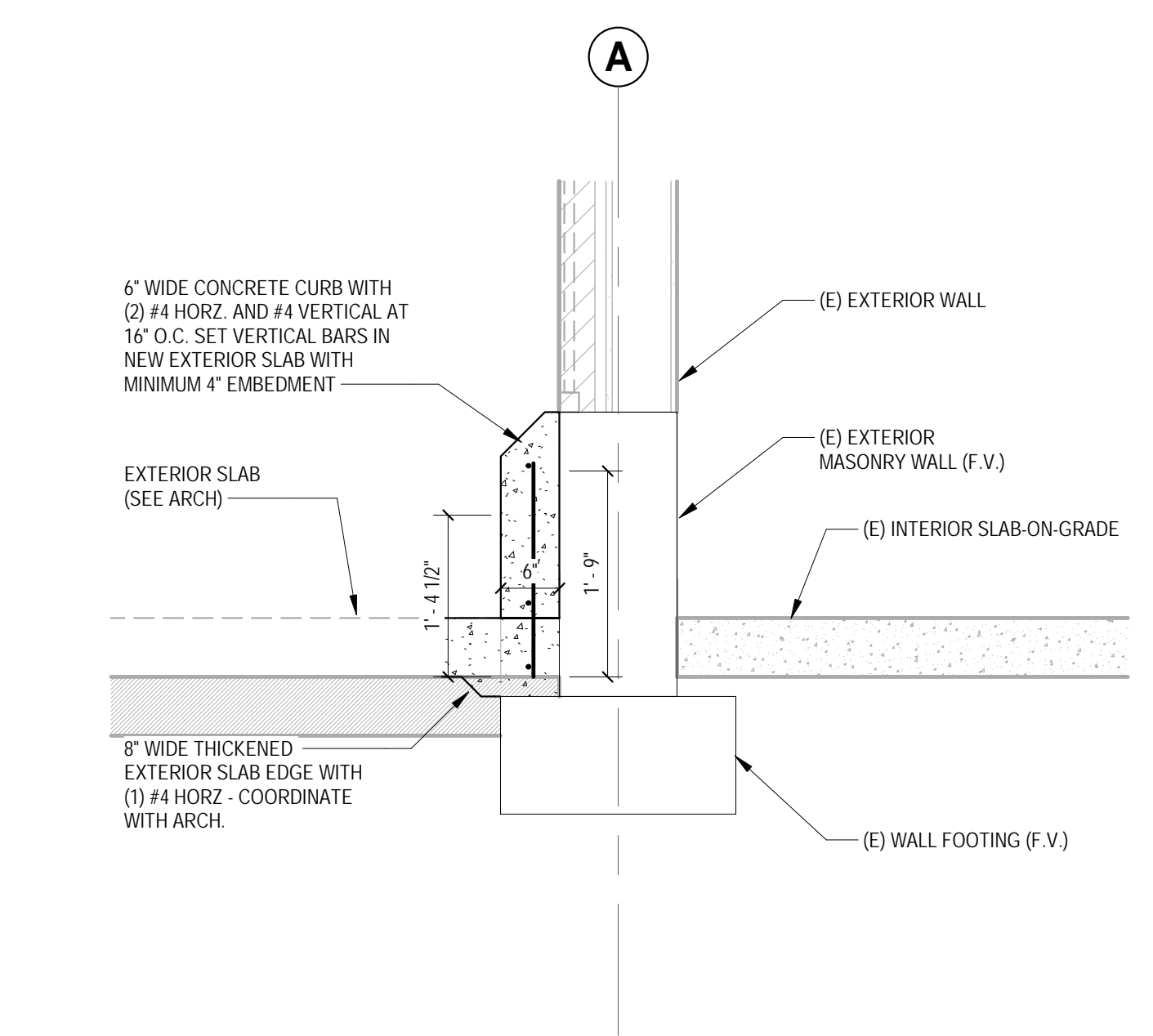
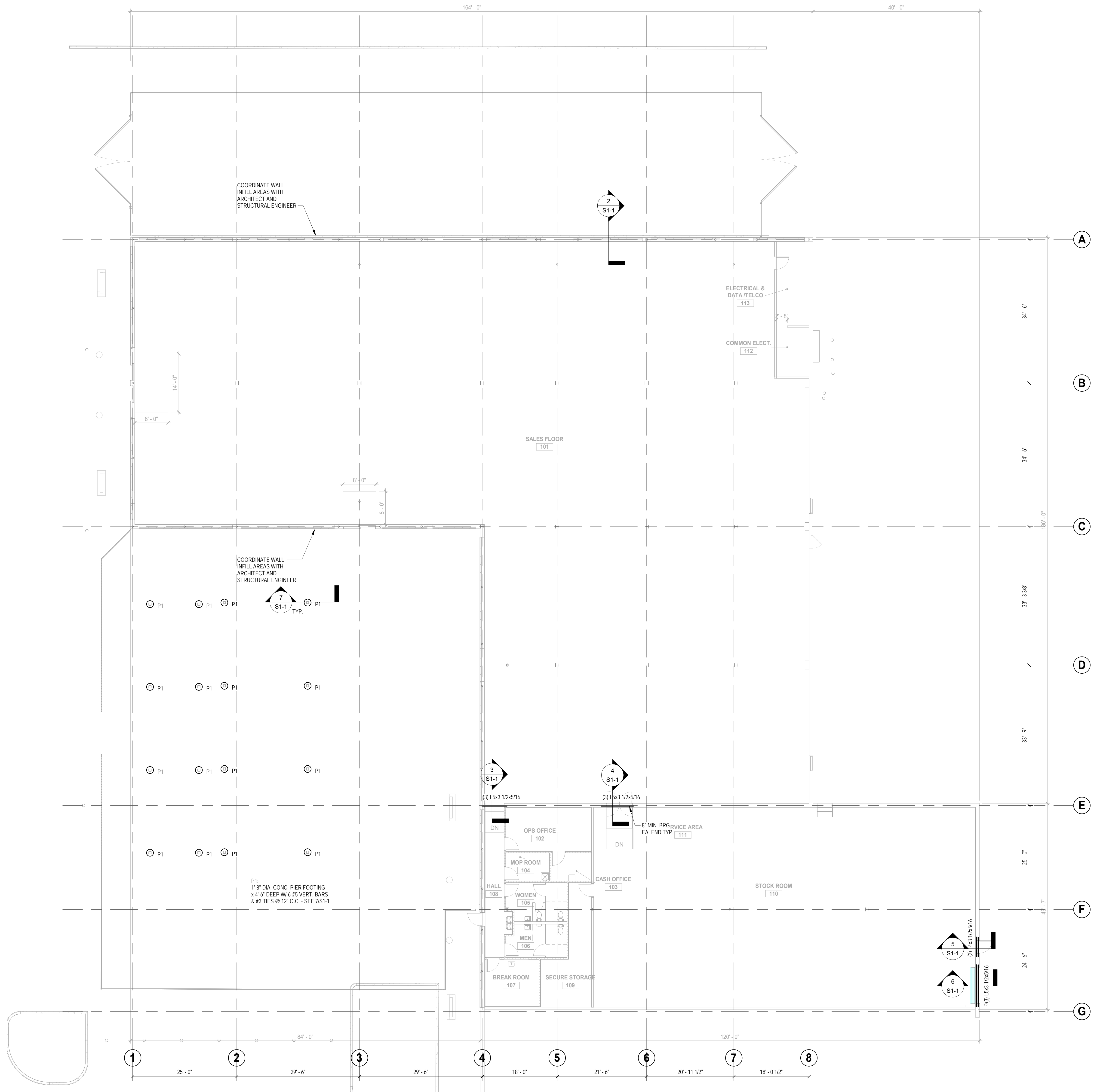
GENERAL STRUCTURAL  
NOTES

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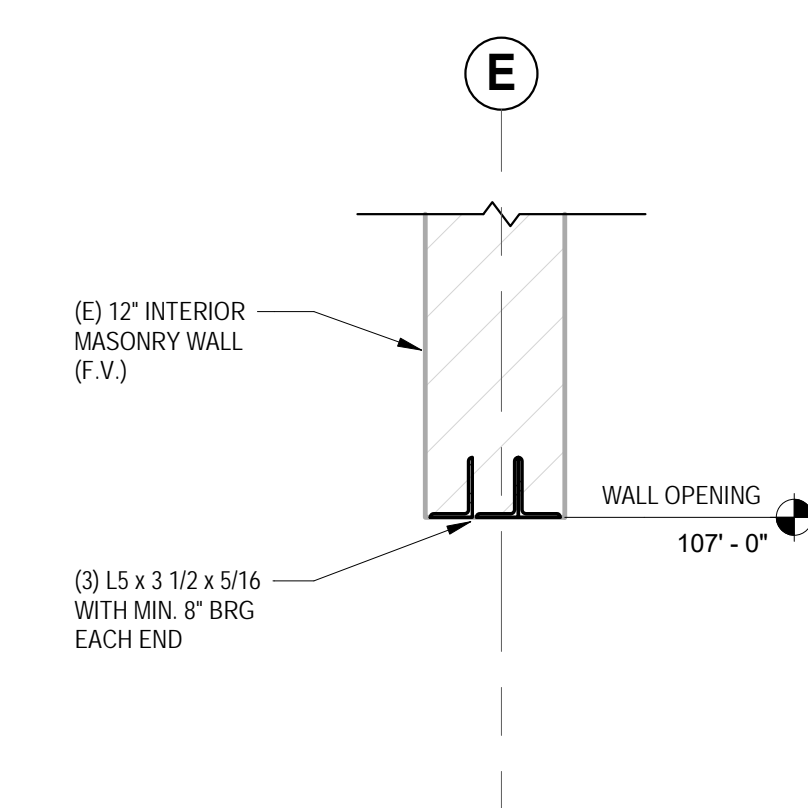
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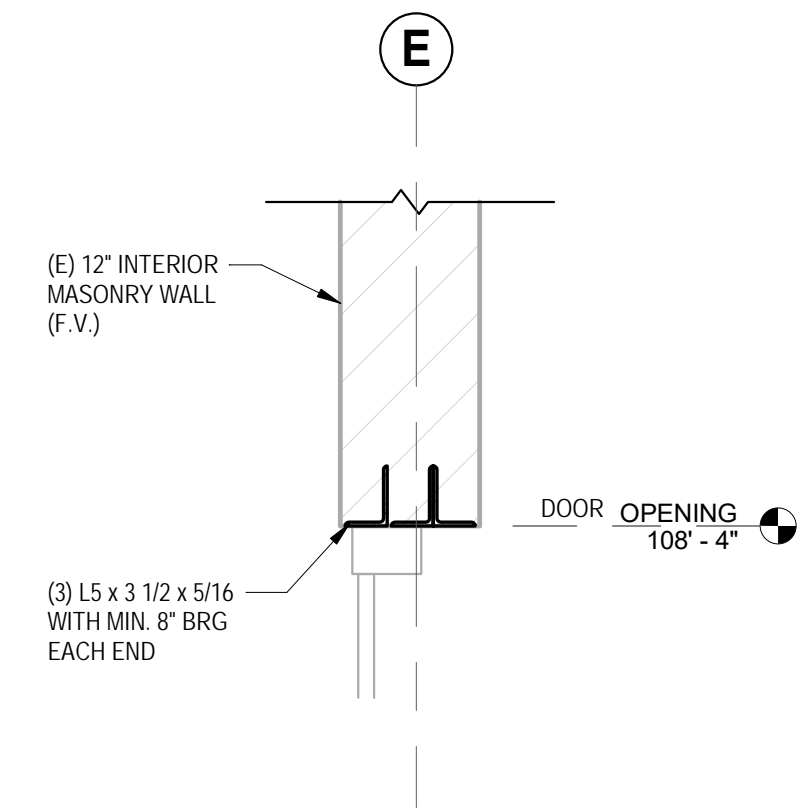
Consultants



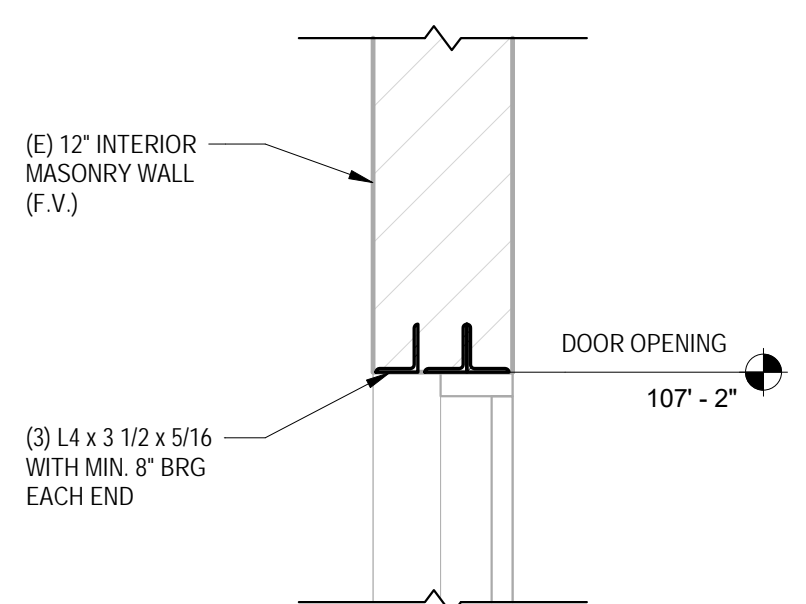
**2 SECTION AT FLOOR SLAB**  
 S1-1 3/4" = 1'-0"



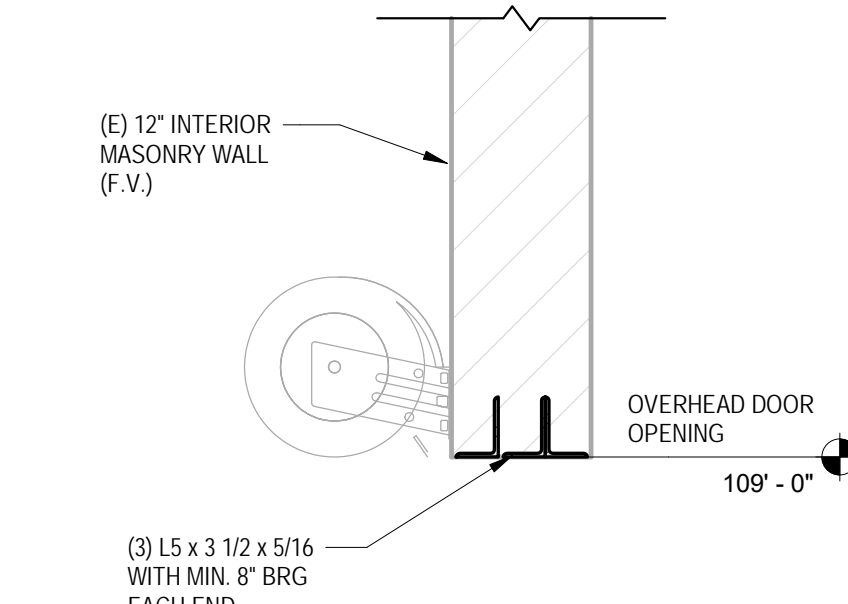
**3 LINTEL SECTION**  
 S1-1 3/4" = 1'-0"



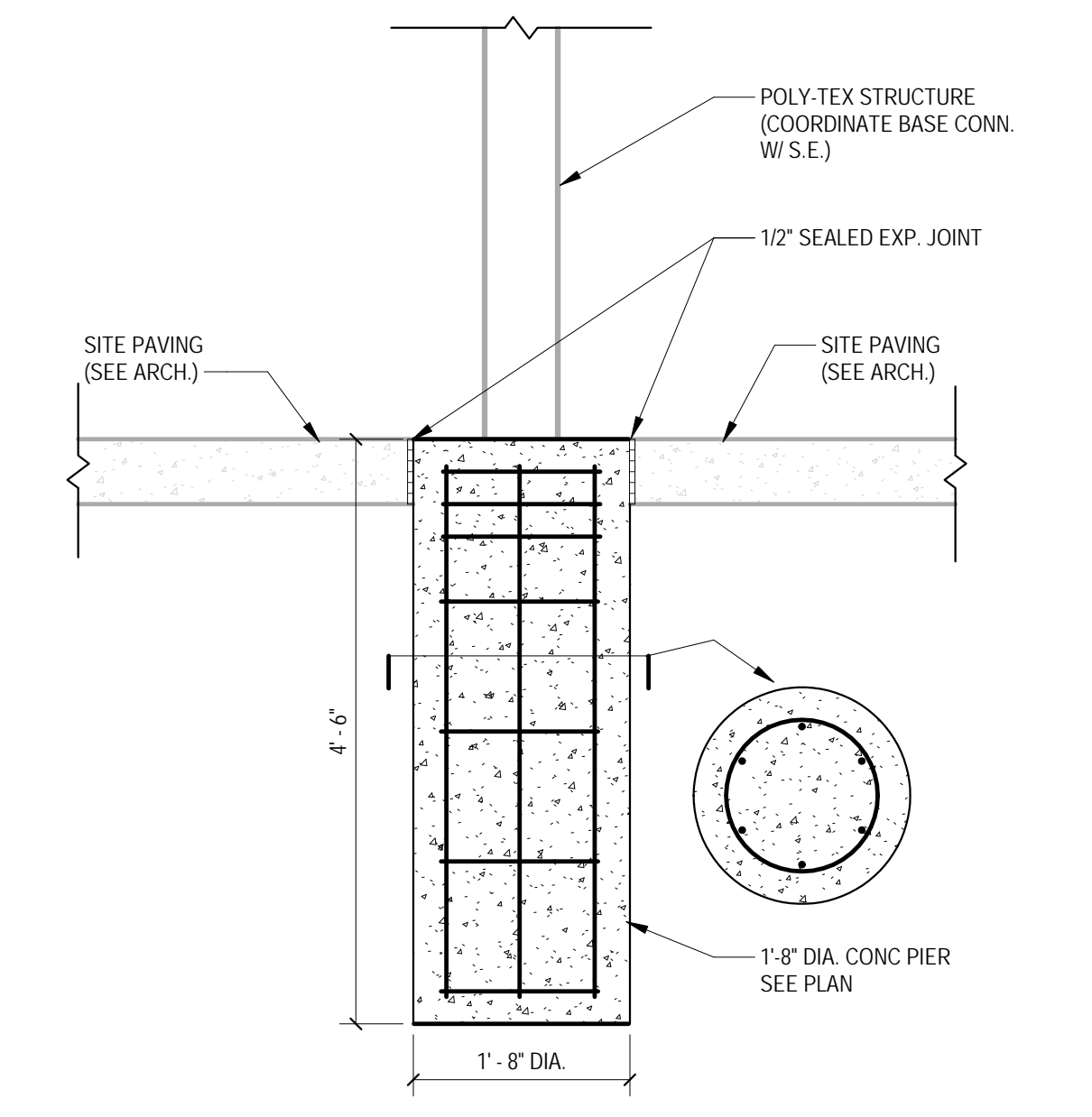
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 S1-1 3/4" = 1'-0"



**5 LINTEL SECTION**  
 S1-1 3/4" = 1'-0"



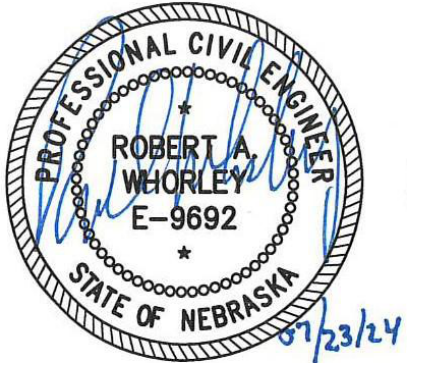
**6 LINTEL SECTION**  
 S1-1 3/4" = 1'-0"



**7 PIER FOOTING SECTION**  
 S1-1 3/4" = 1'-0"

**1 STRUCTURAL FLOOR PLAN**  
 S1-1 3/32" = 1'-0"

Certification

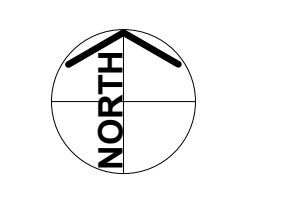


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Sheet Information

STRUCTURAL FLOOR PLAN  
 AND NOTES

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S1-1



























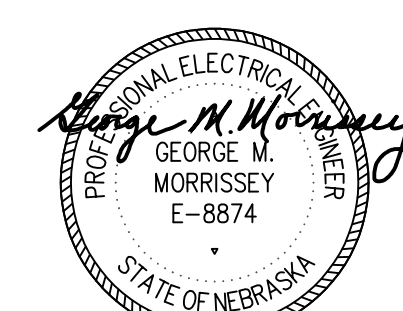
**Consultants**

MEI NO: 24069

**morrissey engineering inc**  
 mechanical | electrical | lighting | technology | commissioning  
 4940 North 188th Street  
 Omaha, NE 68144  
 P: 402.491.4144  
 www.morrisseyengineering.com

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**Certification**



Date: 03/28/2024

I, Alan J. Plutowski, am the Coordinating Professional on this Westgate Retail - ACE Hardware project.

**Project Information**  
**WESTGATE PLAZA**  
**ACE HARDWARE**

S. 84TH STREET  
 OMAHA, NE 68124

**Revisions**

1	05/30/24	TENANT REVISIONS
2	07/17/24	TENANT REVISIONS

Date: 02/16/2024  
 Drawn By: NWM  
 Checked By: NWM  
 Job Number: 00324

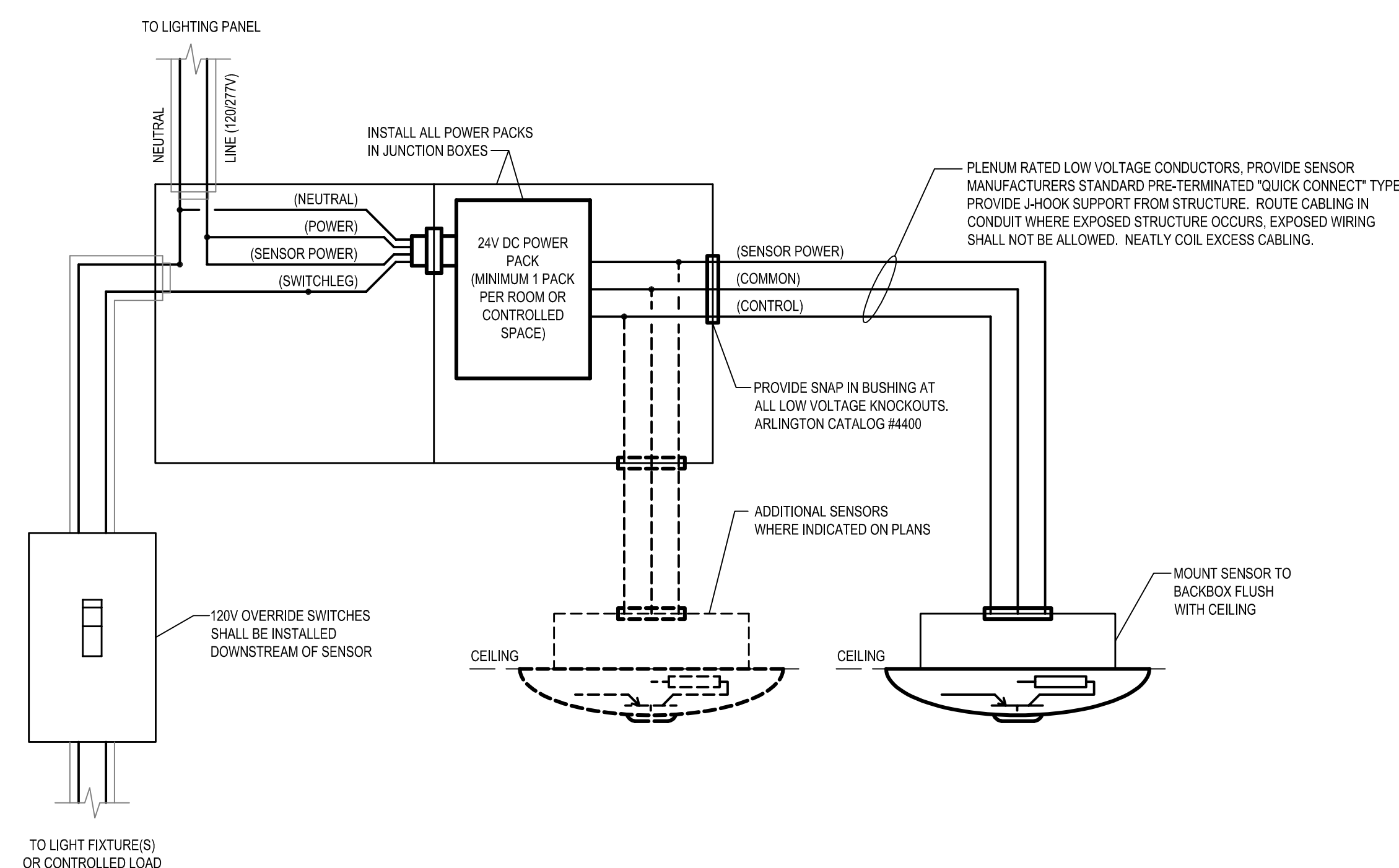
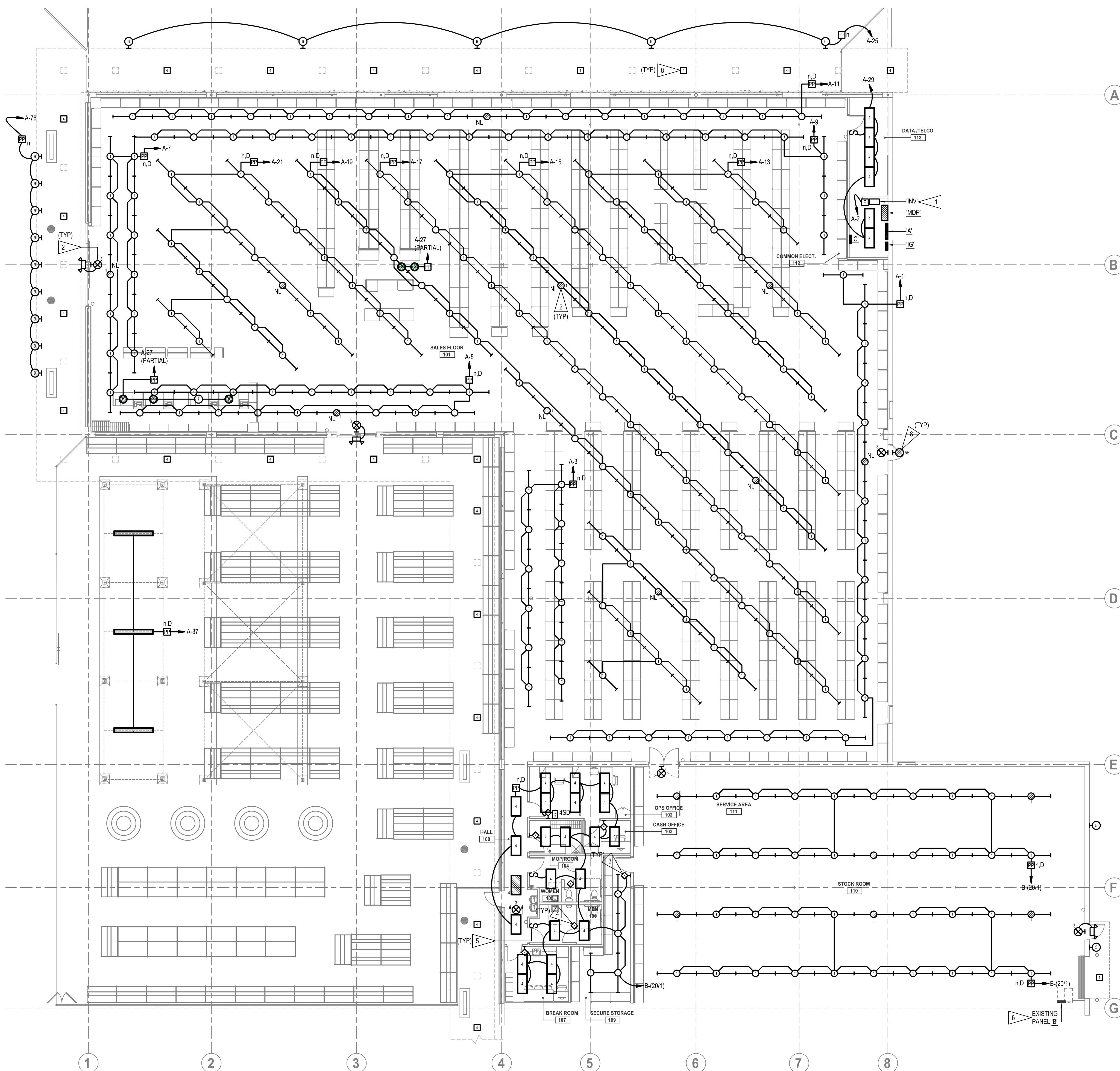


**Sheet Information**

FLOOR PLAN - LIGHTING

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**E1-1**



**2 E1-1 TYPICAL CEILING OCCUPANCY SENSOR CONNECTION DETAIL**  
 NOT TO SCALE

**1 E1-1 FLOOR PLAN - LIGHTING**  
 3/32" = 1'-0"

FIXT #	MANUFACTURER	CATALOG NO. (NOTE 2)	LAMP DATA			MOUNTING			DESCRIPTION	REMARKS
			QTY.	SIZE	TYPE (NOTE 3)	15'	20'	HEIGHT		
1	LITHONIA, NOTE 1	TZLN L80 1000LM FST MVOLT 40K 80CRI WH	N/A	10,000 LM / 4000K	LED	120277	X	X	8FT STRIP LIGHT	
2	LITHONIA, NOTE 1	ZLN L48 5000LM FST MVOLT 40K 80CRI WH	N/A	5,000 LM / 4000K	LED	120277	X	X	4FT STRIP LIGHT	
3	LITHONIA, NOTE 1	LHOM LED R HO RO	N/A	N/A	LED	120277	X	X	EXIT LIGHT	NOTE 4
3	LITHONIA, NOTE 1	2GTL4 48L E21 LPR40	N/A	4,800 LM / 4000K	LED	120277	X	X	2X4 TROFFER	
4	CREE	CPY250 C 13L 50K7 0 UL DM WH	N/A	13,750 LM / 5000K	LED	120277	X	X	CANOPY LIGHT	
5	LITHONIA, NOTE 1	WST LED P3 40K 1W MVOLT E20W/C	N/A	6,000 LM / 4000K	LED	120277	X	X	WALL PACK	WI EM BATTERY
5E	LITHONIA, NOTE 1	WST LED P3 40K 1W MVOLT E20W/C	N/A	6,000 LM / 4000K	LED	120277	X	X	WALL PACK	WI EM BATTERY
6	LITHONIA, NOTE 1	WDGE3 LED P3 50K 70CRI RFT MVOLT	N/A	10,000 LM / 4000K	LED	120277	X	X	WALL PACK	
7	LSI ABOLITE	RD200 INC 120 MSV CA120BK	1	NOTE 5	LED	120277	X	X	PENDANT	
8	WILLIAMS, NOTE 1	86-8-160850-HAFR-DIM-INV	N/A	16,000 LM / 5000K	LED	120277	X	X	8FT GASKETED	
9	BASELITE	A81-41-412-100W	1	NOTE 6	LED	120277	X	X	SIGN LIGHT	

- NOTES:**
1. FIXTURE SHALL BE CONSIDERED EQUAL AS MANUFACTURED BY COLUMBIA, DAY-BRITE, COOPER, AND H.E. WILLIAMS.
  2. CONTRACTOR SHALL VERIFY LIGHT FIXTURE CATALOG NUMBER & INSTALLATION REQUIREMENTS PRIOR TO ORDERING.
  3. LAMP TYPE DESCRIPTION: LED=LIGHT EMITTING DIODE
  4. WHERE INDICATED ON PLAN PROVIDE REMOTE HEAD - LITHONIA RELA B T SD OVP L0309.
  5. PROVIDE WITH LED RETROFIT LAMP - 4000K - 100W EQUIVALENT.
  6. PROVIDE WITH LED RETROFIT LAMP - SATCO #539750.

LIGHTING CONTROL DEVICE SCHEDULE			
SYMBOL	MANUFACTURER	CATALOG NUMBER	DESCRIPTION
[Symbol]	SENSORSWITCH	nECY MVOLT ENC 12MO	LIGHTING CONTROL NETWORK HEAD END WITH TIME CLOCK
[Symbol]	SENSORSWITCH	nPDM 4S DX	FOUR SCENE LIGHTING CONTROL NETWORK ENTRY STATION WITH ON / OFF PUSH BUTTONS AND RAISE / LOWER DIMMING CONTROLS
[Symbol]	SENSORSWITCH	nPP16	LIGHTING CONTROL NETWORK POWER PACK - NO DIMMING
[Symbol]	SENSORSWITCH	nPP16 ER	LIGHTING CONTROL NETWORK POWER PACK - NO DIMMING, WITH UL924 EMERGENCY OPERATION
[Symbol]	SENSORSWITCH	nPP16 DS	LIGHTING CONTROL NETWORK POWER PACK - WITH DIMMING
[Symbol]	SENSORSWITCH	nPP16 DS ER	LIGHTING CONTROL NETWORK POWER PACK - WITH DIMMING, WITH UL924 EMERGENCY OPERATION
[Symbol]	SENSORSWITCH	WSX PDT XX	LINE VOLTAGE SINGLE POLE WALL BOX OCCUPANCY SENSOR
[Symbol]	SENSORSWITCH	CM PDT 10	LOW VOLTAGE CEILING SENSOR, STAND ALONE TYPE.

- NOTES:**
1. PRODUCTS LISTED INDICATE BASIS OF DESIGN PRODUCTS. REFER TO SPECIFICATIONS FOR ACCEPTABLE EQUIVALENT MANUFACTURERS.
  2. COORDINATE DIMMING TYPE REQUIRED WITH ASSOCIATED LIGHT FIXTURE TYPE CONTROLLED.

**GENERAL NOTES**

1. MINIMUM SIZE FOR BRANCH CIRCUIT CONDUITS SHALL BE 1/2" MINIMUM DATA/COMMUNICATIONS CONDUIT SIZE SHALL BE 1" - SEE DRAWINGS FOR AREAS WHERE LARGER CONDUITS ARE REQUIRED.
2. AT CONTRACTOR'S OPTION, THE USE OF MULTI-WIRE BRANCH CIRCUITS IS ALLOWED. PROVIDE MEANS TO SIMULTANEOUSLY DISCONNECT ALL CIRCUIT BREAKERS SHARING A COMMON NEUTRAL.
3. PROVIDE A GREEN INSULATED GROUND WIRE IN ALL LIGHTING AND POWER BRANCH CIRCUITS.
4. COORDINATE ROUTING OF EXPOSED CONDUIT WITH OWNER AND GENERAL CONTRACTOR PRIOR TO ROUGH IN. MOUNT EXPOSED CONDUIT TIGHT AND PARALLEL TO STRUCTURE.
5. TAKE CARE TO ENSURE THAT ALL ELECTRICAL AND MECHANICAL DEVICES LOCATED WITHIN SAME VICINITY OF EACH OTHER ARE ALIGNED BOTH VERTICALLY AND HORIZONTALLY. SEE DETAIL [Symbol] FOR ADDITIONAL INFORMATION.

**ENERGY CODE COMPLIANCE**

CODE	2018 IECC	
ComCHECK	YES	
COMMISSIONING	YES	NOTE 1

- NOTES:**
1. REQUIRED DOCUMENTS (REFER TO CODE) SHALL BE PROVIDED TO THE BUILDING OWNER OR OWNER REPRESENTATIVE WITHIN 90 DAYS OF THE DATE OF RECEIPT OF THE CERTIFICATE OF OCCUPANCY.

**FLAG NOTES**

1. PROVIDE NEW CENTRAL INVERTER - EVEN/ITE ALUM 1000VA LC 1A OA C5 FS WM OR EQUAL.
2. CONNECT EXIT LIGHTING AND LIGHTING INDICATED WITH CROSS HATCHING TO ONE OF FIVE DEDICATED OUTPUT BREAKERS IN NEW CENTRAL INVERTER.  
 BREAKER #1 - SALES FLOOR EMERGENCY LIGHTING  
 BREAKER #2 - STOCK ROOM EMERGENCY LIGHTING  
 BREAKER #3 - HALL EMERGENCY LIGHTING  
 BREAKER #4 - EXIT LIGHTING  
 BREAKER #5 - SPARE  
 PROVIDE ONE [Symbol] FOR EACH OF THREE EMERGENCY LIGHTING CIRCUITS ALLOWING THE LIGHTING TO BE CONTROLLED IN A SIMILAR FASHION AS SURROUNDING LIGHTING UNTIL A POWER OUTAGE. THEN THE LIGHTING IN THESE CIRCUITS WILL TURN TO 100% ON.
3. PROVIDE LINE VOLTAGE WALL BOX OCCUPANCY SENSOR - SEE LIGHTING CONTROL DEVICE SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
4. PROVIDE NEW CEILING MOUNTED OCCUPANCY SENSOR - SEE SPECIFICATIONS. ROUTE CIRCUIT THROUGH NEW POWER PACK WITH AUXILIARY RELAYS. CONTROLLED BY NEW OCCUPANCY SENSOR(S). PROVIDE AUXILIARY POWER PACKS AS REQUIRED. SEE DETAIL [Symbol] FOR ADDITIONAL INFORMATION.
5. CONNECT SWITCH DOWNSTREAM OF OCCUPANCY SENSORS. SWITCH SHALL SERVE AS MANUAL SHUTOFF ONLY.
6. EXISTING PANEL BOARD SERVING AREA OF REMODEL. REUSE EXISTING CIRCUITS WHERE POSSIBLE. PROVIDE NEW BREAKERS AS REQUIRED TO ACCOMMODATE REMODEL. PROVIDE AN UPDATED TYPED CIRCUIT DIRECTORY AFTER REMODEL IS COMPLETE.
7. CONNECT TO EXISTING (201) BREAKER IN PANEL INDICATED THAT BECOMES SPARE DURING DEMOLITION OR EXISTING SPARE (201) BREAKER IN PANEL SERVING AREA OF REMODEL.
8. REMOVE EXISTING LIGHT FIXTURE AND REPLACE WITH NEW FIXTURE INDICATED (WHERE APPLICABLE). CONNECT NEW FIXTURE TO EXISTING BRANCH CIRCUIT SERVING EXISTING LIGHT FIXTURE REMOVED.



**Consultants**

MEI NO: 24069

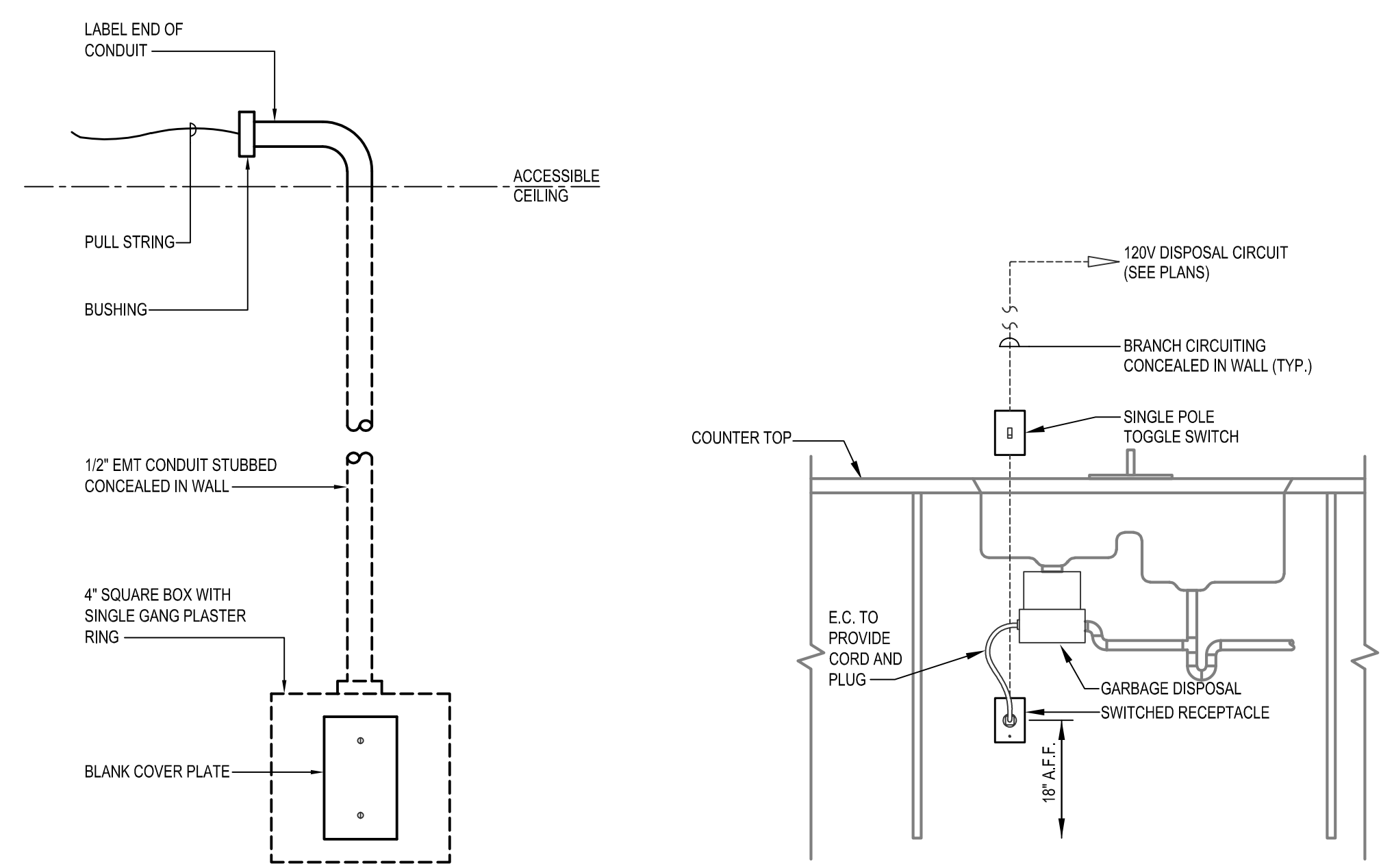
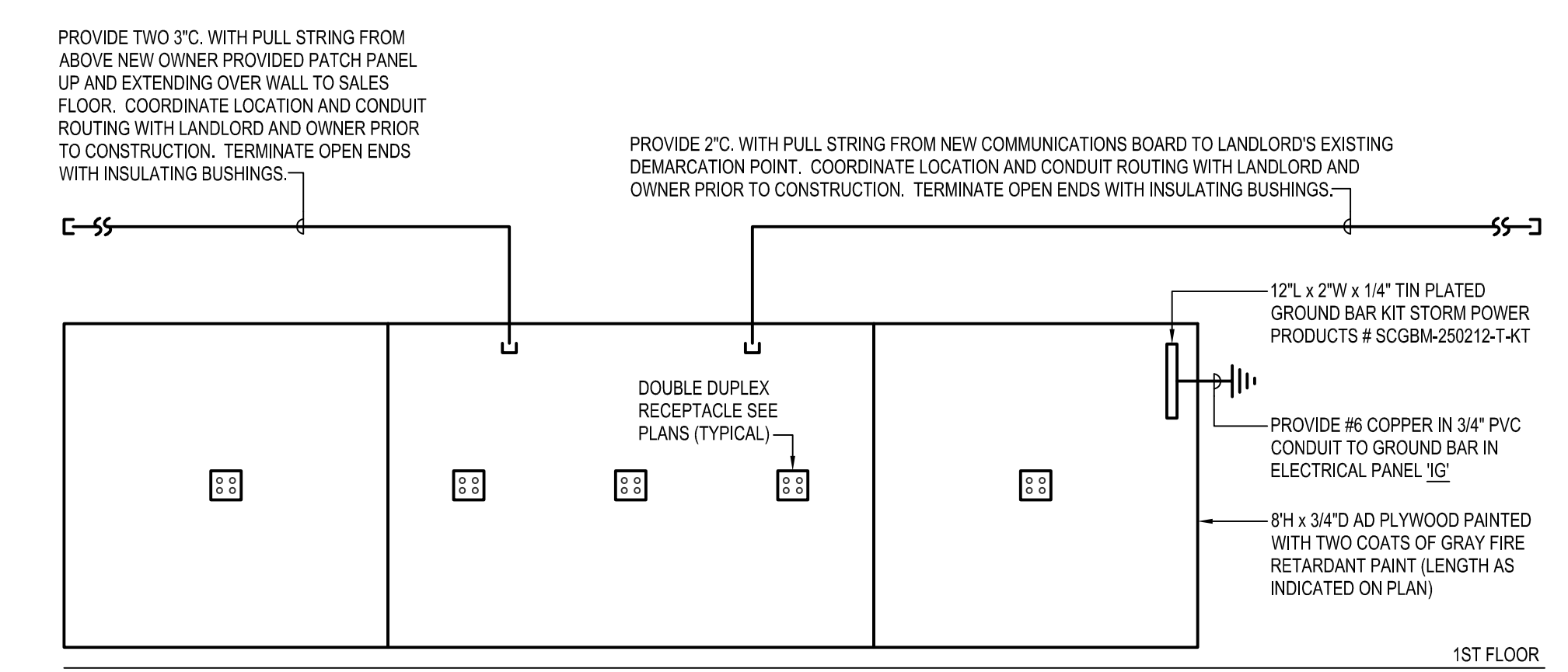
**morrissey engineering inc**  
 mechanical | electrical | lighting | technology | commissioning

4940 North 188th Street  
 Omaha, NE 68144  
 P: 402.491.4144  
 www.morrisseyengineering.com

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Note: do not scale drawings. verify all dimensions and distances from architectural, structural, shop and other appropriate drawings on all sites. lay out and coordinate all work prior to installation to provide clearances required for operation, maintenance, and codes and verify non-interference with other work. do not fabricate prior to verification of clearance for all trades.

**MECHANICAL AND PLUMBING EQUIPMENT IS NOT INDICATED ON THIS PLAN AND INFORMATION WAS NOT AVAILABLE AT THE TIME OF THIS DESIGN. PRIOR TO PURCHASING ELECTRICAL EQUIPMENT, BREAKERS, DISCONNECT SWITCHES, WIRE AND CONDUIT(S) ASSOCIATED WITH MECHANICAL AND PLUMBING EQUIPMENT, COORDINATE EXACT REQUIREMENTS WITH MECHANICAL AND PLUMBING CONTRACTORS. PROVIDE SUPPLY SIDE DUCT SMOKE DETECTORS IN EQUIPMENT WITH CFM RATING OVER 2,000. IF OTHER AIR HANDLING UNITS SHARE THE SAME AIR SYSTEM AS ANY AIR HANDLING UNIT REQUIRING A DUCT SMOKE DETECTOR THEN PROVIDE A FIRE ALARM RELAY TO SHUT DOWN ALL MECHANICAL EQUIPMENT SERVING SAME AIR SYSTEM. PROVIDE REMOTE INDICATOR / RESET STATION WHEN DUCT DETECTOR IS NOT LOCATED IN ACCESSIBLE CEILING SPACE.**



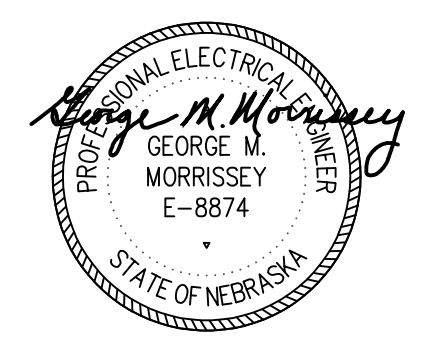
- GENERAL NOTES**
- MINIMUM SIZE FOR BRANCH CIRCUIT CONDUITS SHALL BE 1/2" MINIMUM DATA/COMMUNICATIONS CONDUIT SIZE SHALL BE 1". SEE DRAWINGS FOR AREAS WHERE LARGER CONDUITS ARE REQUIRED.
  - AT CONTRACTOR'S OPTION, THE USE OF MULTI-WIRE BRANCH CIRCUITS IS ALLOWED. PROVIDE MEANS TO SIMULTANEOUSLY DISCONNECT ALL CIRCUIT BREAKERS SHARING A COMMON NEUTRAL.
  - PROVIDE A GREEN INSULATED GROUND WIRE IN ALL LIGHTING AND POWER BRANCH CIRCUITS.
  - COORDINATE ROUTING OF EXPOSED CONDUIT WITH OWNER AND GENERAL CONTRACTOR PRIOR TO ROUGH IN. MOUNT EXPOSED CONDUIT TIGHT AND PARALLEL TO STRUCTURE.
  - TAKE CARE TO ENSURE THAT ALL ELECTRICAL AND MECHANICAL DEVICES LOCATED WITHIN SAME VICINITY OF EACH OTHER ARE ALIGNED BOTH VERTICALLY AND HORIZONTALLY. SEE DETAIL 3 FOR ADDITIONAL INFORMATION.

- FLAG NOTES**
- MOUNT SHOW WINDOW RECEPTABLES (DESIGNATED WITH SUBSCRIPT 'SW') ABOVE GLAZING PER NEC 210.62.
  - PROVIDE FINAL CONNECTION TO AUTOMATIC ADA DOOR. INSTALL ALL COMPONENTS PROVIDED WITH DOOR OPERATOR, INCLUDING BUT NOT LIMITED TO: ACTUATORS, PUSHBUTTONS, TRANSFORMERS, ETC. PROVIDE FINAL CONNECTION BETWEEN DOOR OPERATOR AND ASSOCIATED COMPONENTS. COORDINATE REQUIREMENTS WITH EQUIPMENT MANUFACTURER PRIOR TO ROUGH IN.
  - PROVIDE EXPLOSION PROOF RECEPTABLE AND EMERGENCY SHUTDOWN SWITCH AT PROPANE FILING STATION. COORDINATE EXACT LOCATION WITH OWNER PRIOR TO ROUGH IN. PROVIDE ALL SWITCHES, RELAYS, ETC. REQUIRED TO ACCOMMODATE SHUTDOWN.
  - VERIFY EXACT MOUNTING LOCATION AND HEIGHT OF RECEPTABLES SERVING WALL FIXTURES WITH OWNER PRIOR TO ROUGH IN. MOUNT RECEPTABLES TO FIXTURES. PROVIDE JUNCTION BOX IN WALL NEAR RECEPTABLE. CONNECT RECEPTABLE TO JUNCTION BOX WITH FLEXIBLE CONDUIT.
  - VERIFY EXACT MOUNTING LOCATION AND HEIGHT OF RECEPTABLES SERVING GONDOLA FIXTURES WITH OWNER PRIOR TO ROUGH IN. SURFACE MOUNT RECEPTABLES TO TOP FIXTURES FACE UP. PROVIDE JUNCTION BOX AT CEILING NEAR RECEPTABLE. CONNECT RECEPTABLE TO JUNCTION BOX WITH CONDUIT. AT FIXTURE TURN CONDUIT WITH 90 DEGREE BEND AND STUB INTO JUNCTION BOX WITH RECEPTABLE. COORDINATE WHICH RECEPTABLES NEED TO BE INTERLOCKED INTO LIGHTING CONTROL SYSTEM AND PROVIDE NON DIMMING POWER PACK(S) WHERE REQUIRED.
  - LOCATE RECEPTABLE FOR ELECTRIC WATER COOLER SO THAT CORD AND PLUG ARE CONCEALED INSIDE OR BEHIND WATER COOLER. PROVIDE 1/2" TYPE CIRCUIT BREAKER.

- PROVIDE FINAL CONNECTION TO OWNER FURNISHED INTERNALLY ILLUMINATED ELEVATIONS AND SIGNAGE SUPPLIER PRIOR TO ROUGH IN. PROVIDE TOGGLE SWITCH DISCONNECT CONCEALED WITHIN OR BEHIND SIGNAGE FOR POWER CONNECTIONS.
- COORDINATE LOCATION OF NEW C.T. CABINET AND METER SOCKET SERVING TENANT SPACE WITH OPDP AND ADJACENT UTILITIES PRIOR TO CONSTRUCTION.
- PROVIDE NEW METER SOCKET FOR LANDLORD'S EXISTING ELECTRICAL HOUSE SERVICE. PROVIDE MODIFICATIONS ON INTERIOR OF BUILDING AS REQUIRED TO ACCOMMODATE NEW WORK.
- EXISTING PANEL BOARD SERVING AREA OF REMODEL. REUSE EXISTING CIRCUITS WHERE POSSIBLE. PROVIDE NEW BREAKERS AS REQUIRED TO ACCOMMODATE REMODEL. PROVIDE AN UPDATED TYPED CIRCUIT DIRECTORY AFTER REMODEL IS COMPLETE.
- CONNECT TO EXISTING (201) BREAKER IN PANEL INDICATED THAT BECOMES SPARE DURING DEMOLITION OR EXISTING SPARE (201) BREAKER IN PANEL SERVING AREA OF REMODEL.
- REMOVE EXISTING METER CENTER ON THIS WALL AND ADJACENT SERVICE DISCONNECT AND TELEPHONE CABINET ON ADJACENT WALL COMPLETE. COORDINATE DEMOLITION WITH GENERAL CONTRACTOR AND OPDP PRIOR TO DEMOLITION.
- EXISTING ELECTRICAL HOUSE SERVICE. PROVIDE MODIFICATIONS AS REQUIRED TO FEED FROM NEW METER CENTER INDICATED.
- PROVIDE FINAL CONNECTION TO ELECTRIC WALL MOUNTED HAND DRYER. PROVIDE 60V, 3/4 RATED QUICK DISCONNECT FOR LOCAL DISCONNECTING MEANS WITHIN BODY OF HAND DRYER - MOLEX# 172672002 (MALE CONNECTOR) AND #172672002 (FEMALE CONNECTOR). COORDINATE EXACT LOCATION WITH ARCHITECTURAL INTERIOR ELEVATIONS PRIOR TO ROUGH IN. COORDINATE EXACT ELECTRICAL REQUIREMENTS WITH EQUIPMENT MANUFACTURER PRIOR TO ROUGH IN.

- ROOF TOP UNIT PROVIDED WITH INTEGRAL DISCONNECT. PROVIDE DUCT SMOKE DETECTOR IN RETURN AIR DUCT. CONNECT TO SHUT DOWN MECHANICAL EQUIPMENT IN EVENT OF ALARM CONDITION. PROVIDE REMOTE INDICATOR / RESET STATION WHEN DUCT DETECTOR IS NOT LOCATED IN ACCESSIBLE CEILING SPACE. PROVIDE FIRE ALARM RELAY(S) TO SHUT DOWN ALL MECHANICAL EQUIPMENT SERVING SAME AIR SYSTEM.
- EXHAUST FAN PROVIDED WITH INTEGRAL DISCONNECT. PROVIDE 120V CONNECTION TO MOTORIZED BACK DRAFT DAMPER.
- PROVIDE ROUGH IN FOR THERMOSTAT / SENSOR. PROVIDE 12V. WITH PULL STRING FROM ROUGH IN TO MECHANICAL EQUIPMENT SERVED. COORDINATE REQUIREMENTS WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH IN.
- AIR CURTAIN PROVIDED WITH INTEGRAL DISCONNECT.
- CONNECT TO PANEL 'C' WITH 2#12 #12G-1. PROVIDE NEW LOCKABLE CIRCUIT BREAKER IN PANEL INDICATED TO SERVE WATER HEATER. BREAKER SHALL SERVE AS LOCAL DISCONNECTING MEANS PER NEC 422.31(B). SEE PANEL SCHEDULES FOR ADDITIONAL INFORMATION.

**Certification**



Date: 03/28/2024

I, Alan J. Plutowski, am the Coordinating Professional on this Westgate Retail - ACE Hardware project.

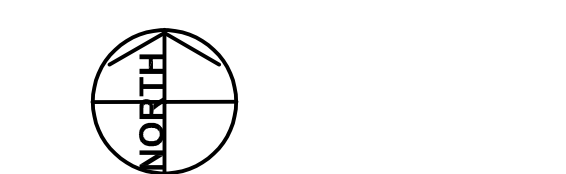
**Project Information**  
**WESTGATE PLAZA**  
**ACE HARDWARE**

S. 84TH STREET  
 OMAHA, NE 68124

**Revisions**

NO.	DATE	REVISIONS
1	05/02/24	TENANT REVISIONS
2	07/17/24	TENANT REVISIONS

Date: 02/16/2024  
 Drawn By: DAM  
 Checked By: NWM  
 Job Number: 00324



**Sheet Information**

FLOOR PLAN - POWER

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**E2-1**



# ELECTRICAL SPECIFICATIONS

## SECTION 26100 - GENERAL ELECTRICAL REQUIREMENTS

- A. WARRANTIES** - All materials, workmanship and equipment shall be warranted against defects or against injury from proper and usual wear for a period of one year after the date of substantial completion. Any item that becomes defective within the warranty period shall be repaired or replaced, at no additional cost to the Owner. Warranty shall include repair of faulty workmanship.
- B. DEFINITIONS/ABBREVIATIONS** - The following shall apply throughout the contract documents:
- Furnish Supply and deliver to site ready for installation
  - Indicated Noted, scheduled or specified
  - Provide Furnish, install and connect complete and ready for final use
- NEC** National Electrical Code (NFPA 70)
- NEMA** National Electrical Manufacturers Association
- NFPA** National Fire Protection Association
- UL** Underwriters Laboratories Inc.

- C. CODES AND STANDARDS** - All work shall be performed by competent craftsmen skilled in the trade involved and shall be done in a manner consistent with current industry standards. All work shall conform to the currently adopted edition of the National Electrical Code (NEC), Local Building Code, and all other applicable state and local codes or standards. Where there is a conflict between the code and the contract documents, the code shall have precedence only then it is more stringent than the contract documents.
- D. PERMITS** - Contractor shall become familiar and comply with all requirements regarding permits, fees, licenses, etc. All permits, licenses, inspections and arrangements required for the work shall be obtained by Contractor's effort and expense. All utilities shall be installed in accordance with the local rules and regulations and all charges shall be paid by the Contractor.

- E. SUBMITTALS** - Shop drawings shall be submitted to Architect/Engineer for the following items of electrical equipment:
- Wiring devices
  - Enclosed switches, switches, and circuit breakers
  - Panelboards
  - Lighting fixtures
  - Lighting control
  - Fire alarm

1. Shop drawings include fabrication and installation drawings, diagrams, schedules and other data specifically prepared for the project. Include dimensions and notations showing compliance with specified standards. Unless otherwise noted, submit a PDF copy of shop drawings for review.
2. Architect/Engineer will review or take appropriate action for submittals. Review is only to determine general conformance with design shown in contract documents. Review of submittals shall not relieve contractor of responsibility for deviation from requirements of the contract documents or from errors or omissions within submittals.
- F. MATERIALS** - All materials and equipment used in the construction of the project shall be new, unused and undamaged unless otherwise specified. Materials and equipment shall be of latest design standards of manufacturer specified. Verify installation details and requirements for materials and equipment furnished by others and installed under this contract.
- G. DEMONSTRATION AND TRAINING** - Install Owner's personnel to adjust, operate, and maintain electrical systems. Schedule training with Owner with at least seven days advance notice.

- H. STARTING AND ADJUSTING** - Start and test all equipment and operating components to confirm proper operation. Test and adjust all systems to achieve designed capacity and performance. All equipment and systems discrepancies shall be corrected prior to final acceptance.

- 1. TEMPORARY POWER AND LIGHTING** - Provide temporary electric power from local utility with metering and payment of use charges.
1. Provide receptacle outlets adequate for connection of power tools and construction equipment.
2. Provide temporary lighting with local switching that provides adequate illumination for construction operations and traffic conditions.

## SECTION 26200 - BASIC ELECTRICAL MATERIALS AND METHODS

- A. QUALITY ASSURANCE** - Electrical Components, Devices, and Accessories shall be listed and labeled as defined in NFPA 70, Article 105, by a testing agency acceptable to architect-engineering jurisdiction, and marked for intended use.
- B. COORDINATION** - Coordinate chases, slots, inserts, sleeves, and openings with general construction work and arrange in building structure during process of construction to facilitate the electrical installations that follow. Sequence, coordinate, and integrate installing electrical materials and equipment to efficient flow of the work.
- C. CONDUCTORS** - All conductors shall be installed in raceways. Conductors for pilot and control circuits shall be #14. All other conductors shall be #12 or larger.
1. Conductors, No. 10 AWG and Smaller: Solid or stranded copper.
2. Conductors, Larger Than No. 10 AWG: Stranded copper.
3. Insulation: Thermoplastic, rated at 75 deg C minimum.
4. Wire Connectors and Splices: Units of size, assembly rating, material, type, and class suitable for service indicated.
- D. RACEWAYS** - Minimum raceway size shall be 1/2". Raceway types and applications shall be as follows:

1. Electrical metallic tubing (EMT), ANSI C80.3, steel-coated steel, with set-screw or compression fittings. EMT shall be used for all other applications not listed below.
2. Liquid-tight flexible metal conduit (LFMC), zinc-coated steel with sunlight-resistant and mineral-oil-resistant plastic jacket. LFMC shall be used for connections to vibrating equipment or in wet or damp locations.
3. Raceway Fittings: Specifically designed for the raceway type with which used.
- E. JUNCTION AND DEVICE BOXES** - Minimum box size shall be 4" square with extension or plaster ring as required. Box types and applications shall be as follows:
1. Sheet metal boxes: NEMA OS 1 galvanized steel. Sheet metal boxes shall be used for all surface mounted applications and flush mounting in gypsum or plaster walls.
2. Masonry boxes: square concrete suitable for flush mounting in masonry construction.
3. Cast metal boxes: NEMA FB 1, Type FD, cast box with gasketed cover. Cast metal boxes shall be used for exterior surface mounted applications.
- F. ELECTRICAL IDENTIFICATION** - All conductors shall be color coded throughout the installation. Color coding shall be as prescribed by ANSI A13.1 and NFPA 70.

1. Provide engraved-plastic labels for all disconnected switches, switchboards, panelboards, transformers, and control devices. Labels shall be melamine plastic laminate engraving stock with 3/8" engraved lettering and shall be punched or drilled for mechanical fasteners.
- G. FIBEROPTICING** - Apply fiberoptics to cable and raceway penetrations of finished floor and wall assemblies to achieve fire-resistance rating of the assembly.
- H. DEMOLITION** - Protect existing electrical equipment and installations indicated to remain. If damaged or disturbed in the course of the work, remove damaged portions and install new products of equal capacity, quality, and functionality.
1. Cut and remove burred raceway and wiring, indicated to be abandoned in place, 2 inches below the surface of adjacent construction. Cap raceways and patch surface to match existing finish.
2. Remove demobilized materials from Project site.
3. Existing utilities shall not be interrupted without prior written approval from the owner. All interruptions shall occur during off hours.

- I. CUTTING AND PATCHING** - Cut, channel, chase, and drill floors, walls, partitions, ceilings, and other surfaces required to permit electrical installations. Perform cutting by skilled mechanics of trades involved.

1. Repair and refinish disturbed finish materials and other surfaces to match adjacent undisturbed surfaces. Install new fiberoptics where existing fiberoptics have been disturbed. Repair and refinish materials and other surfaces by skilled mechanics of trades involved.

## SECTION 26240 - PANELBOARDS

- A. GENERAL** - Panelboard covers shall be NEMA PB 1, type 1 zinc coated steel with manufacturer's standard enamel finish over corrosion-resistant treatment or primer coat. Each panelboard shall be furnished with a directory card indicating the load served by each branch circuit.
1. Panelboard bus material shall be hard-drawn copper, 88 percent conductivity.
2. Provide each panelboard with an equipment ground bus adequate for feeder and branch-circuit equipment ground conductors. Bus shall be bonded to box.
3. Where future devices (spaces) are scheduled, provide mounting brackets, bus connections, and necessary apertures required for replacement of devices.
4. Each panelboard shall be fully rated to interrupt symmetrical short-circuit current available at terminals. See schedules for required interrupting current (A.I.C.).
5. Panelboards shall be mounted with top of rim 7'4" above finished floor, unless otherwise indicated.
6. Panelboards shall be mounted plumb and rigid without distortion of box. Mount suspended panelboards with fronts uniformly flush with wall finish.
7. Panelboards shall be manufactured by Cutler-Hammer, General Electric, Siemens, or Square D.

- B. LIGHTING AND APPLIANCE BRANCH-CIRCUIT PANELBOARDS**, replaceable without disturbing adjacent units.
1. Overcurrent Protective Devices: Broken-circuit breakers, replaceable without disturbing adjacent units.
2. Doors: Front mounted with concealed hinges; secured with flush latch with lumber lock; keyed alike.
- C. DISTRIBUTION PANELBOARDS**
1. Overcurrent Protective Devices: Broken-circuit breakers
2. Door: Front mounted secured with vaub-type latch with lumber lock; keyed alike.
- D. OVERCURRENT PROTECTIVE DEVICES** - Thermal-magnetic circuit breakers with inverse time-current element for low-level overloads, and instantaneous magnetic trip element for short circuits. Adjustable magnetic trip setting for circuit-breaker frame sizes 250 A and larger. Circuit breaker tags shall be mechanical style, suitable for number, size, trip ratings, and material of conductors.
1. Each overcurrent protective device shall have an application listing appropriate for the application.
2. Each overcurrent protective device shall be:
- 1. Drivers: 5-year replacement warranty.
  - 2. LED system Warranty: 5-year replacement warranty.

## SECTION 26270 - WIRING DEVICES

- A. GENERAL** - Devices shall be installed plumb and secure. Unless otherwise indicated, flush mount wiring devices with low-level overloads, and instantaneous magnetic trip element for short circuits. Adjustable magnetic trip setting for circuit-breaker frame sizes 250 A and larger. Circuit breaker tags shall be mechanical style, suitable for number, size, trip ratings, and material of conductors.
1. Unless otherwise indicated wiring devices shall be mounted at the following heights, measured from finished floor to centerline of device.
- Wall switches and wall box dimmers = 4'
- Receptacles = 1'
2. Group adjacent devices on single multi-gang wall plates.
3. Wiring devices shall be manufactured by Pass and Seymour, Leviton, Hubbell, or General Electric.
- B. RECEPTACLES** - Duplex receptacles shall be specification grade 20 ampere, 120 volt.
2. Receptacles serving over-furnished equipment shall have configuration to match that of equipment plug.
- C. SWITCHES** - Snap switches shall be specification grade, outlet type, single pole, two pole, or three-way to suit application.
- D. DEVICE COLOR** - Color shall be white unless otherwise indicated or required by code.
- E. WALL PLATES** - Plates shall be smooth finish plastic in single and combination types to match corresponding wiring devices. Match color of associated devices.

1. Weatherproof plates in damp locations: Heavy cast aluminum; hinged, gasketed, equal to Pass & Seymour #4011 for horizontal mount or #402 for vertical mount. These covers shall be installed outdoors in a location protected from the weather such as roofed open porches, canopies, eaves, and the like or in other damp locations where the receptacle will not be subject to bedding rain or water runoff. These covers may also be used at roof mounted mechanical equipment for use with portable tools that could be normally connected to the outlet when disassembled.
2. Weatherproof plates in wet locations: Self-sealing transparent cover, lockable weatherproof enclosure, the height of which is not affected when the attachment plug cap is inserted. Equal to Cooper Wiring Devices Weatherlok.

## SECTION 26280 - ENCLOSED SWITCHES

- A. ENCLOSED SWITCHES** - Enclosed switches shall be heavy-duty grade with lockable handle. Switches shall be non-flammable unless otherwise indicated and shall have dipole to accommodate fuse sizes indicated on the drawings.
1. Exterior mounted switches shall be NEMA 3R rated and shall be bolted closed.
2. Cartridge fuses shall be class dual-element time delay, Class "RK1" Business low peak. Equivalent fuses as manufactured by Gould Shuman, Melfield, or GE are acceptable.
3. Enclosed switches shall be manufactured by Cutler-Hammer, General Electric, Siemens, or Square D.

## SECTION 26510 - LIGHTING

- A. LUMINAIRE AND FIXTURE COMPONENTS** - All metal parts and components shall be free from burrs, sharp corners, and edges. All fixtures shall be shipped pre-wired and ready for mounting.
1. Doors, frames, and other internal access mechanisms shall be smooth operating, free from light leakage under opening conditions, and arranged to permit re-wiring without saw or bolt.
- B. LED LIGHT SOURCE REQUIREMENTS:**
1. Rated life (L70): Minimum 50,000 hours as defined by IES LM80 and TM21.
2. Color Rendering Index (CRI): 80 CRI minimum.
3. Each luminaire type shall be binned within a three-step Macadam Ellipse to ensure color consistency among luminaires.
- C. LED DRIVER REQUIREMENTS:**
1. 0-10V Dimming
2. Total Harmonic Distortion Rating: Less than 20 percent.
3. Ambient Temperature Rating: -40 to +50 °C.
4. Power Factor (100% output): >0.95
- D. WARRANTY** - Include labor allowance required for replacement on-site at no extra cost to Owner within 1-year construction warranty. Transfer remainder of the manufacturer's warranty, including ballast manufacturer's labor stipend to owner after 1-year construction warranty.

## SECTION 26520 - LIGHTING CONTROL

- A. OCCUPANCY SENSORS** - Sensor adapts or "learns" patterns of use specific to controlled space to reduce false tripping.
1. Calling Sensors: Dual technology with infrared and microwave or ultrasonic 32 kHz or 40 kHz sensors integrated into one housing. 360 degree field of view with a minimum coverage of 20 foot radius at 9' mounting height, with sensor centered in coverage area. Sensor shall mount light to ceiling surface and shall have a white finish. Provide associated power packs for sensor power and load switching relays. Sensor switch COM FDT 10" or equivalent by Hubbell or Wattstopper.
2. Wall Box Sensors: Passive dual technology with 180 degree adjustable field of view capable of sensing small motion 10'20' when mounted at 4'. Pushbutton on sensor face provides manual override of load control. Load may be manually turned on or off at any time. Mount in wall box with decorative style louver; sensor shall have gray finish with 302 stainless steel plate. Integral switch shall be in sensor housing shall be rated for 800W ballast or incandescent load at 120V, 1200W ballast load at 277V, and 1/4 hp motor load at 120V. Sensor switch WSD PDT or equivalent by Hubbell or Wattstopper.
3. Adjust occupancy sensors tailored to actual use conditions of controlled space. Make adjustments before and after Owner has occupied space.
- B. LIGHTING CONTROL** - See plans, schedules, and details for requirements of network type lighting control.
- C. WARRANTY** - Manufacturer and installer agree to repair or replace devices that fail in materials or workmanship within two years from date of substantial completion.

- D. MANUFACTURERS**
1. Lighting control system shall be manufactured by SensorSwitch, Inc., Wattstopper, Enclosure.

## ELECTRICAL SYMBOLS

SYMBOL	DESCRIPTION
<b>LIGHTING</b>	
-----	1. LUMINAIRE CONNECTED TO EMERGENCY CIRCUIT OR BATTERY
-----	2. TRIP CIRCUIT
S	3. SINGLE POLE SWITCH
-----	4. CEILING MOUNTED MOTION SENSOR SWITCH
-----	5. WALL MOUNTED MOTION SENSOR SWITCH
-----	6. LOW VOLTAGE LEADING CONTROL SWITCH
-----	7. CEILING MOUNTED LIGHT WITH DIRECTIONAL ARROW
-----	8. WALL OR FLOOR MOUNTED LIGHT WITH DIRECTIONAL ARROW
<b>POWER</b>	
-----	9. BREAKER RECEPTACLE
-----	10. 20 AMPERE GFI TYPE
-----	11. 30 AMPERE GFI TYPE
-----	12. 40 AMPERE GFI TYPE
-----	13. 50 AMPERE GFI TYPE
-----	14. 60 AMPERE GFI TYPE
-----	15. 70 AMPERE GFI TYPE
-----	16. 80 AMPERE GFI TYPE
-----	17. 90 AMPERE GFI TYPE
-----	18. 100 AMPERE GFI TYPE
-----	19. 125 AMPERE GFI TYPE
-----	20. 150 AMPERE GFI TYPE
-----	21. 200 AMPERE GFI TYPE
-----	22. 250 AMPERE GFI TYPE
-----	23. 300 AMPERE GFI TYPE
-----	24. 400 AMPERE GFI TYPE
-----	25. 500 AMPERE GFI TYPE
-----	26. 600 AMPERE GFI TYPE
-----	27. 800 AMPERE GFI TYPE
-----	28. 1000 AMPERE GFI TYPE
-----	29. 1250 AMPERE GFI TYPE
-----	30. 1500 AMPERE GFI TYPE
-----	31. 2000 AMPERE GFI TYPE
-----	32. 2500 AMPERE GFI TYPE
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