

IDEAL CONSTRUCTION

BICKING RESIDENCE

21511 OLD COACH RD., ELKHORN, NE 68022



GENERAL PLAN NOTES

These working drawings have been prepared by VirtuActive, LLC to meet building conditions and were designed under standard interpretation of the 2018 International Residential Code (IRC 2018) and the amendments adopted by the local jurisdictions. Because codes and requirements can change and may vary from jurisdiction to jurisdiction, VirtuActive, LLC cannot warrant compliance with any specific codes or regulations. Therefore, each individual contractor, sub-contractor, and supplier on the jobsite should consult their local building official to determine the appropriateness between the plan and actual jobsite conditions and applications.

CONCRETE and FOUNDATIONS:

Footing design assumes 1500 PSF allowable bearing pressure. Foundation wall designs assume 30 PSF equivalent hydrostatic pressure. Concrete contractor to verify soil conditions prior to concrete placement.

Re-reinforcing footing as follows:

- Spread footings - as noted on plan
- 20"x10" continuous footing (3) #4's cont.
- 16"x8" continuous footing (2) #4's cont.
- Deck piers - min. 42" below grade (width TBD by plan and rebar as required)

Provide footing dowels to match vertical wall reinforcing.

Reinforcing bars shall be Grade 60 or better.

Concrete contractor to provide ground rebar in footing for electrical contractor.

All concrete shall be min 3000 PSI (28 day comp strength).

All footings shall be a min of 42" below finished grade or deeper.

Anchor bolts must be at least 5/8" in diameter and must extend at least 7" into concrete.

There must be at least 2 anchor bolts per plate section on walls longer than 24".

Anchor bolts must be spaced no more than 6' on center.

One anchor bolt must be located not more than 12" from each end of the plate section

Contractors, sub-contractors, and suppliers shall be aware of and responsible for, but not limited to, the following:

- Contractors, sub-contractors, and suppliers shall verify all conditions and dimensions prior to construction and be solely responsible for any changes necessary as a result of conditional or dimensional differences.
- Contractors, sub-contractors, and suppliers shall verify all dimensions and elevations against the plan and actual site conditions.
- Calculated dimensions take precedence over scaled dimensions.
- All dimensions are from framing edge, unless otherwise noted.

STRUCTURAL and FRAMING:

All structural member types, sizes, and spans shall be verified by the contractor, sub-contractor, and/or supplier.

All additional structural members required for specific framing techniques shall be sized by the contractor, sub-contractor, and/or supplier.

All steel pipe columns shall be 3.5", unless otherwise noted.

Ceiling joists, rafters and/or roof trusses shown per plan. Sizing, spans, reinforcement locations, and depth to be verified by contractor, sub-contractor, and/or structural supplier.

Provide bridging as required by code.

All perimeter headers over openings to be (2) 2x12, unless otherwise noted.

Provide double cripple studs under all LVL headers.

Wind bracing to be CS-WSP unless specified otherwise.

Penetrations through any structural member must be verified by engineer and/or structural supplier.

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7	MAIN FLOOR PLAN, ROOF PLAN & DETAILS
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ALTERED	UNFINISHED SQ. FT.	SPECIALTY SQ. FT.			
BELOW GRADE	522	GARAGE	703	DETACHED GARAGE	780
MAIN LEVEL	1,371	DECK	195		
		COVERED PORCH	68		
TOTALS:	1,893	TOTALS:	966	TOTALS:	780

REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

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PROJECT LOCATION:
21511 OLD COACH RD.
ELKHORN, NE 68022
DOUGLAS COUNTY

PREPARED FOR:
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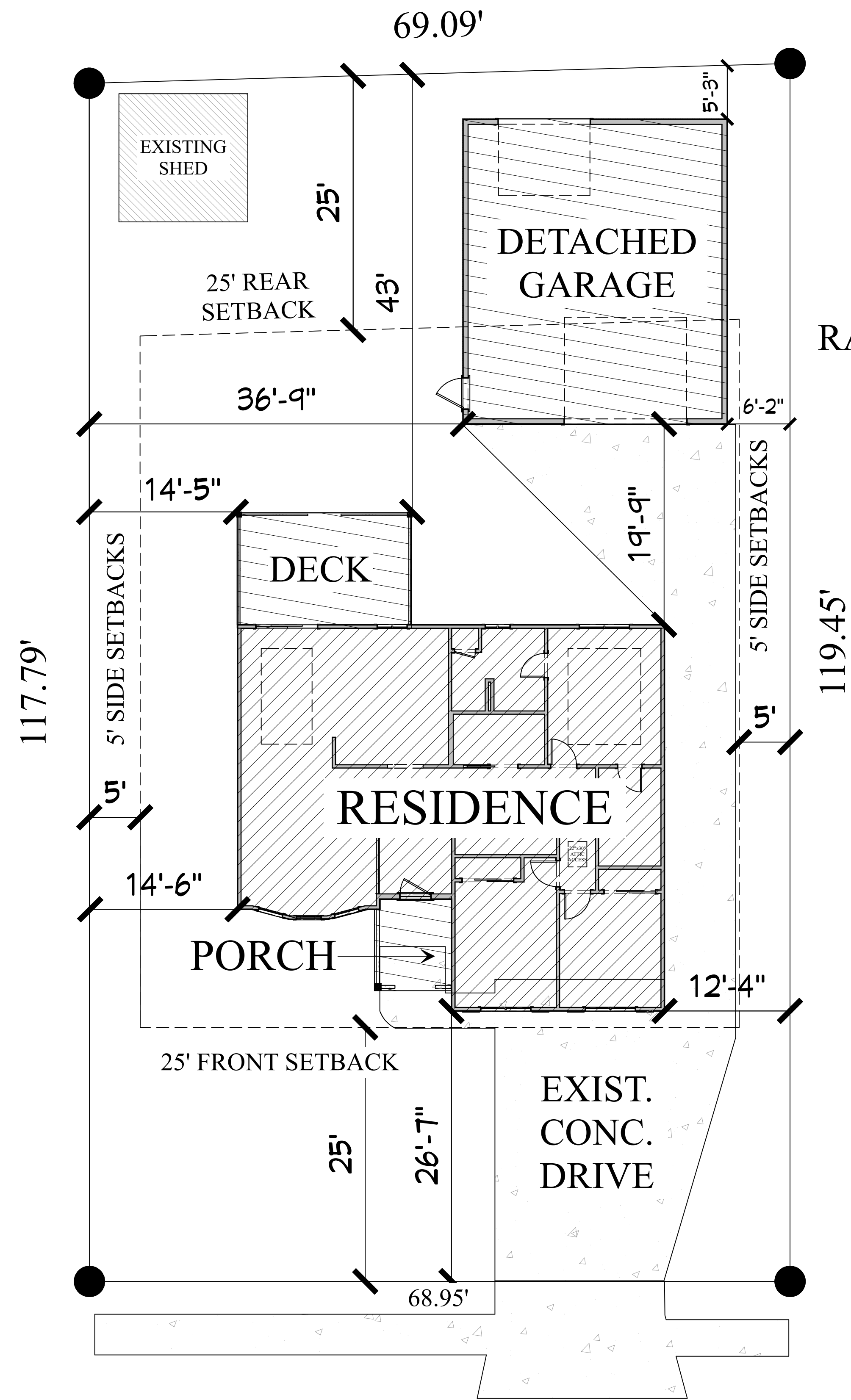
DATE:

8/15/2024

SHEET:

1 OF 8

EXACT LOCATION TBD BY CONTRACTOR AND/OR OWNER SHALL FIELD VERIFY



ADDRESS
 21511 OLD COACH RD.
 RAMBLEWOOD, LOT #483
 DOUGLAS COUNTY

OLD COACH ROAD

SITE PLAN LINE TYPE LEGEND

- PROPERTY LINE
- - - SETBACK AND EASEMENT LINE
- LOMR/FLOOD PLAIN LINE

SITE PLAN

SCALE: 1" = 8'-0"

APPROXIMATE SQUARE FOOTAGES	
STRUCTURE	2,151 S.F.
DRIVEWAY/SIDEWALK	1,263 S.F.
PORCH/DECK	263 S.F.
TOTAL IMPERVIOUS	3,677 S.F.
TOTAL PERVIOUS	4,516 S.F.
TOTAL IMPERVIOUS	3,677 S.F.
LOT GRAND TOTAL	8,193 S.F.

OUTSIDE DRIVEWAY/
SIDEWALK 406 S.F.



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VIRTUACTIVE
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 Designed by: Sam Grabe | sgrabe@virtuactive.com



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SHEET:
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INTEGRITY - RESULTS - PROVEN

IDEAL

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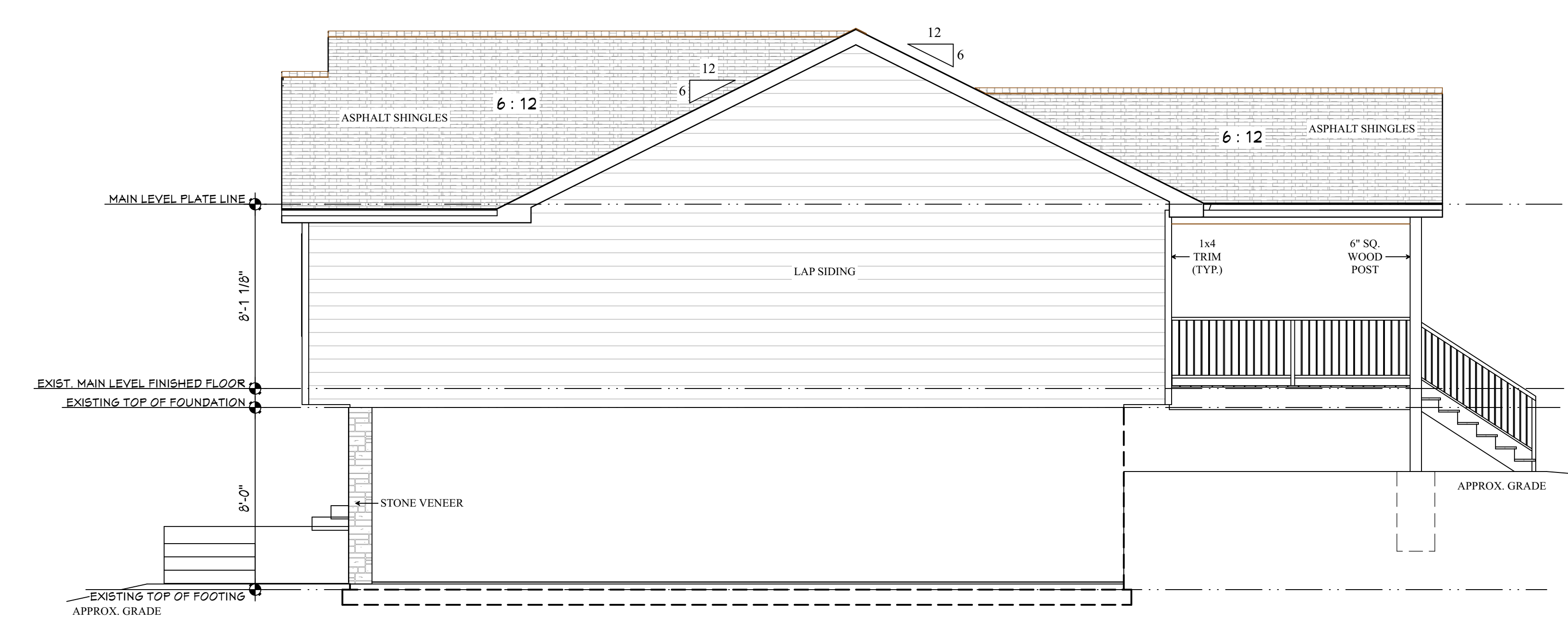
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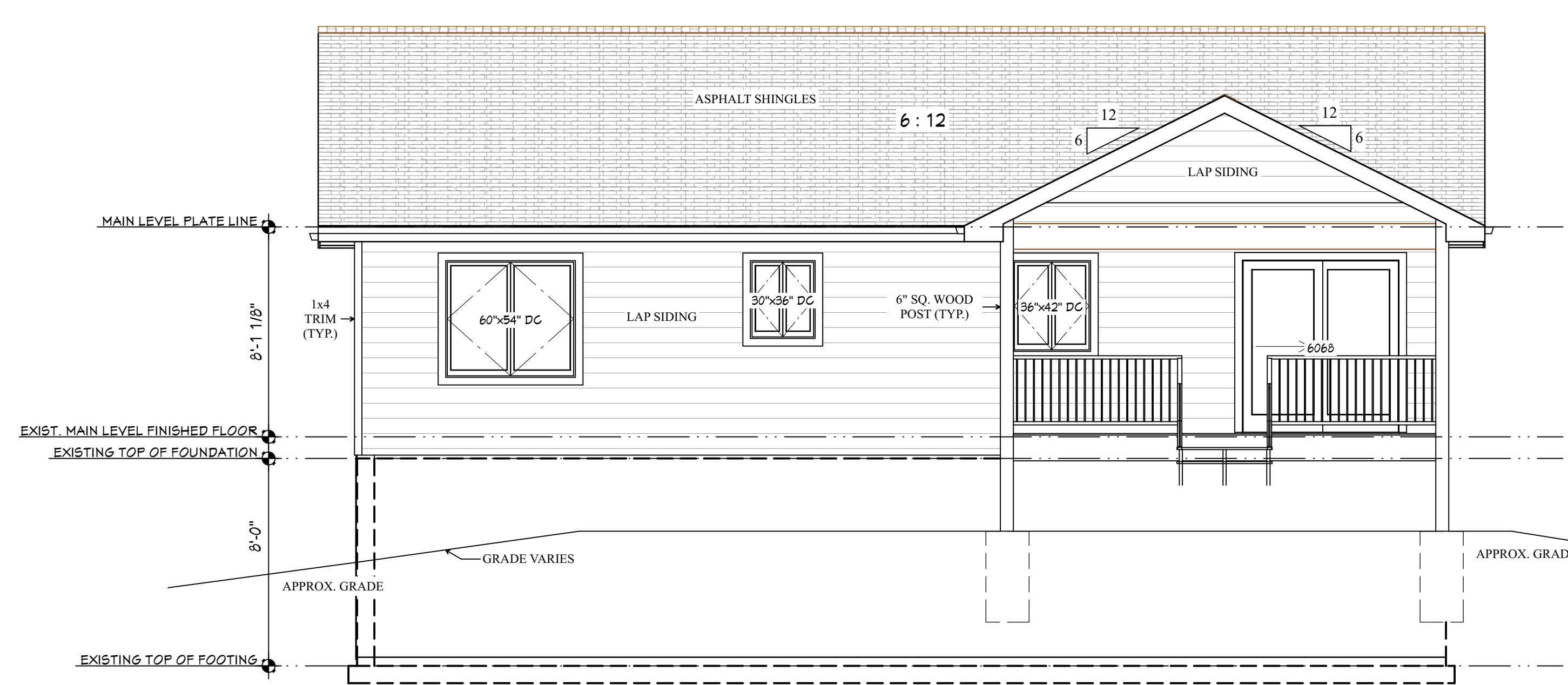
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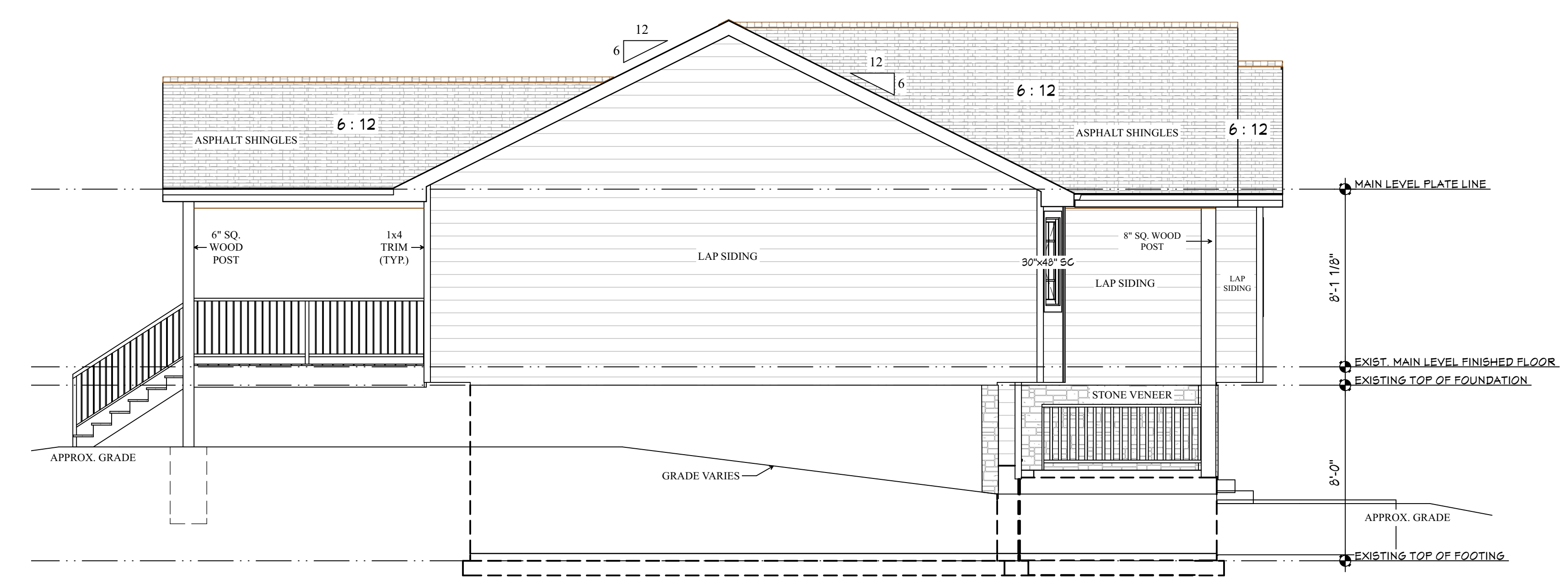
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

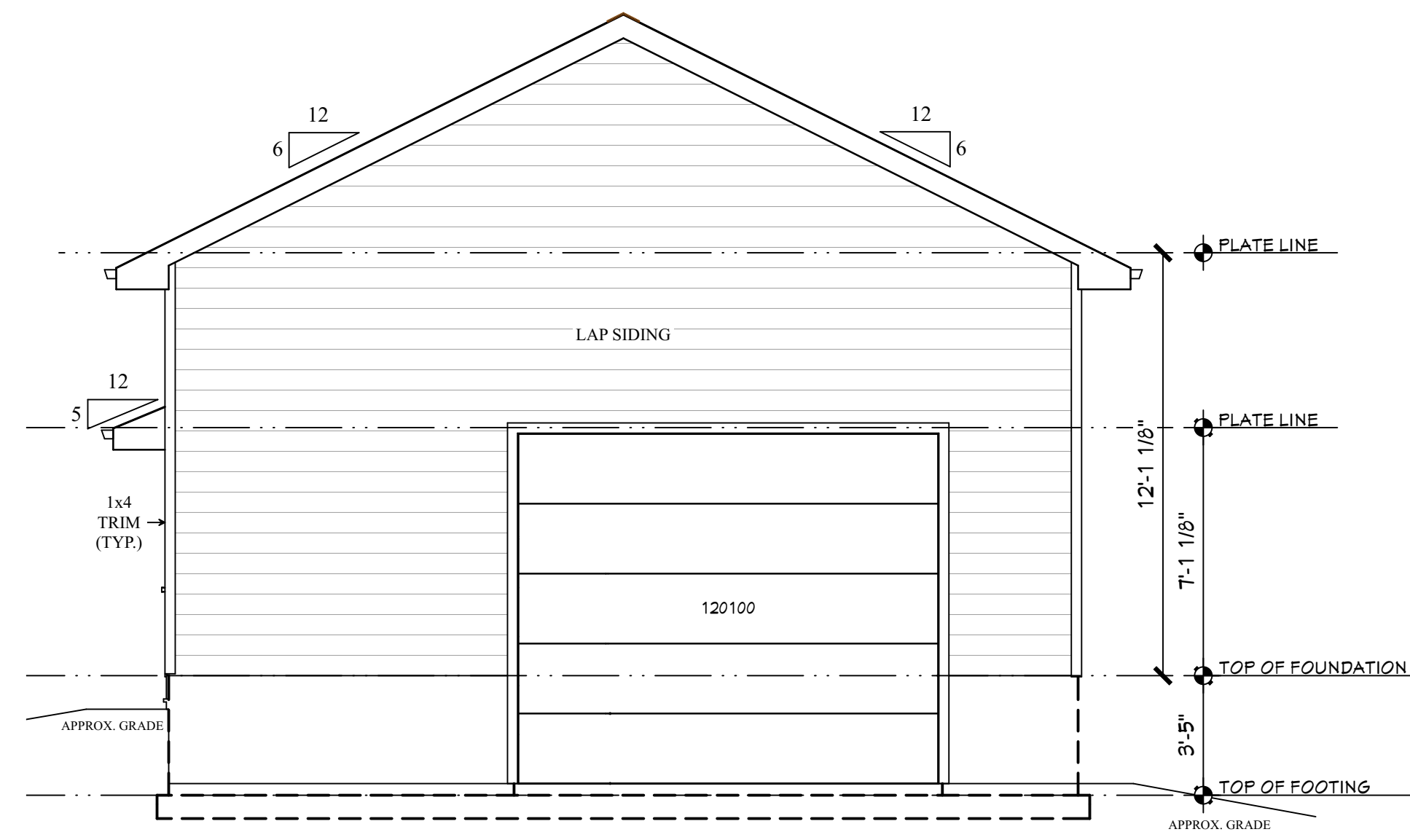


REAR ELEVATION
SCALE: 1/4" = 1'-0"



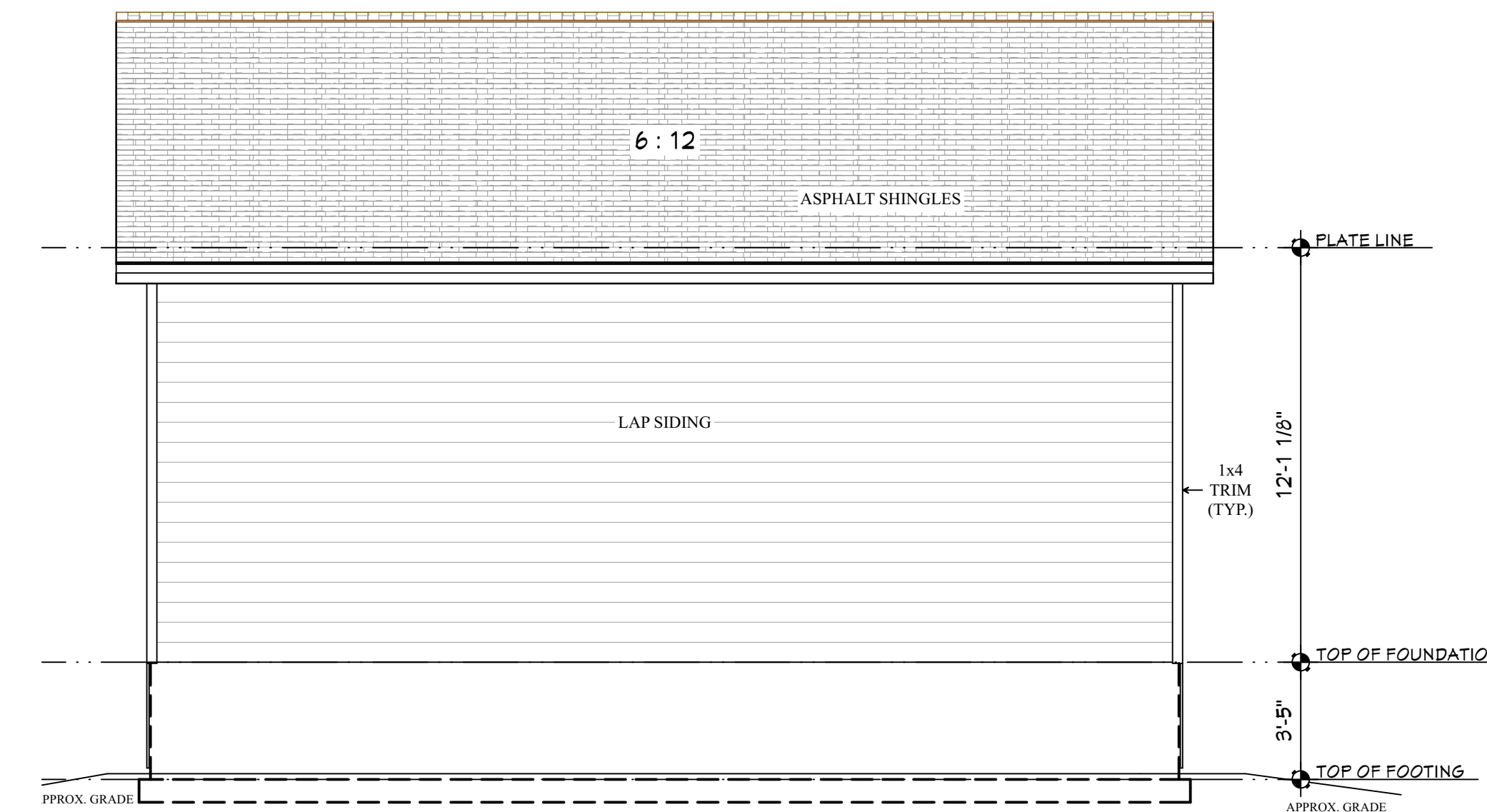
LEFT ELEVATION
SCALE: 1/4" = 1'-0"

PLATE HEIGHTS AND EXACT ROOF DETAILS CAN VARY DEPENDING ON A VARIETY OF FACTORS INCLUDING (but not limited to) SOFFIT THICKNESS, HEADER SIZES AND HEEL HEIGHTS. OWNER AND CONTRACTOR TO VERIFY ALL DETAILS PRIOR TO CONSTRUCTION.



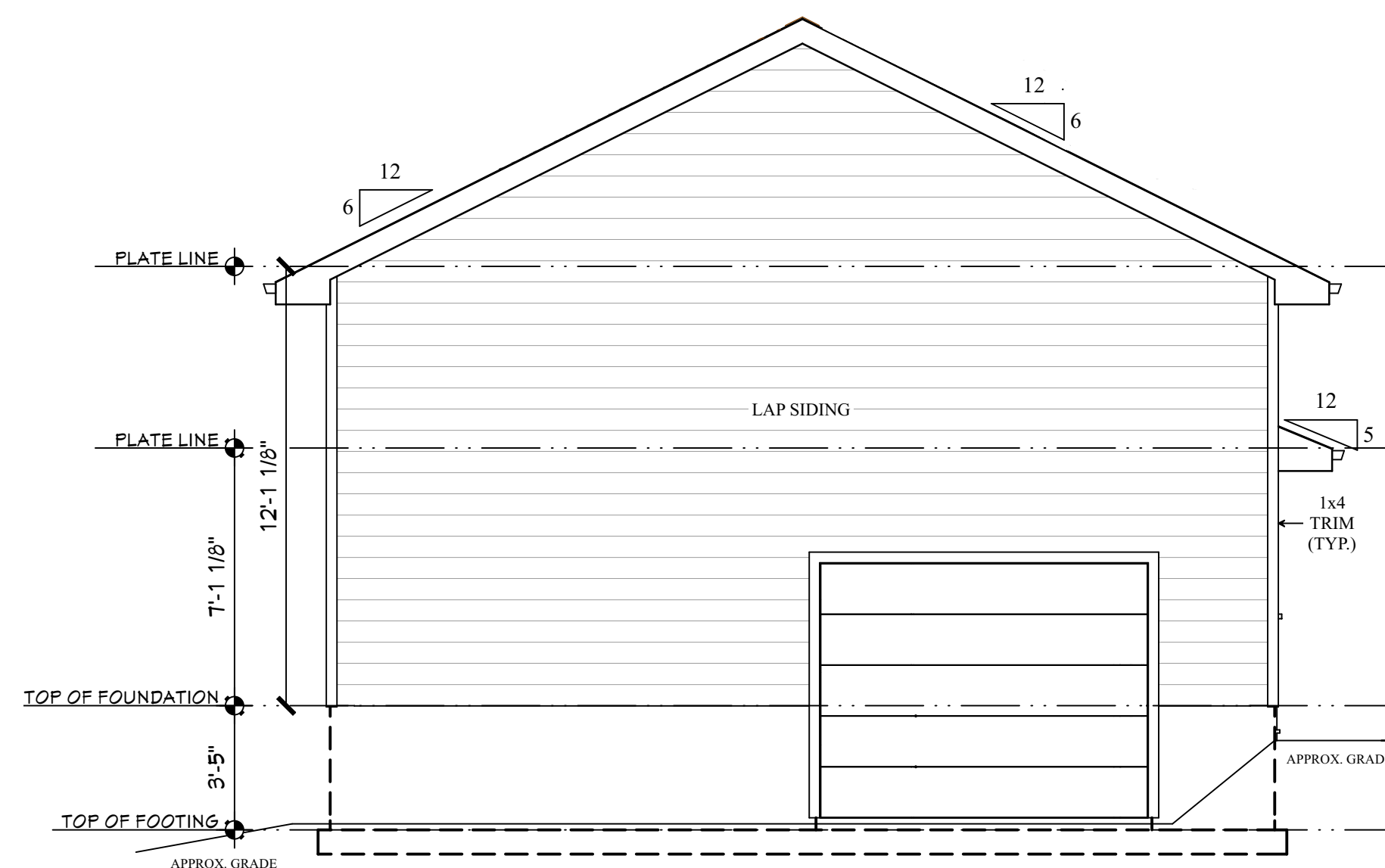
DETACHED GARAGE FRONT ELEVATION

SCALE: 1/4" = 1'-0"



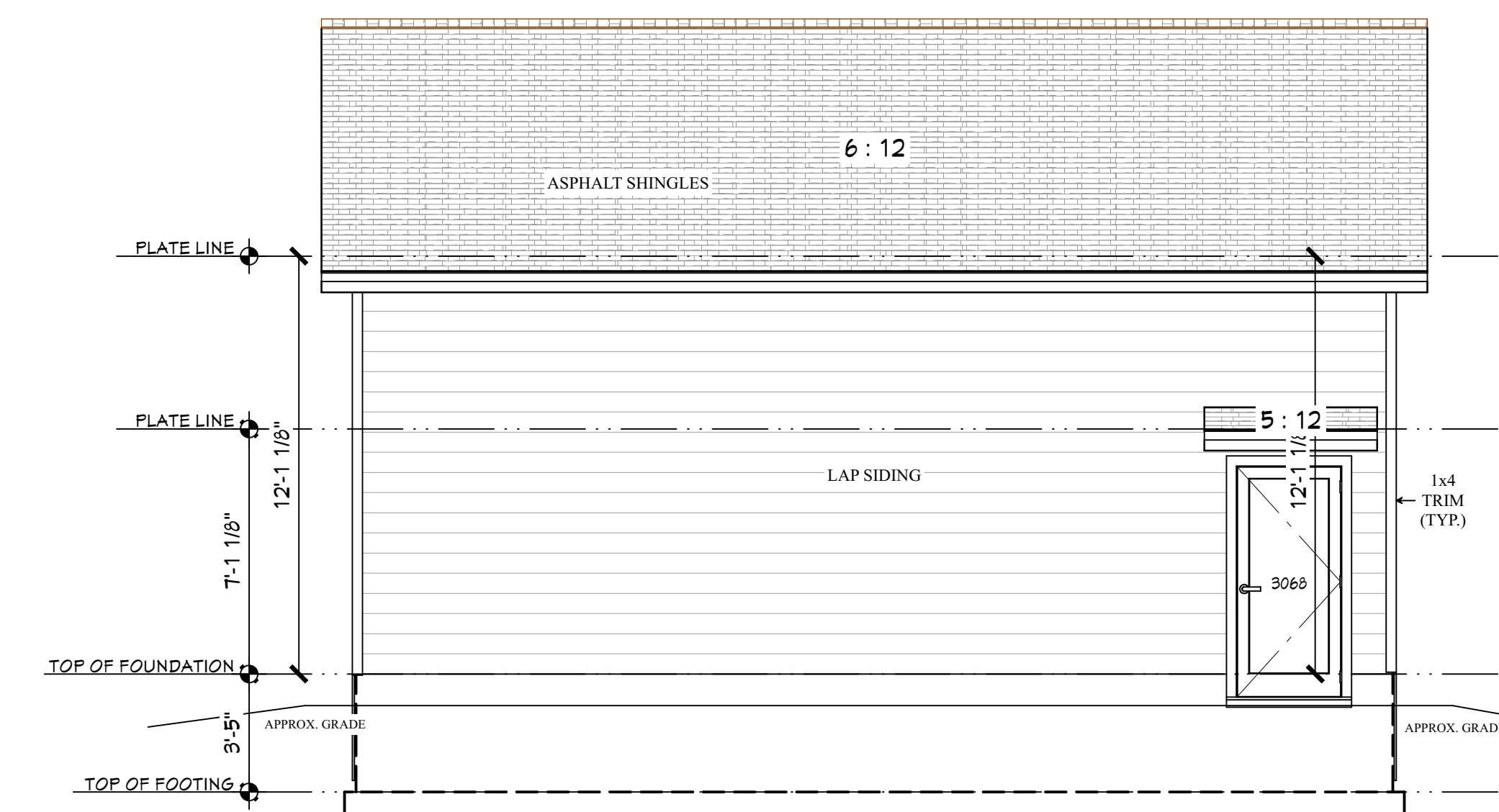
DETACHED GARAGE RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



DETACHED GARAGE REAR ELEVATION

SCALE: 1/4" = 1'-0"



DETACHED GARAGE LEFT ELEVATION

SCALE: 1/4" = 1'-0"

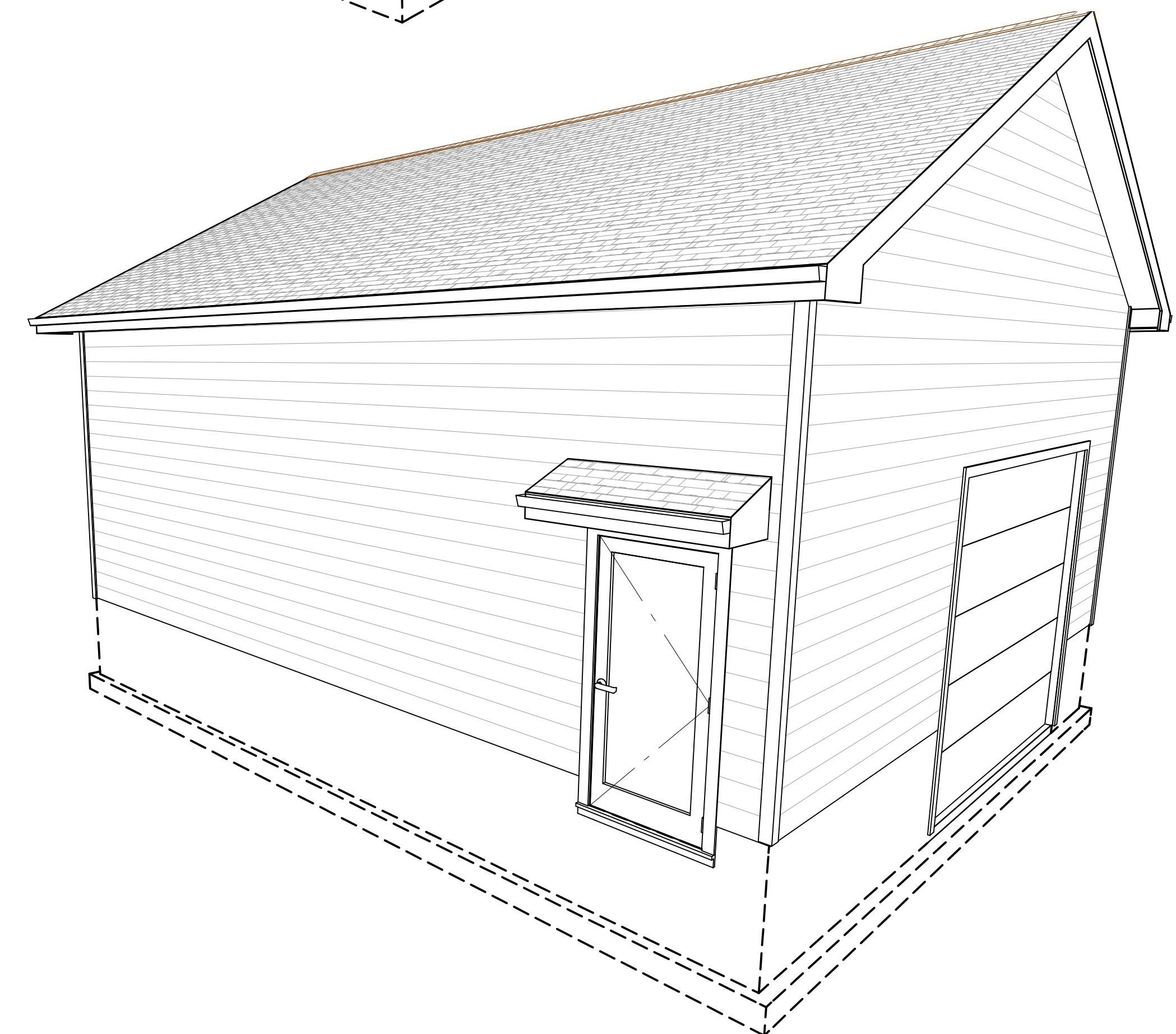
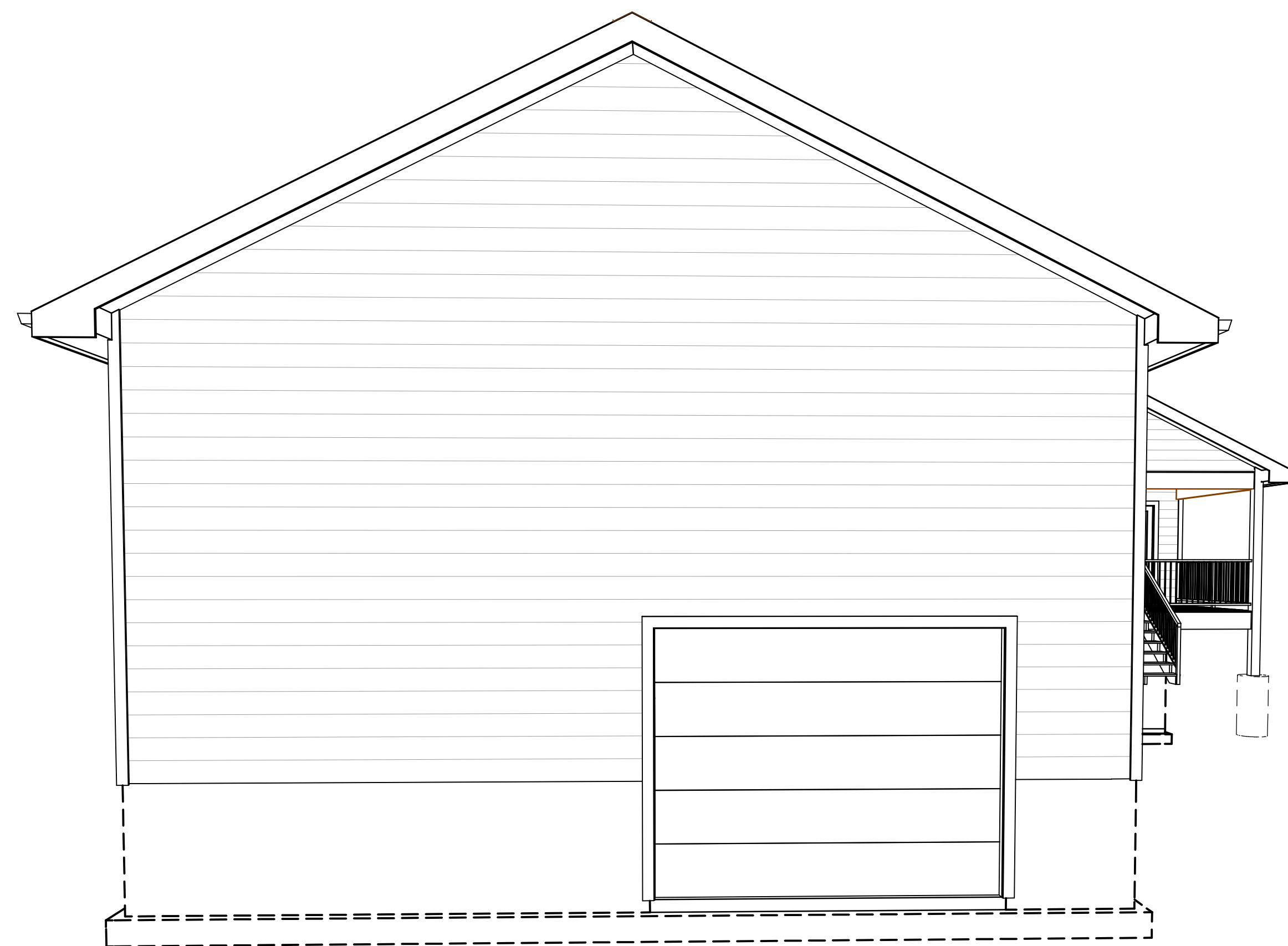
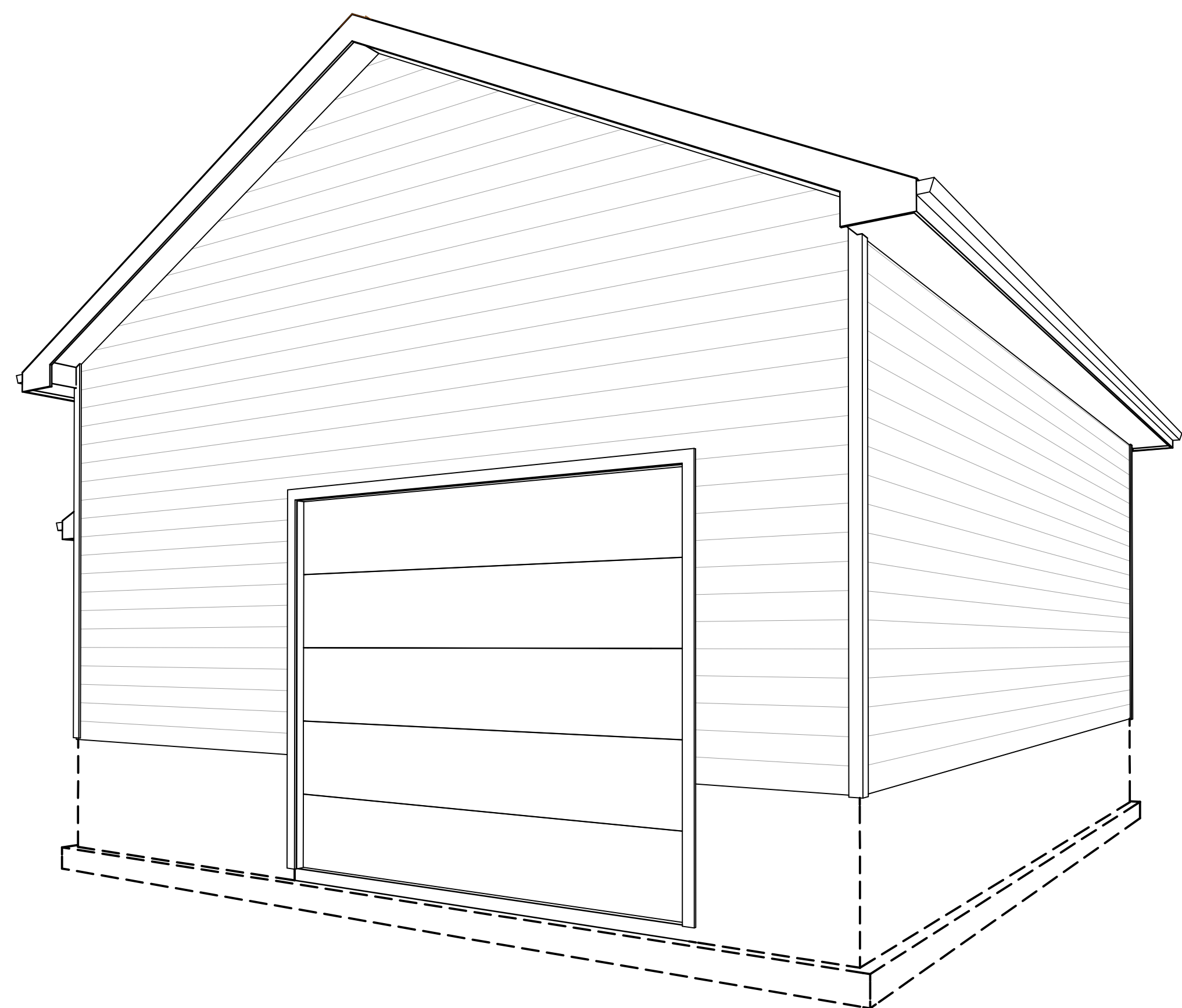
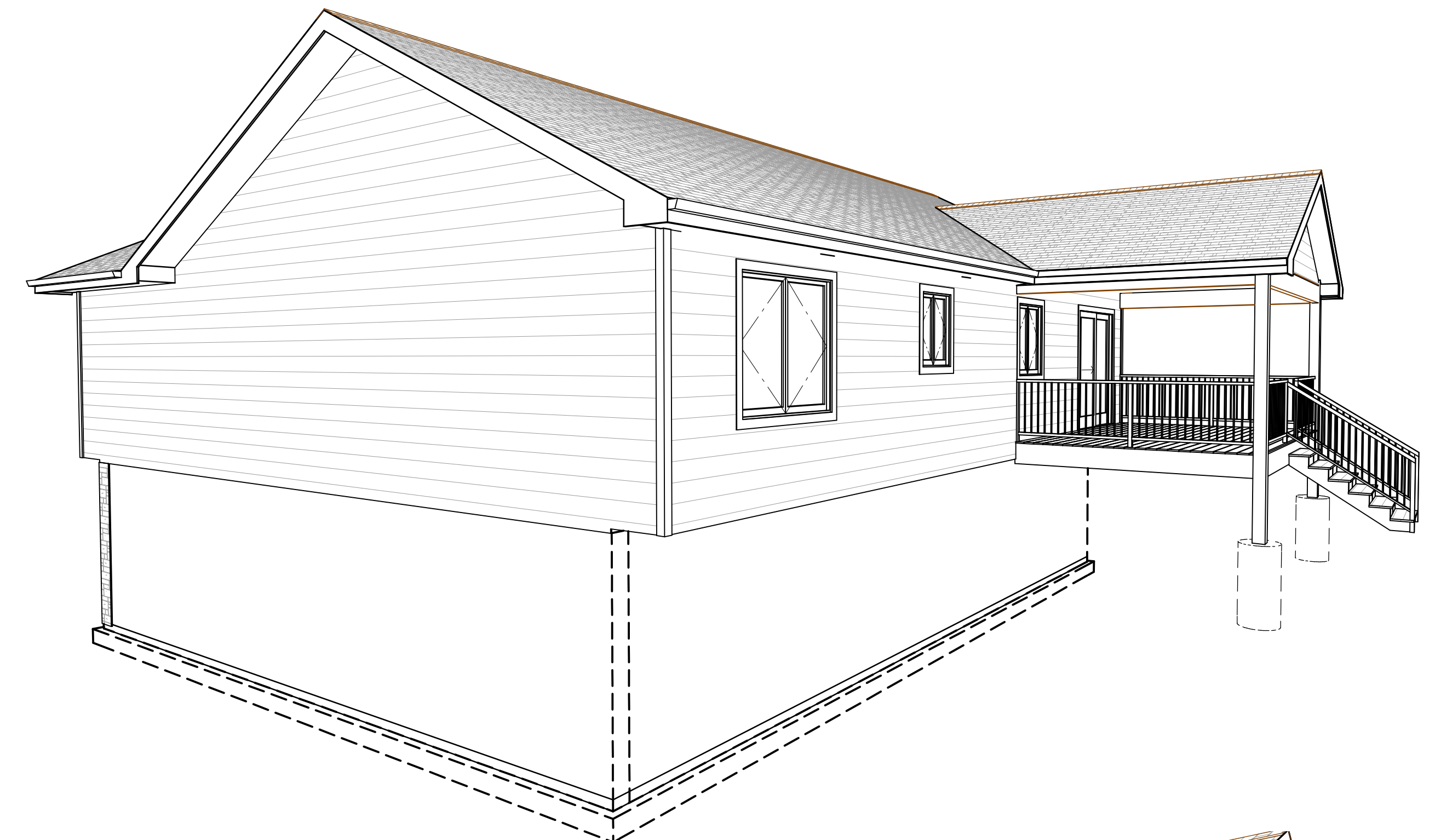
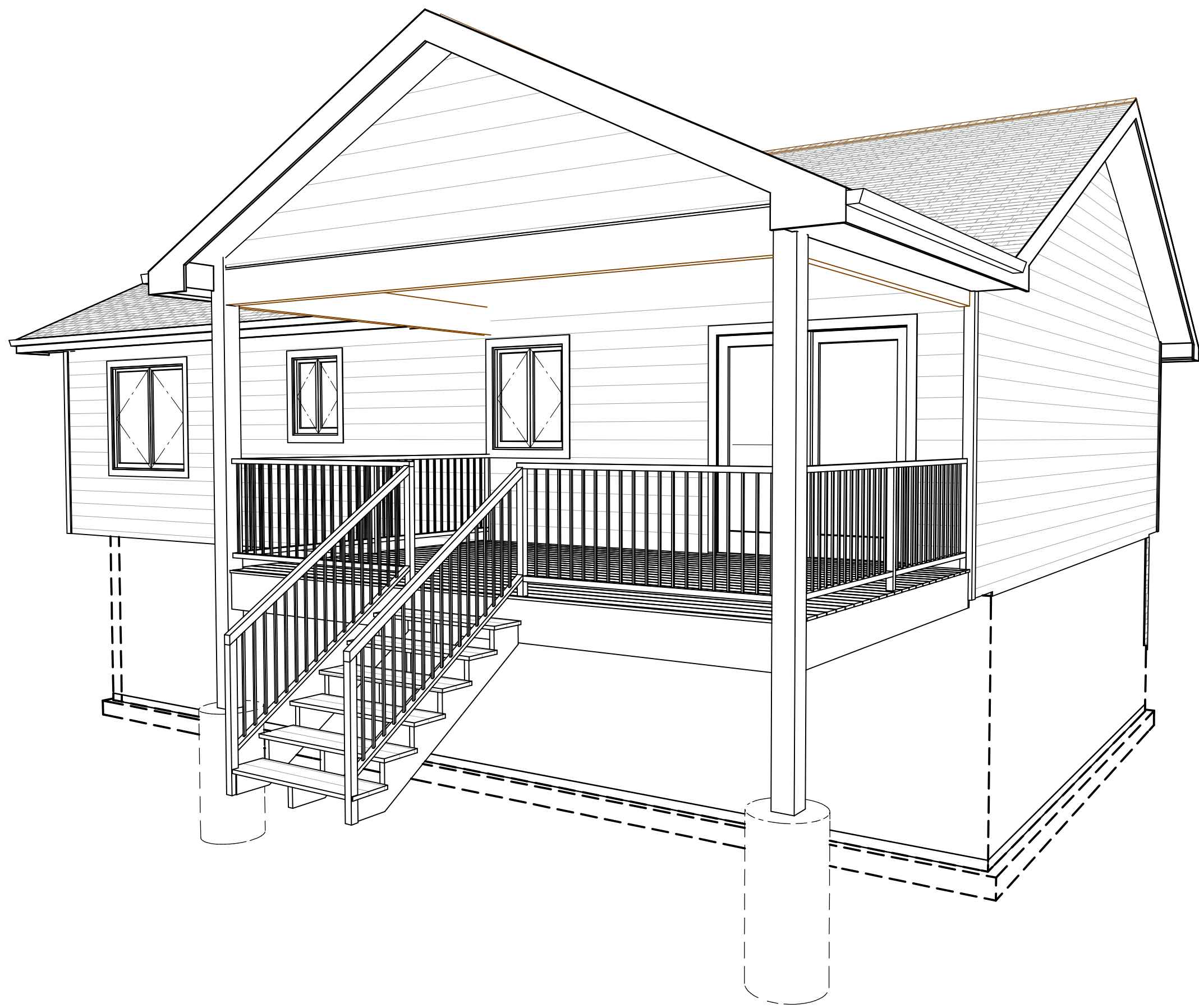
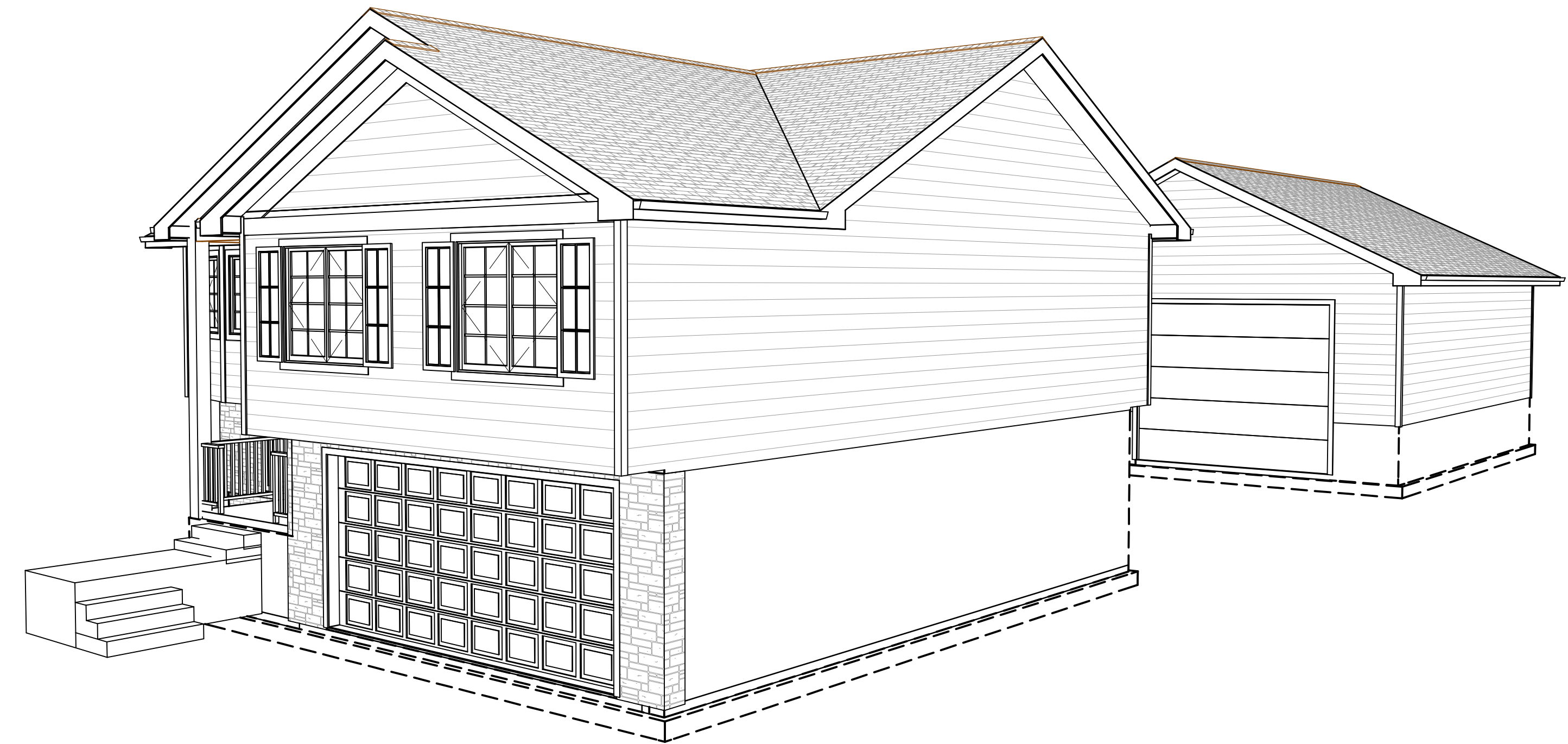
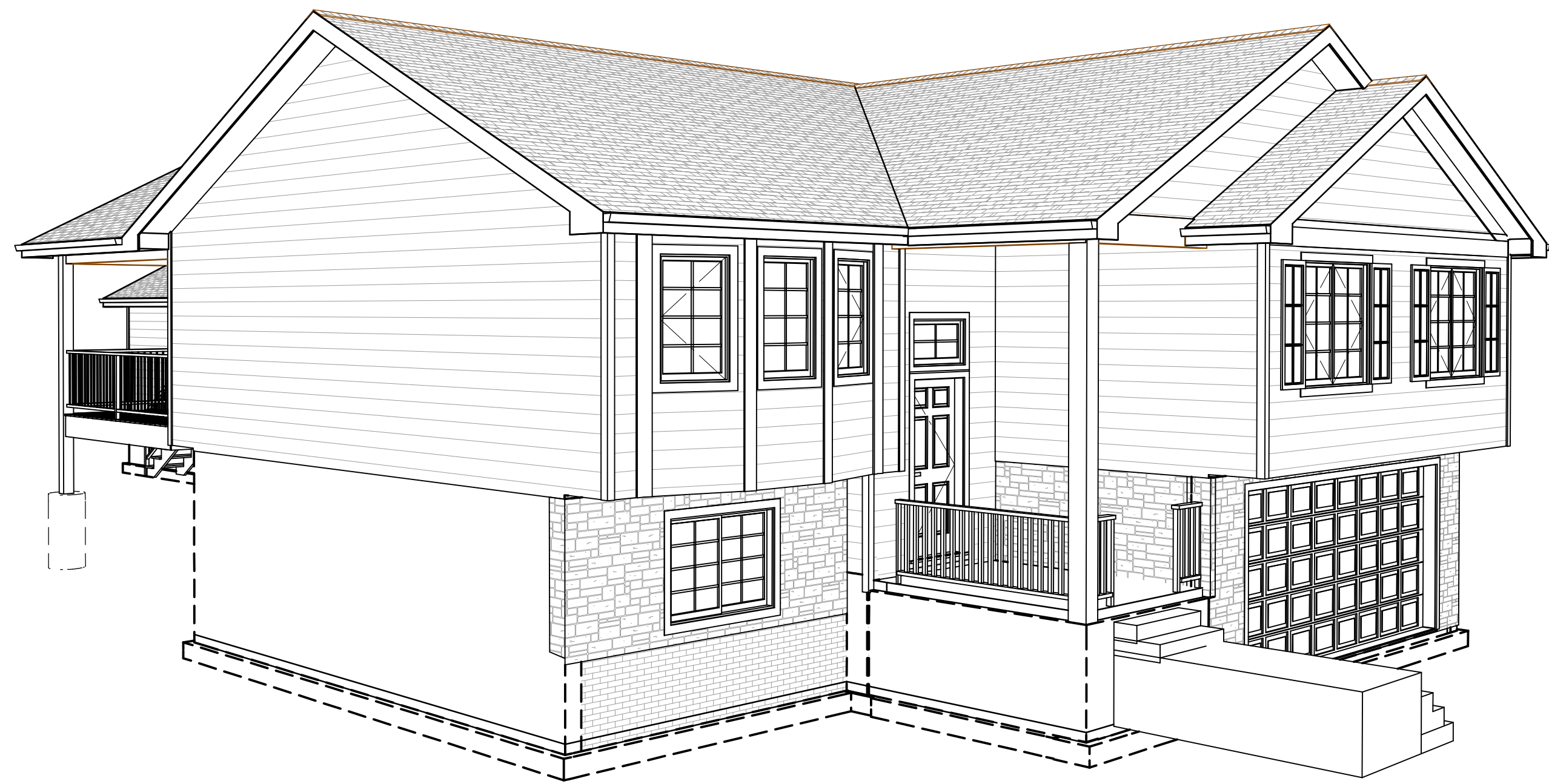
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PROJECT LOCATION:
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 DOUGLAS COUNTY



3D PERSPECTIVE VIEWS

NOT TO SCALE

3D PERSPECTIVE VIEWS ARE PURELY FOR VISUAL REPRESENTATION AND NOT FOR CONSTRUCTION PURPOSES.
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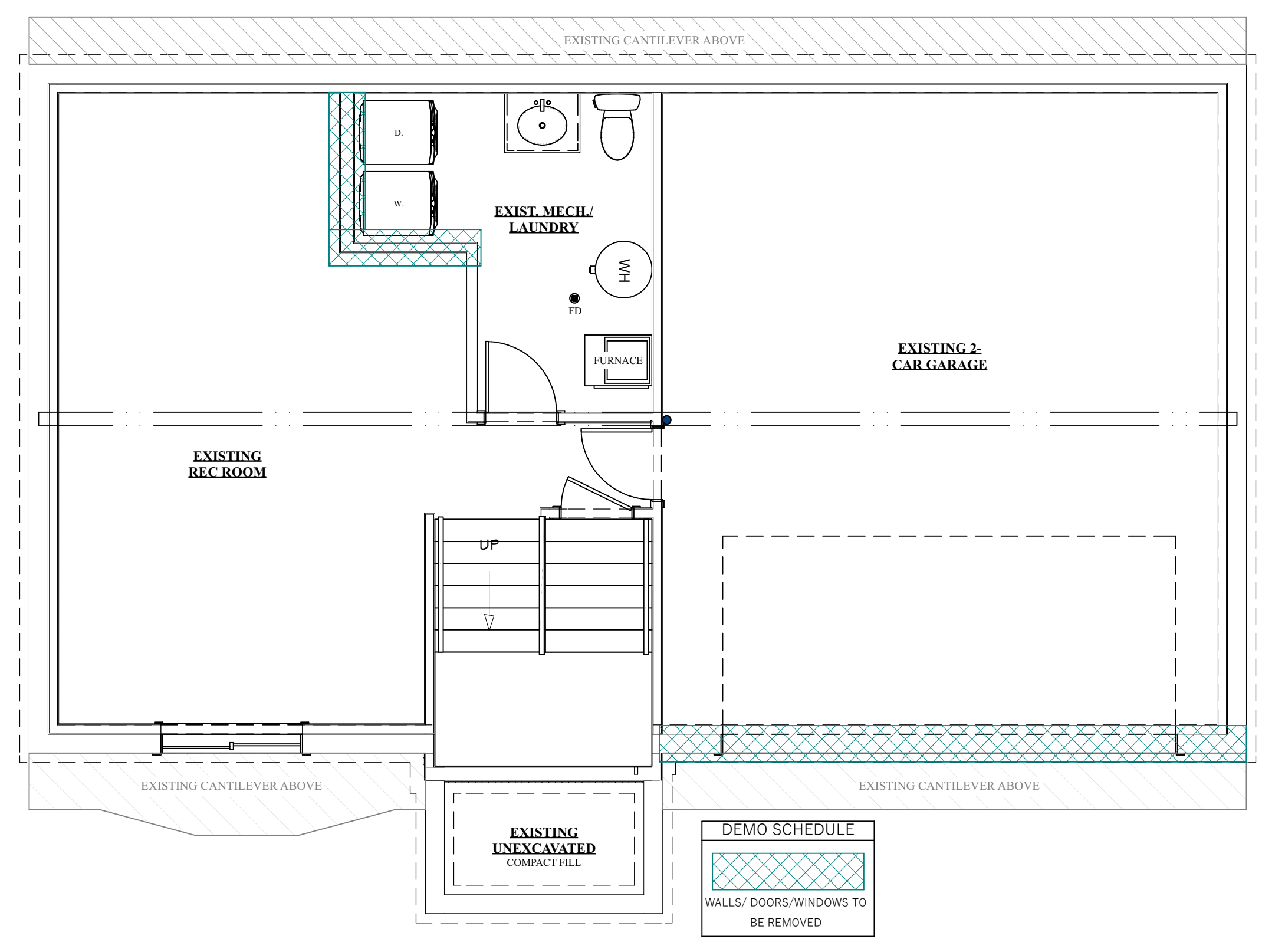
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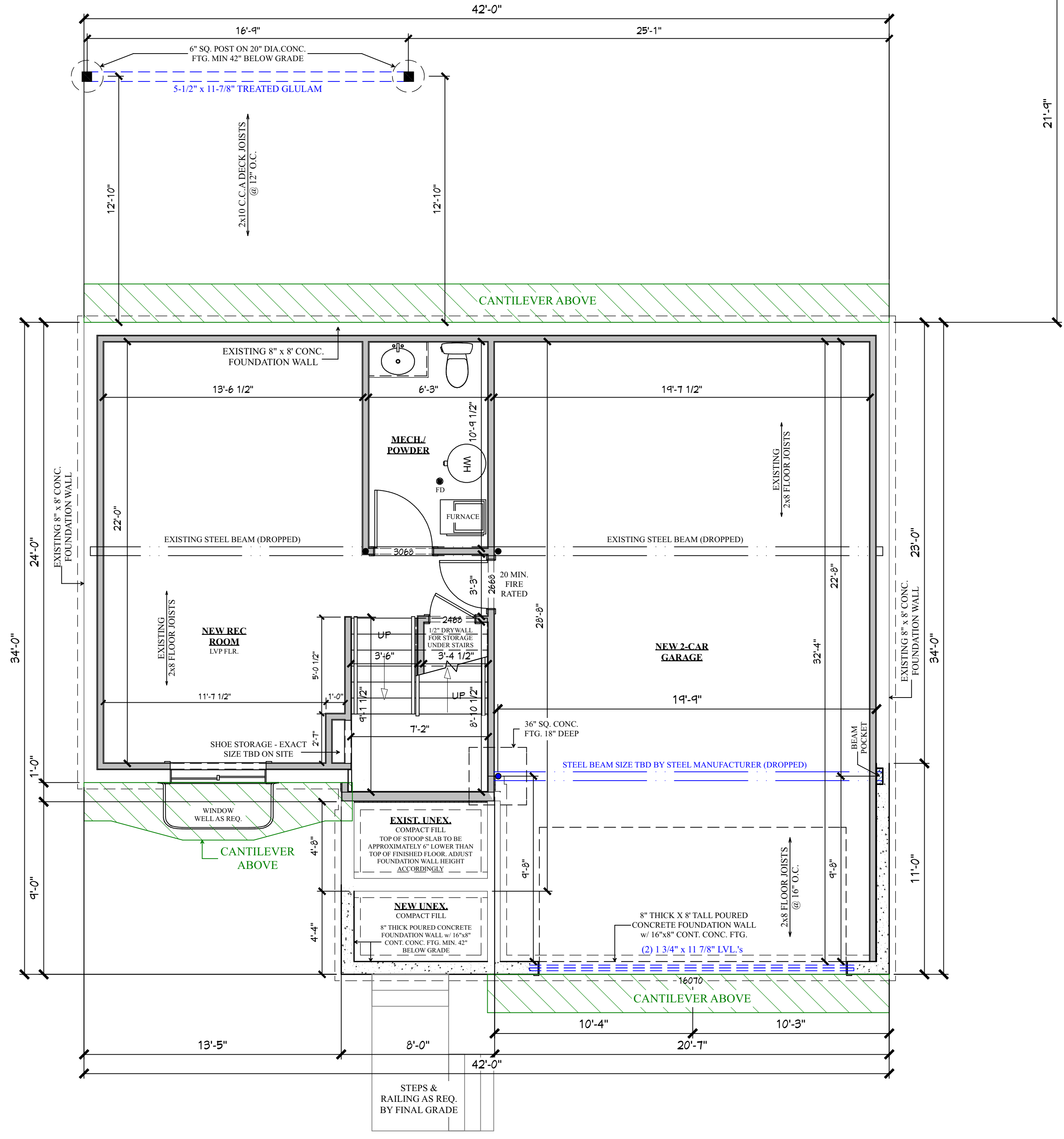


EXISTING BASEMENT/FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

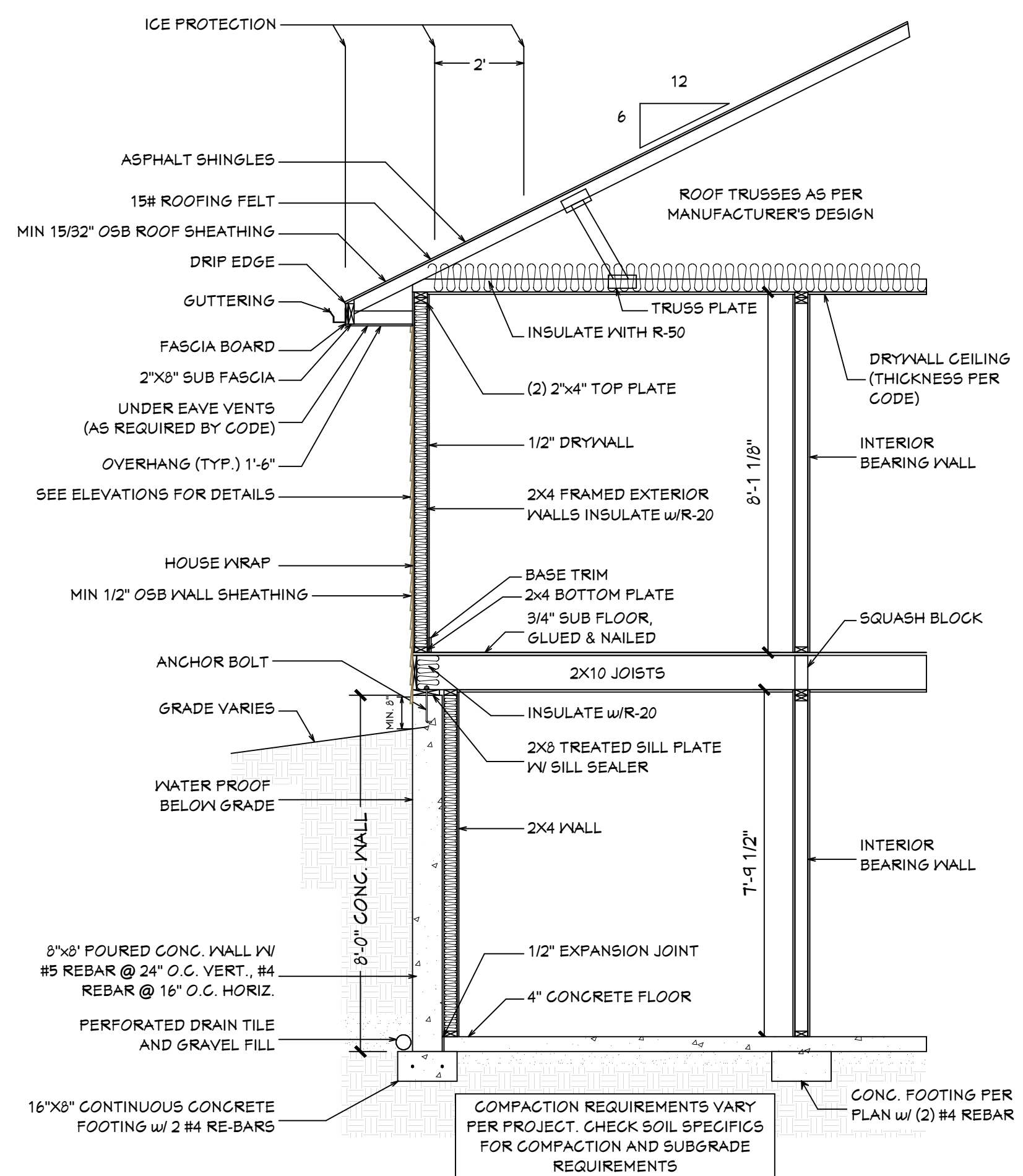
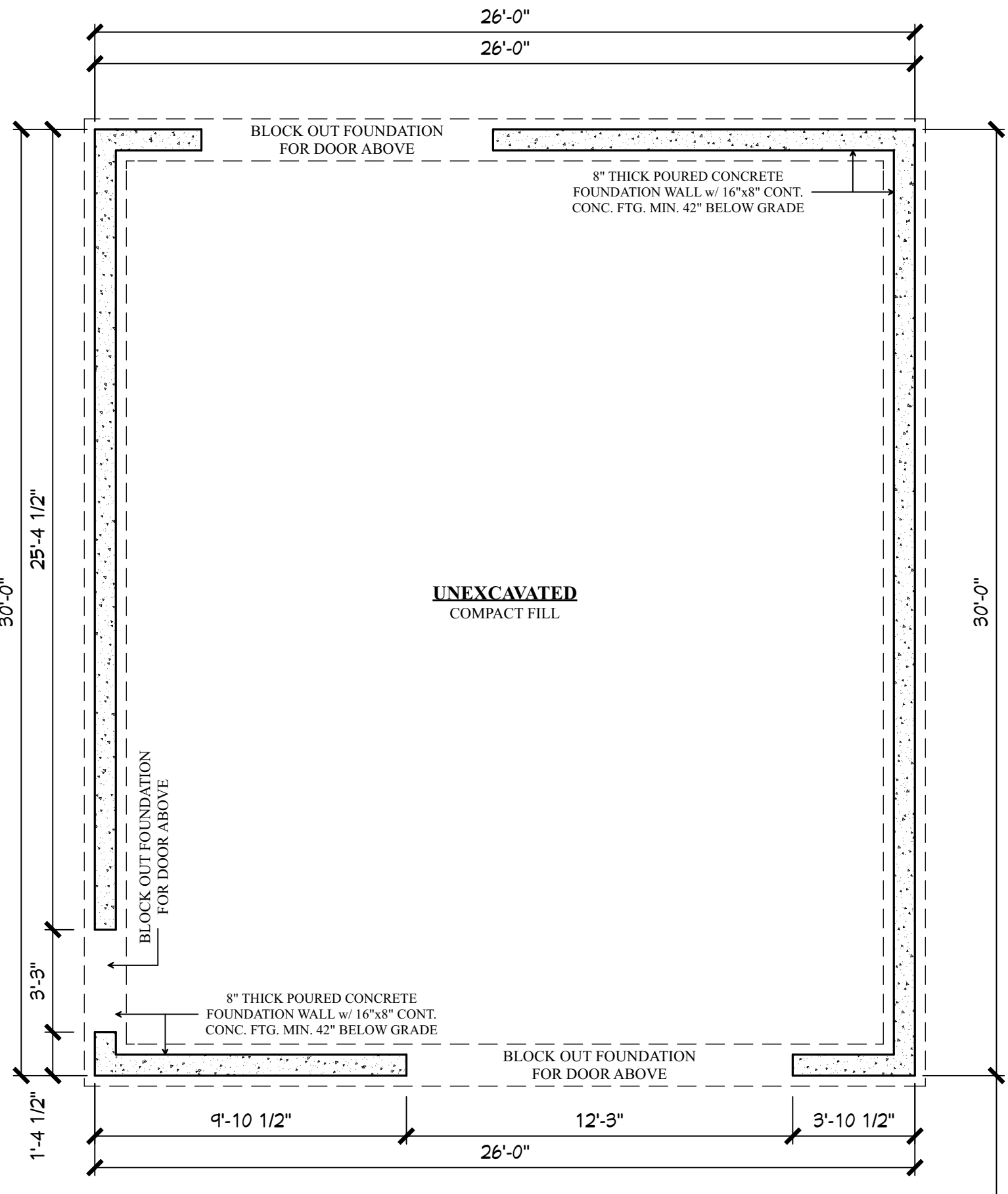
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- FOUNDATION & FRAMING NOTES**
- All structural members and framing members shall be confirmed by contractor, sub-contractor, and/or supplier for size, spacing, and species to verify they meet local code requirements.
 - All exterior framing dimensions are to exterior face of sheathing.
 - All interior framing dimensions to framing edge, unless otherwise noted.
 - 8"x8" high CMU block foundation walls, unless otherwise noted.
 - 2x4 exterior and 2x4 interior walls, unless otherwise noted.
 - All exterior headers shall be (2) 2x12, unless otherwise noted.
 - Door sizes noted as feet and inches.
 - Window sizes noted as inches. Contractor, sub-contractor, and/or suppliers to confirm window openings for egress, min. light, min. height, and ventilation requirements. Contractor and/or sub-contractor to go off of supplier provided rough opening sheet for all rough openings & sizes.
 - Ceiling Heights: 8' 1-1/8" Main Floor. Unless otherwise noted.
 - Allow for at least 3.5" from interior door rough openings to wall.
 - All angled walls are 45°, unless otherwise noted.
 - All centerline dimensions for fixtures should be double checked for field accuracy.
 - Wall bracing method = CS-WSP

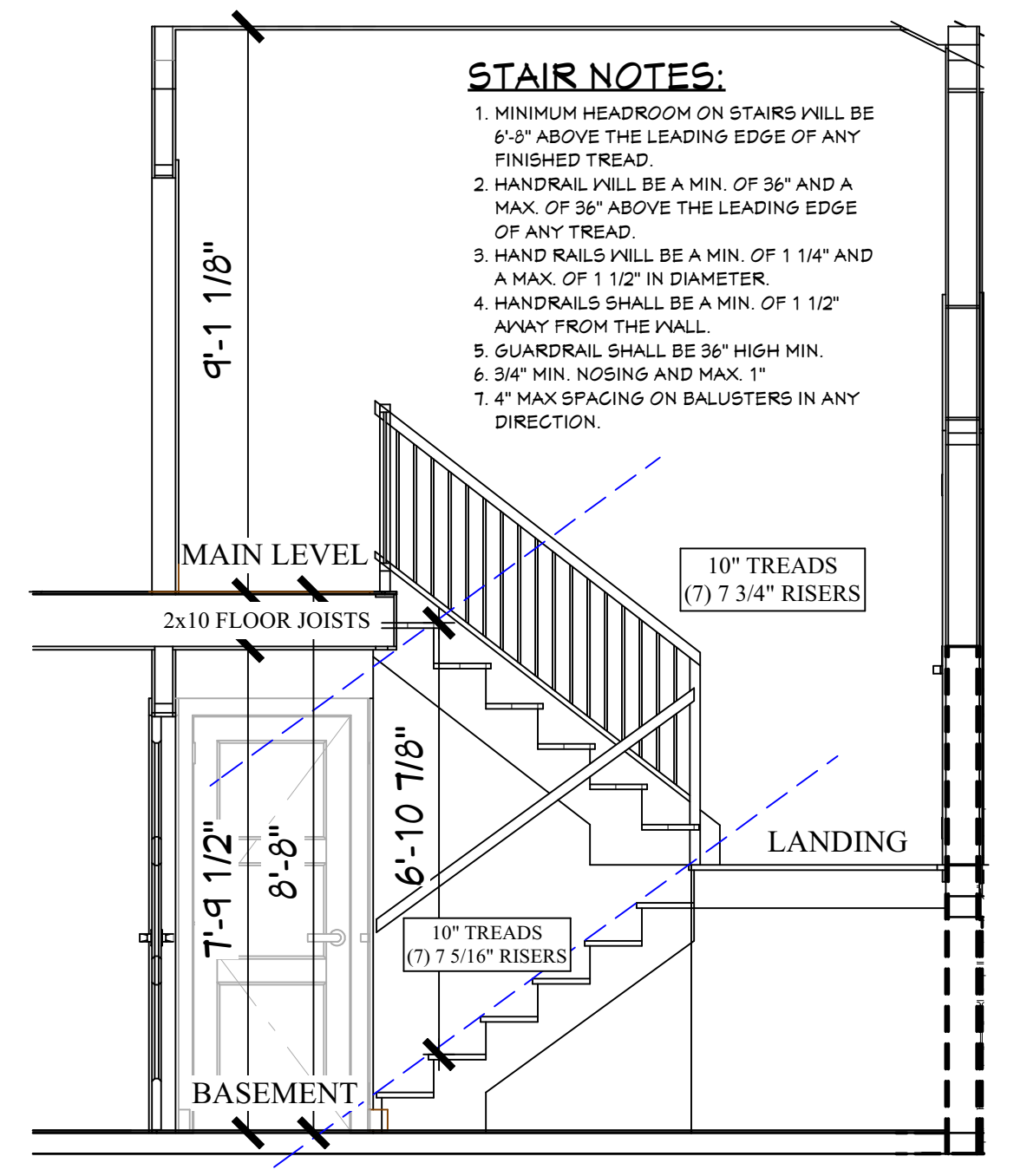
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NEW BASEMENT/FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



WALL SECTION
SCALE: 3/8" = 1'-0"



STAIR DETAIL
SCALE: 3/8" = 1'-0"

	ALTERED	UNFINISHED SQ. FT.	SPECIALTY SQ. FT.
BELOW GRADE	522	GARAGE 703	DETACHED GARAGE 780
MAIN LEVEL	1,371	DECK 195	
		COVERED PORCH 68	
TOTALS:	1,893	TOTALS: 966	TOTALS: 780

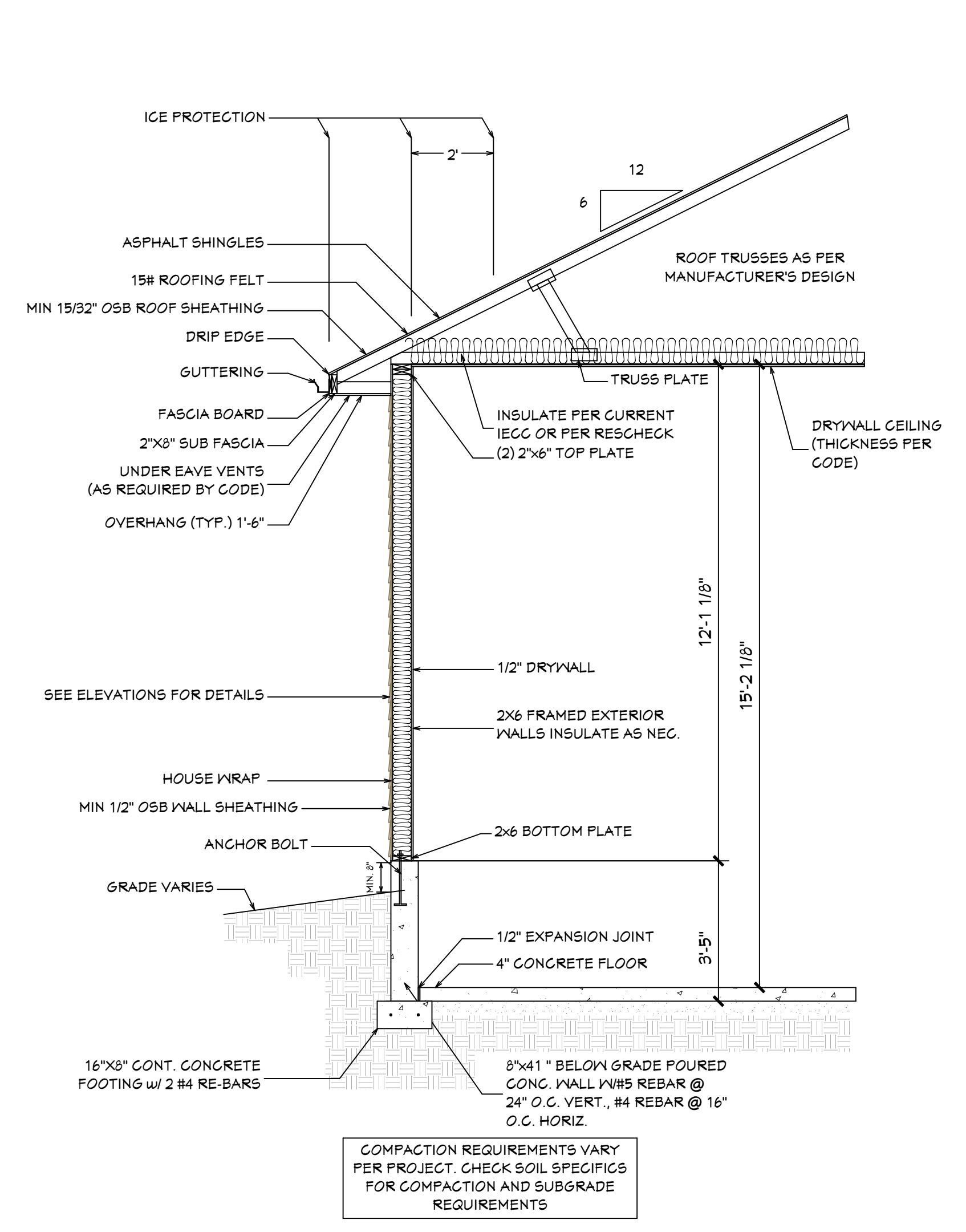
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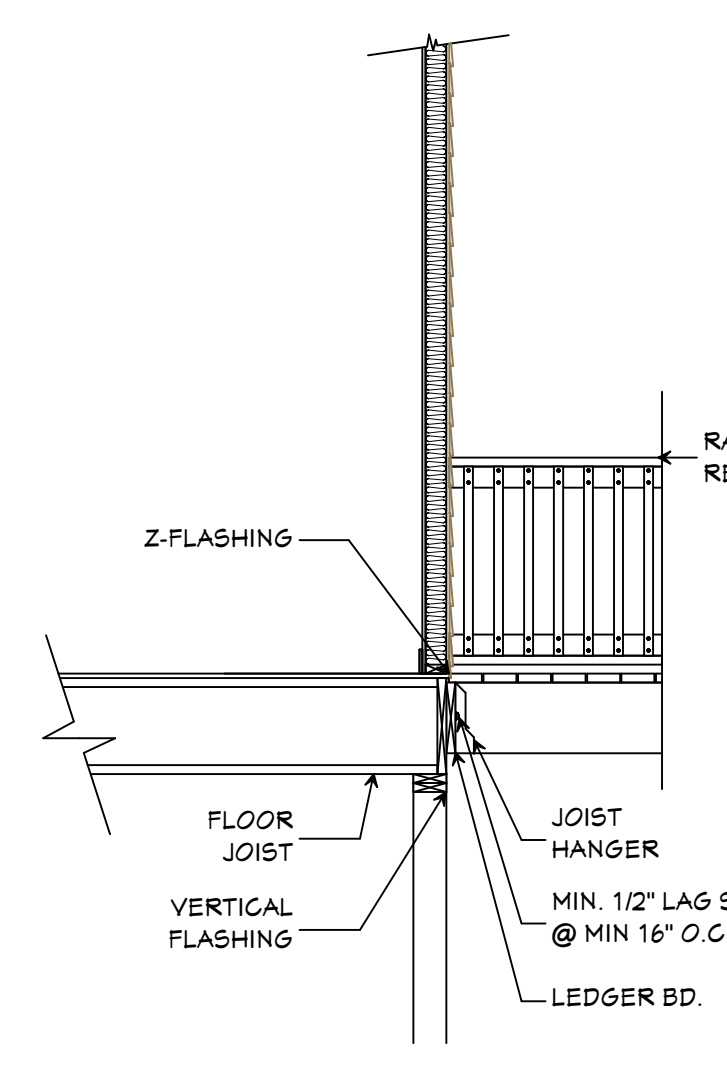
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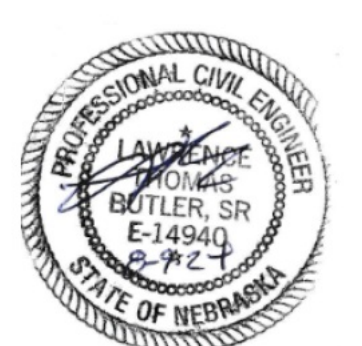
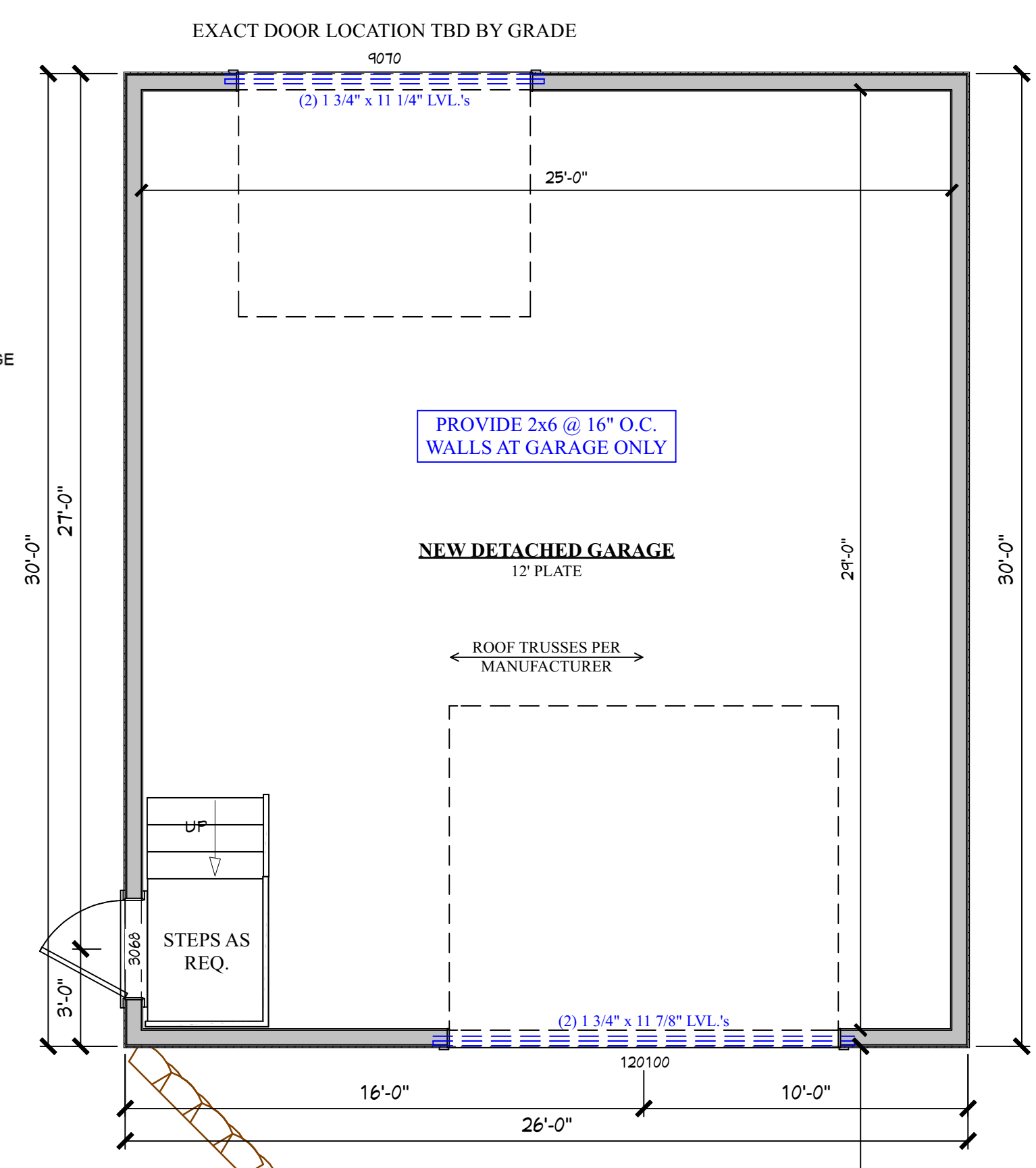


DETACHED GARAGE WALL SECTION
 NO SCALE

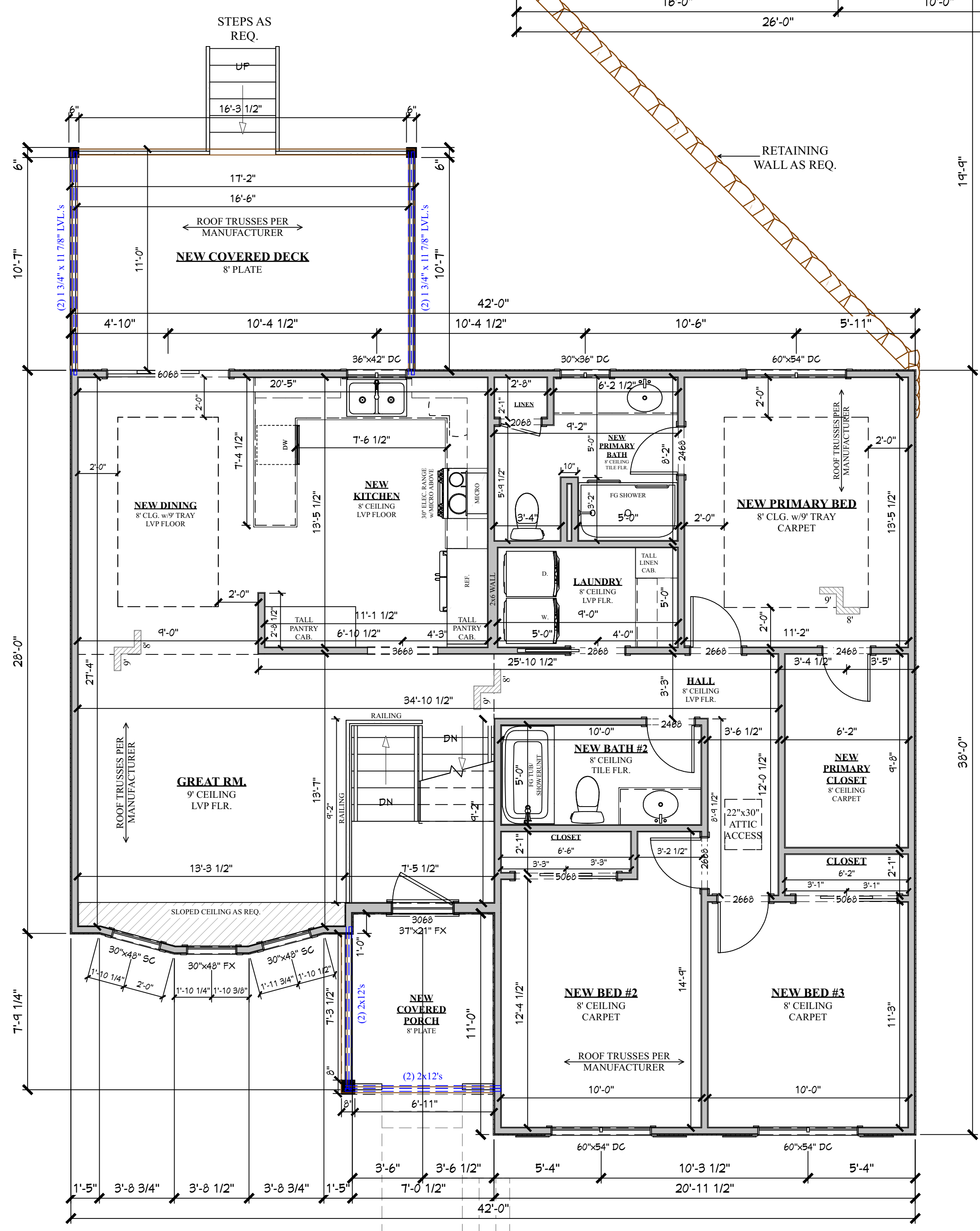


DECK DETAIL
 NO SCALE

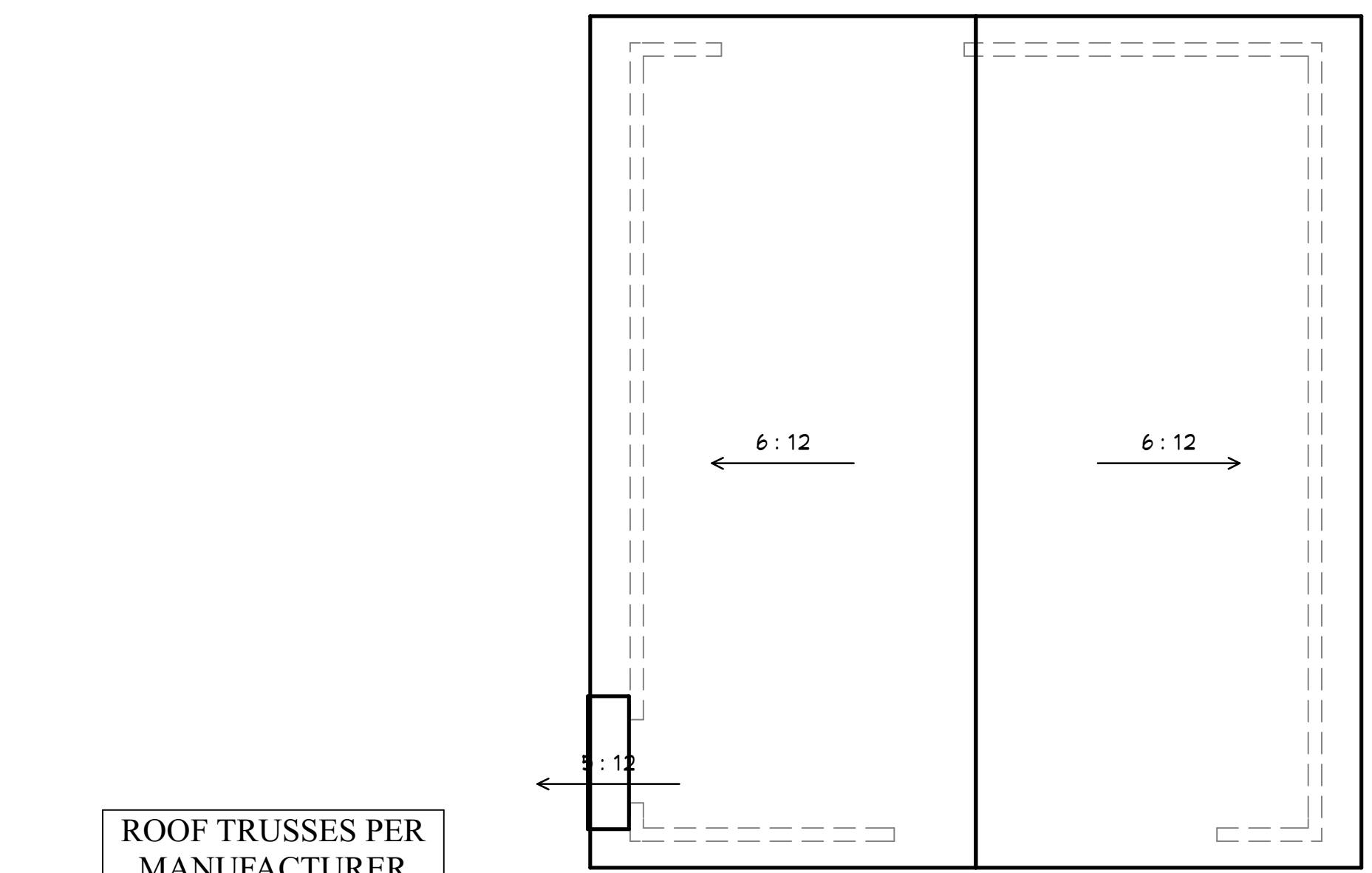
- DECK NOTES:**
1. GUARDRAIL SHALL BE 36" HIGH MIN.
 2. PLACE BALLUSTERS AT 4' O.C. MIN.
 3. 1/2" x 1/2" LAG BOLTS WITH WASHERS @ 12" O.C. STAGGERED AT LEAST 2" IN FROM THE BOTTOM AND TOP OF THE LEDGE AND AT LEAST 2" IN FROM THE ENDS.
 4. HOLD DOWN TENSION DEVICES SHALL BE INSTALLED IN NOT LESS THEN TWO LOCATIONS PER DECK.
 5. HOLD DOWN TENSION DEVICES SHALL NOT BE REQUIRED WHEN A 2X4 DIAGONAL BRACE IS INSTALLED ON THE UNDERSIDE OF THE FLOOR JOIST, TYING ALL JOISTS TOGETHER INCLUDING THE LEDGER.
 6. CAN NOT ATTACH TO CANTILEVER.



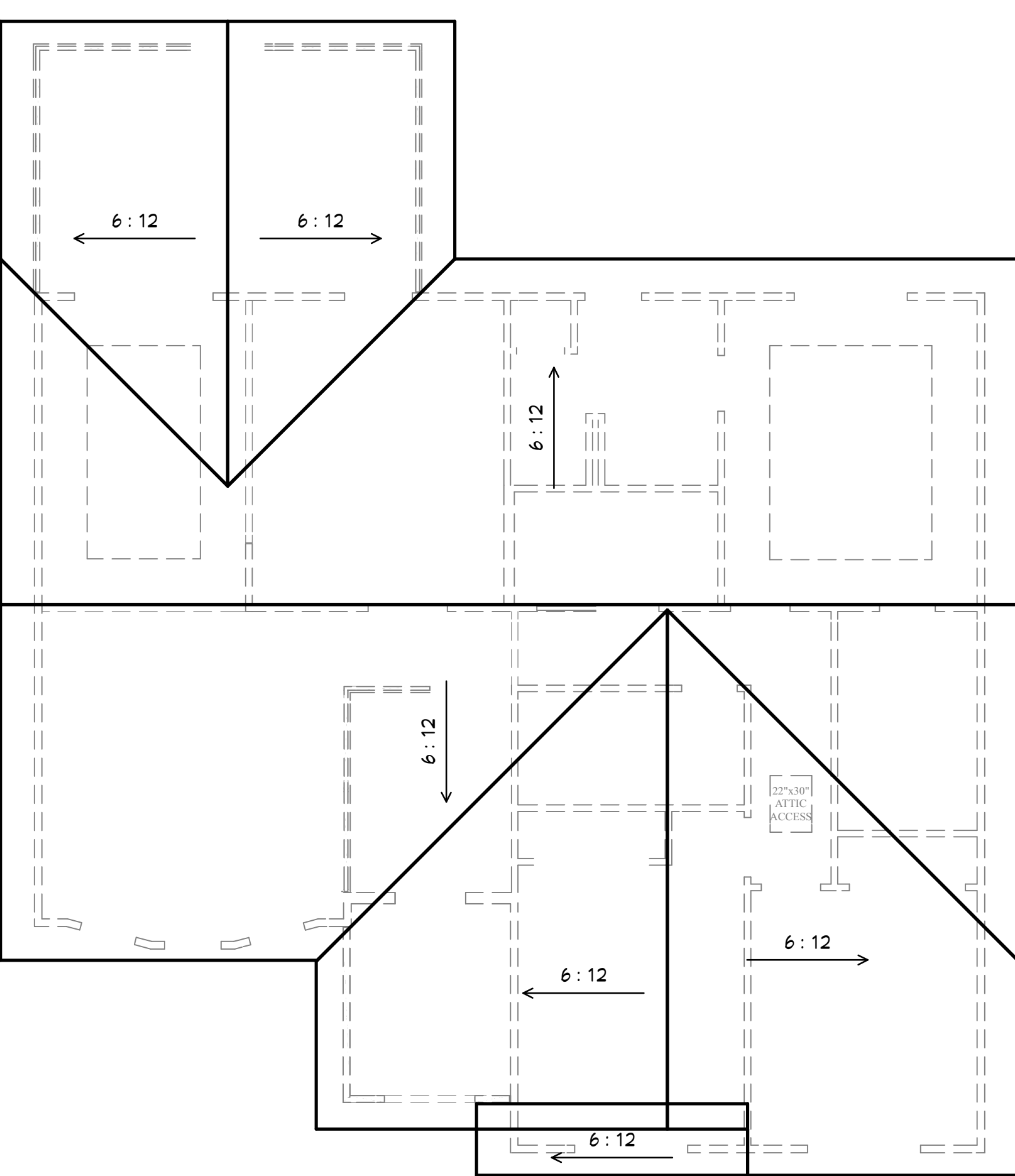
THIS SEAL COVERS THE GARAGE STUD WALLS AT 2X6 @ 16\"/>



MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"



ROOF TRUSSES PER MANUFACTURER
 1'-6" OVERHANG (TYP.)
 GABLE ENDS 1'-0" OVERHANG



MAIN LEVEL ROOF FLOOR PLAN
 SCALE: 3/16" = 1'-0"

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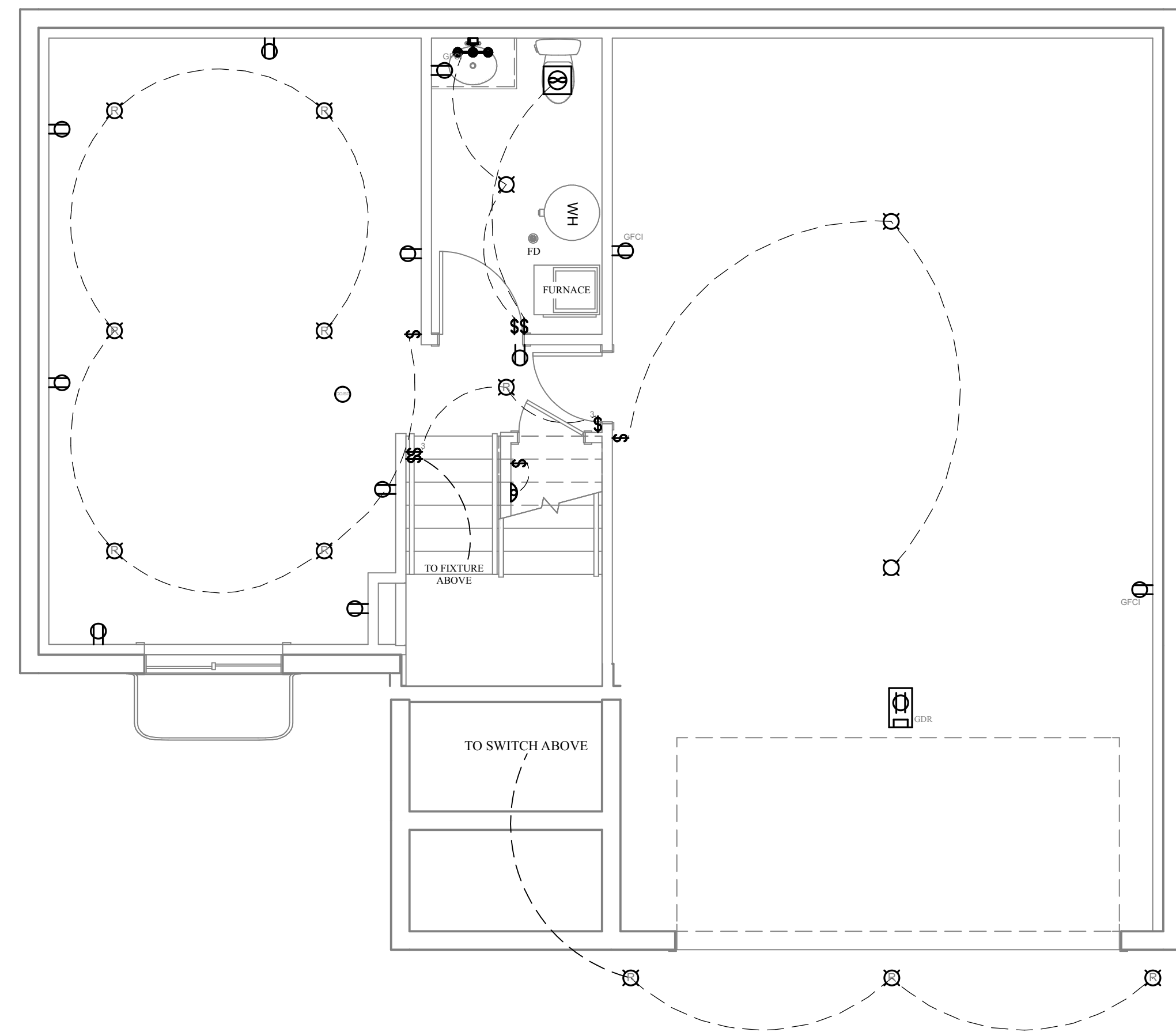
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9. Ceiling Heights: 8' 1-1/8" Main Floor. Unless otherwise noted.
10. Allow for at least 3.5" from interior door rough openings to wall.
11. All angled walls are 45°, unless otherwise noted.
12. All centerline dimensions for fixtures should be double checked for field accuracy.
13. Wall bracing method = CS-WSP

ALL HEADERS ON THIS FLOOR TO BE AT 82" UNLESS NOTED OTHERWISE

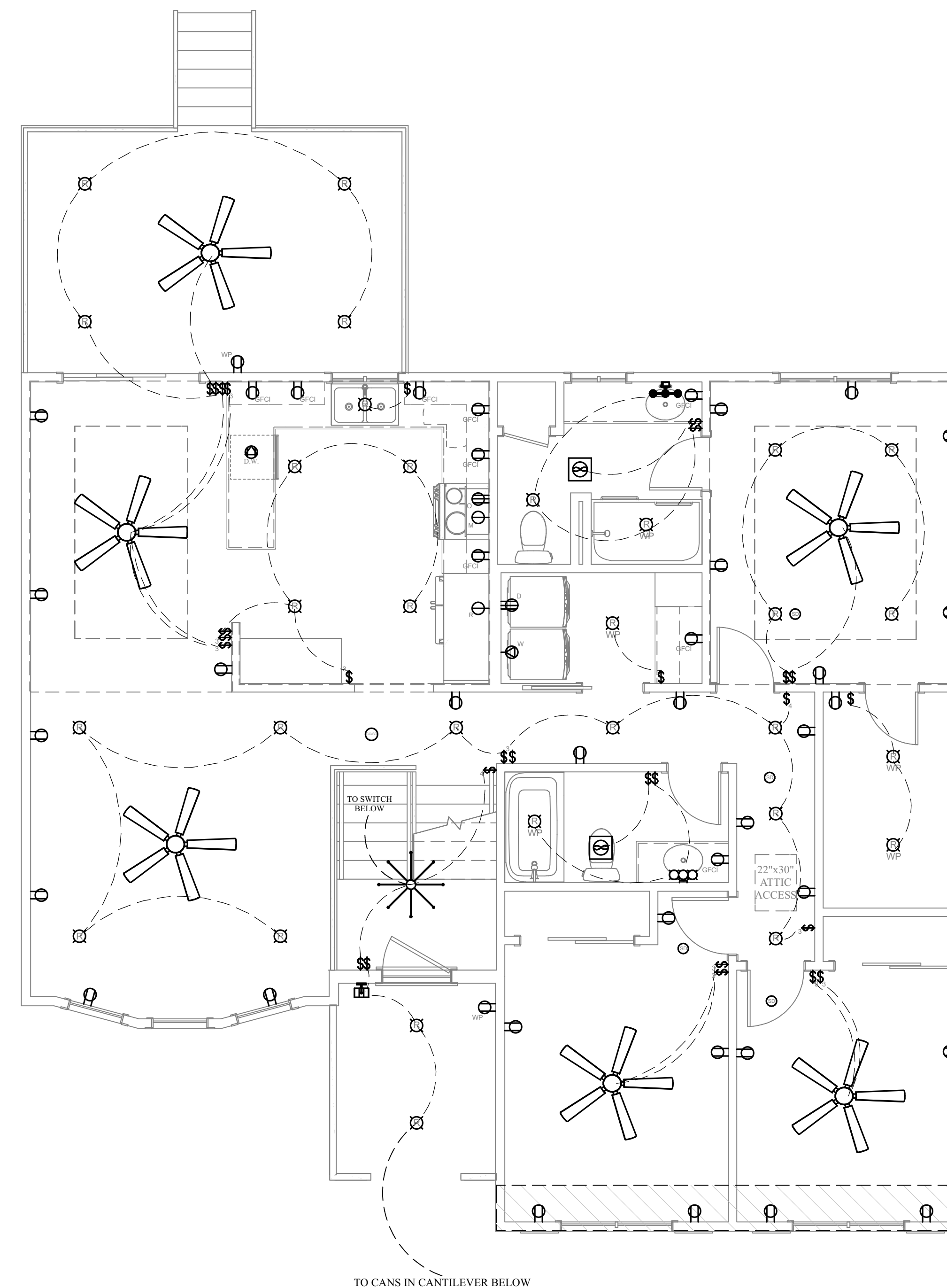
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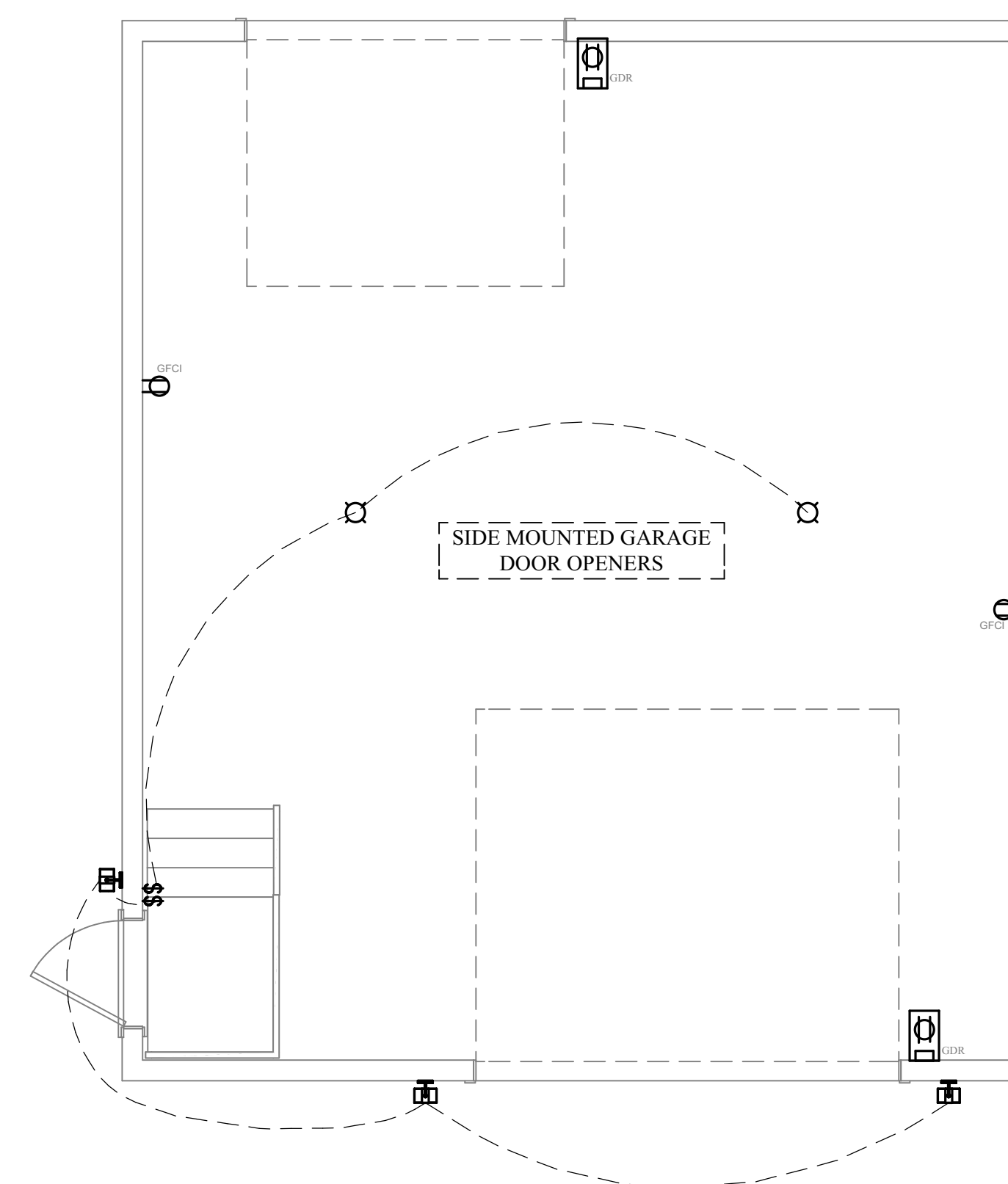
BASEMENT ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



MAIN FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Heat Lamp
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle, Oven, Clothes Dryer
	110V Receptacles: Duplex, Weather Proof, GFCI
	Ceiling Mounted 110V Receptacle, Garage Door Opener
	110V Single Receptacle, Refrigerator
	Special Purpose Single Receptacle; Washing Machine, Hood w/ Vent
	Special Purpose Duplex Receptacle; Dishwasher
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

CONTRACTOR, ELECTRICIAN, & HOMEOWNER TO SITE VERIFY FIXTURE TYPE, LOCATION, QUANTITY, & CODE COMPLIANCE

REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION

INTEGRITY - RESULTS - PROVEN

IDEAL
CONSTRUCTION, INC.

21311 OLD COACH RD.
ELMHORN, NE 68022
DOUGLAS COUNTY

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DATE:	8/15/2024
SHEET:	8 OF 8