

GALLIANT AUTISM CARE — TENANT FINISH

11717 BRYAN ST
SUITE 101 & 102
GRETNA, NEBRASKA

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ABBREVIATIONS:

AB	ANCHOR BOLT	D	DOWN	G	GROUT	MISC	MISCELLANEOUS	S	SOUTH
AC	ACOUSTICAL CEILING	DET	DETAIL	GA	GAUGE	MO	MASONRY OPENING	SC	SOLID CORE
AW	WALLCOVERING	DIA	DIAMETER	GALV	GALVANIZED	M/R	MOISTURE RESISTANT	SCHE	SCHEDULE
ACOUS	ACOUSTICAL	DIFF	DIFFUSER	GB	GRAB BAR	MTD	MOUNTED	SD	SOAP DISPENSER
ADJ	ADJACENT, ADJUSTABLE	DM	DIMENSION	GEN	GENERATOR	MTO	MEETING MOUNTING	SECT	SECTION
AL, ALUM	ALUMINUM	DISP	DISPENSER	GL	GLASS	MUL	MULLION	SF	SQUARE FEET
ALT	ALTERNATE	DO	DOOR OPENING	GND, GRND	GROUND	N	NORTH	SH	SHelf
AP	ACCESS PANEL	DR	DOOR	GWB	GYP/SUM WALLBOARD	NEO	NEOPENRE	SHT	SHEET
APPROX	APPROXIMATE	DWR(S)	DRAWING, DRAWINGS	GYP	GYP/SUM	NIC	NOT IN CONTRACT	SM	SIMILAR
ARCH	ARCHITECTURAL	DWR	DRAWER	HB	HOSE BIB	NO	NO	SL	SLIDING
AW	ANNING FABRIC	E	EAST	HC	HANDICAPPED	NOM	NOMINAL	SQL	SQUARE
B	BASE	EA	EACH	HD	HEAD	NTS	NOT TO SCALE	SST	STAINLESS STEEL
BD	BOARD	EFS	EXTERIOR INSULATION	HDWE	HARDWOOD	ST	STAIN	STD	STANDARD
BDG	BUMPER GUARD	EL	ELEVATION	HDWR	HARDWARE	STA	STAIN	STL	STEEL
BLDG	BUILDING	EJ	EXPANSION JOINT	HM	HOLLOW METAL	STOR	STORAGE	STRUC	STRUCTURAL
BLK	BLOCK	EL, ELEV	ELEVATION	HORIZ	HORIZONTAL	STRUC	STRUCTURAL	SUSP	SUSPENSION
BLM	BLIND	ELEC	ELECTRIC, ELECTRICAL	HR	HOUR	SYM	SYMMETRICAL	SYM	SYMMETRICAL
BM	BEAM	ELEV	ELEVATOR	HT	HEIGHT	T	TRIPLE	TEL	TELEPHONE
BOT	BOTTOM	EMER	EMERGENCY	HVAC	HEATING, VENTILATING, AIR CONDITIONING	TEMP	TEMPERED	THK	THICK
CAB	CABINET	ENCL	ENCLOSURE	ID	INSIDE DIAMETER	THK	THICK	TOS	TOP OF STEEL
CB	CONCRETE BLOCK	EWC	ELECTRIC WATER COOLER	IN	INSULATION	PL	PLATE	TOW	TOP OF WALL
CC	CENTER TO CENTER	EXH	EXHAUST	INSUL	INSULATION	P, LAM, PL-	PLYWOOD	TT	TYPICAL
CEM	CEMENT	EXT	EXISTING	INT	INTERIOR	PLAS	PLASTER	TYP	TYPICAL
CER	CERAMIC	EXP	EXPANSION, EXPOSED	JAN	JANITOR	PLYWD	PLYWOOD	UNF	UNFINISHED
CG	CONCRETE FINISH	EXT	EXTERIOR	JST	JOIST	PNL	PANEL, PANELBOARD	UON	UNLESS OTHERWISE NOTED
CJ	CORNER GUARD	FA	FIRE ALARM	JT	JOINT	PP	PREFINISHED PANELS	VERT	VERTICAL
CKT	CIRCUIT	FB	FLAT BAR	JST	JOIST	PR	PAIR	VEST	VESTIBULE
CL	CLOSET	FC	FOOT-CANDLES	KIT	KITCHEN	PROJ	PROJECT	VWC	VINYL WALLCOVERING
CLKG	CAULKING	FD	FLOOR DRAIN	KIP	KICK PLATE	PROP	PROPERTY	W	WEST
CLG, CEIL	CEILING	FDN	FOUNDATION	LAM	LAMINATE, LAMINATED	P.T.	PRESSURE TREATED	WC	WATER CLOSET
CLR	CLEAR	FE	FIRE EXTINGUISHER	LAV	LAVATORY	PT	POINT	WD	WOOD
CMU	CONCRETE MASONRY UNIT	FEC	FIRE EXTINGUISHER CABINET	LT	LIGHT	PIN	PAPER TOWEL DISPENSER	WDO	WINDOW
COL	COLUMN	FIN	FINISH	M	MOLDING	PTR	POWER	WFO	WOOD FLOOR
CONC	CONCRETE	FIX, FIXT	FIXTURE	MACH	MACHINE	QT	QUANTITY	WM	WALK-OFF MAT
COND	CONDITION	FL	FLASH	MATL	MATERIAL	R	RISER	W/O	WITHOUT
CONSTR	CONSTRUCTION	FLSH	FLASHING	MAX	MAXIMUM	REFL	REFLECTED	WP	WATERPROOF
CONTR	CONTINUOUS	FLUOR	FLUORESCENT	MEMB	MEMBRANE	REIN	REINFORCED	WR	WATER RESISTANT
CORR	CORRIDOR	FOC	FACE OF CONCRETE	MET, MTL	METAL, METAL	REQ, REQ	REQUIRED	WT	WEIGHT
CPT, C	CARPET	FOF	FACE OF FINISH	MFR	MANUFACTURER	RESIL	RESILIENT		
CT	CERAMIC TILE	FOS	FACE OF STUDS	MH	MANHOLE	RESL	RESILIENT FLOORING		
CTR	CENTER	FW	FACE OF WALL	MIN	MINIMUM	RM	ROOM		
		FR	FIRE RATED/RETARDANT	MIR	MIRROR	RO	ROUGH OPENING		
		FRP	FIBERGLASS REINFORCED POLYESTER PANEL			RWL	RAIN WATER LEADER		
		FRW	FIRE RETARDANT TRID. WD.						
		FT	FOOT, FEET						
		FURR	FURRING						

CODE INFORMATION:

REFERENCE CODES: CITY OF GRETNA
COMMERCIAL BUILDING CODE - 2021 IBC (INCLUDES AMENDMENTS)
ELECTRICAL CODE - 2017 NEC
ENERGY CODE - 2018 EEC (INCLUDES AMENDMENTS)
FIRE CODE - 2012 LIFE SAFETY CODE
ACCESSIBILITY CODE - 2009 ICC/ANSI A117.1-2009
MECHANICAL CODE - 2021 IMC (INCLUDES AMENDMENTS)
PLUMBING CODE - 2021 IPC (INCLUDES AMENDMENTS)
FUEL GAS CODE: IFCC 2021

CHAPTER 3 - USE & OCCUPANCY CLASSIFICATION:
303.1.2 & 304.1 GROUP B OCCUPANCY - AUTISM CENTER

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS:
TENANT FINISH ONLY

BUILDING IS FULLY SPRINKLED

CHAPTER 6 - TYPES OF CONSTRUCTION:
602.2 - TYPE IB CONSTRUCTION CLASSIFICATION
603.1 - LISTS COMBUSTIBLE MATERIALS ALLOWED IN TYPE IB CONSTRUCTION.

CHAPTER 9 - FIRE PROTECTION SYSTEMS:
B - OCCUPANCY

SPRINKLER PROVIDED WITH SHELL

907.2.2 MANUAL FIRE ALARM SYSTEM NOT REQUIRED IN FULLY SPRINKLERED BUILDING

CHAPTER 10 - MEANS OF EGRESS:

TABLE 1004.5 - OCCUPANT LOAD:

TOTAL AREA: 3,487 S.F.

ENTRY AREA: 134 SF / 15 = 9 PEOPLE

OPEN GYM: 278 / 50 = 6 PEOPLE

BREAK RM: 186 S.F. / 15 = 12 PEOPLE

MECH RM, LAUNDRY RMS: 143 S.F. / 500 = 1 PERSON

OFFICES, THERAPY RMS, RESTROOM, HALLWAYS, ETC: 2,746

S.F. / 100 = 28 PEOPLE

TOTAL OCCUPANTS = 75 PEOPLE

SECTION 1003 - EXITS REQUIRED:

- 2 EXITS REQUIRED
AND 4 PROVIDED

TABLE 1005.3.2 EGRESSES WIDTH PER OCCUPANT:
OTHER EGRESSES COMPONENTS, WITH SPRINKLER SYSTEM:

0.2 INCHES WIDTH PER OCCUPANT
75 * .2 = 15'

PROVIDED: 33" CLEAR * 4 DOOR = 132" (36" DOOR)

1009.1 - ACCESSIBLE MEANS OF EGRESS:
1 ACCESSIBLE MEANS OF EGRESS REQUIRED.

2 PROVIDED
IBC TABLE 1006.2.1 - COMMON PATH OF TRAVEL

B OCCUPANCY = 100'-0" MAXIMUM WITH SPRINKLER SYSTEM

1017.2 EXT ACCESS TRAVEL DISTANCE:
300'-0" MAXIMUM WITH SPRINKLER SYSTEM

PLUMBING CODE: PER IBC TABLE 2302.1

3,487 S.F. / 150 = 23 PEOPLE

TOTAL OCCUPANTS = 23 PEOPLE

23 / 2 = 12 PER GENDER

B OCCUPANCY: WC - 1 PER 25, LAV 1 PER 40

REQUIRED:
MEN: 1 WC, 1 LAV

WOMEN: 1 WC, 1 LAV

PROVIDED:
MEN: 1 WC, 1 LAV

WOMEN: 1 WC, 1 LAV

UNISEX RESTROOM PROVIDED (DOES NOT NEED TO MEET ADA AS PROVIDED AS EXTRA TENANT OPTION)

DRINKING FOUNTAINS: WATER DISPENSING STATION PROVIDED

1 SERVICE SINK REQUIRED & PROVIDED.

PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED, MAINTAINED, AND INSPECTED PER IFC 908. PROVIDE AS REQUIRED BY FIRE MARSHAL

SEE SCHEDULES FOR FIRE EXT. TYPE

ENTRY / RECEPTION AREA SHALL ACT AS VESTIBULE. WALLS AROUND THIS SHALL GO TO DECK AND DOOR SHALL HAVE CLOSER TO KEEP CONDITIONED AIR SEPARATED FROM THIS AREA.

GENERAL NOTES:

- THE USE OF THESE DOCUMENTS IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH THEY WERE PREPARED. REUSE OR REPRODUCTION OF THE DOCUMENTS, (WHOLE OR IN PART), FOR ANY OTHER PURPOSE IS PROHIBITED. TITLE TO THESE DOCUMENTS REMAINS WITH THE ARCHITECT. VISUAL CONTACT WITH THESE DOCUMENTS IS PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.
- THE GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND FIELD CONDITIONS WITH THE DRAWINGS PRIOR TO CONSTRUCTION & BIDDING. IN PARTICULAR: OVERALL WALL DIMENSIONS, CEILING HEIGHTS, ELECTRICAL REQUIREMENTS, CLEARANCES FOR DUCTWORK, HVAC EQUIPMENT, SPRINKLER LINES AND MAINS, ROOF DOWNSPOUTS, ELECTRICAL EQUIPMENT OR OTHER OBSTRUCTIONS WHICH COULD CAUSE CONFLICTS WITH CONSTRUCTION. GENERAL CONTRACTOR IS TO REPORT IMMEDIATELY TO THE ARCHITECT AND OWNER ANY VARIANCES, ERROR, INCONSISTENCY, OR OMISSION HE MAY DISCOVER. VARIATION FROM THE DRAWINGS WITHOUT APPROVAL OF THE ARCHITECT AND/OR FAILURE TO REPORT ERRORS, OMISSIONS, OR INCONSISTENCIES TO THE ARCHITECT AND TENANT SHALL PLACE FULL RESPONSIBILITY, FOR ANY PROBLEMS, CHANGES, ETC. DIRECTLY UPON THE CONTRACTOR, INCLUDING BUT NOT LIMITED TO ALL COSTS.
- THE GENERAL CONTRACTOR IS TO GUARANTEE ALL WORK INCLUDING WORK DONE BY SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR COMMENCING WITH THE DATE OF TOTAL COMPLETION OF THE WORK.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL GOVERNING CODES, ORDINANCES AND AUTHORITIES HAVING JURISDICTION.
- ALL MATERIAL SPECIFIED IS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. GENERAL CONTRACTOR IS TO CONSTRUCT PROJECT IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. ANY DEVIATION FROM THE INTENT OF THE CONSTRUCTION DOCUMENTS, WITHOUT OWNER'S APPROVAL, ARE AT THE CONTRACTOR'S OWN RISK AND MAY RESULT IN THE WORK BEING DONE OVER AT CONTRACTOR'S EXPENSE, (MATERIALS AND LABOR).
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- GRID ARCHITECTURE, LLC, SHALL NOT BE RESPONSIBLE OR HAVE CONTROL OVER THE CONSTRUCTION SEQUENCING, PROCEDURES, OR THE SAFETY PRECAUTIONS AND PROGRAMS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING WORK ON THE PROJECT.
- GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY AND MISCELLANEOUS ITEMS FOR ALL BUILDING SYSTEMS TO BE 100% COMPLETE AND FULLY OPERATIONAL AS PER TENANT'S REQUIREMENTS, LOCAL CODE, AND DESIGN INTENT.
- SHOP DRAWINGS, SPECIFICATIONS, DOCUMENTS, ETC. SHALL BE SUBMITTED TO THE ARCHITECT/TENANT FOR APPROVAL PRIOR TO THE FABRICATION OF ANY ITEM. FAILURE TO ADHERE TO THIS PROCEDURE SHALL PLACE FULL RESPONSIBILITY FOR ANY ERRORS DIRECTLY UPON THE CONTRACTOR. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT/TENANT FOURTEEN DAYS AFTER SIGNING CONTRACT.
- ALL SUBCONTRACTORS SHALL SUPPLY, ERECT, ASSEMBLE, RELOCATE, DISASSEMBLE AND REMOVE ANY TEMPORARY BRACING, EQUIPMENT, OR STRUCTURE AS NEEDED TO CONSTRUCT WORK REQUIRED BY THE CONSTRUCTION DOCUMENTS AND AS REQUIRED FOR A SAFE AND TIMELY COMPLETION OF THE WORK AT NO ADDITIONAL COST TO THE TENANT.
- ALL SUBCONTRACTORS SHALL TAKE PRECAUTIONS TO AVOID DAMAGE AT ANY EQUIPMENT, MATERIALS, FINISHES, STRUCTURES, ETC. ANY SUCH DAMAGE SHALL BE IMMEDIATELY REPAIRED TO OWNER'S SATISFACTION AT THE SUBCONTRACTOR'S SOLE COST AND EXPENSE AT NO ADDITIONAL COST TO THE TENANT.

REVISIONS/DATES	
NO.	DESCRIPTION

BEFORE AND CONSTRUCTION DOCUMENTS AS THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE.

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CREATE: BUILD & FINISH
NE-CA2531

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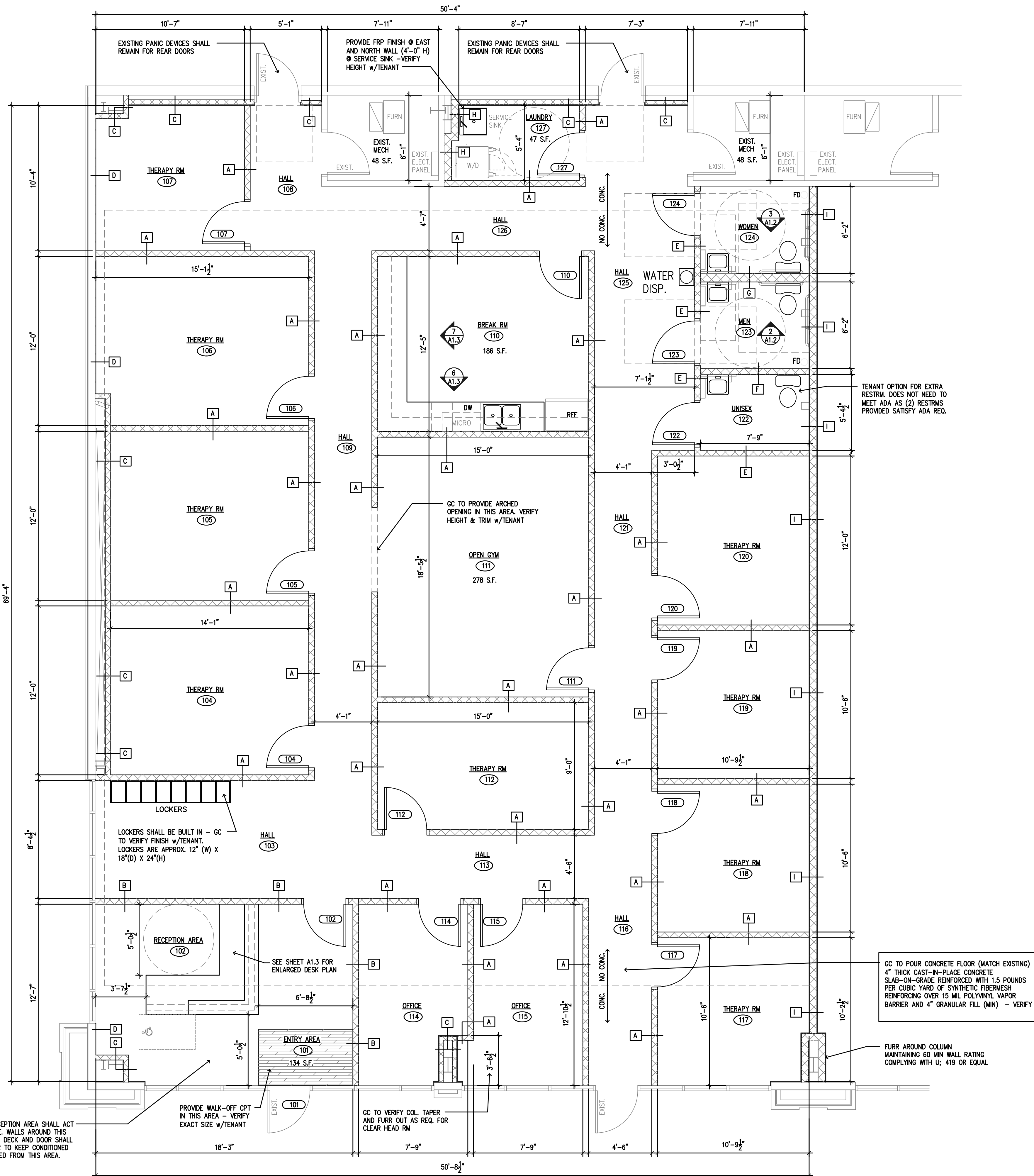
ARCHITECT
G. AZARIA BLANE-LARSEN, AIA
COORDINATING PROFESSIONAL FOR THE
GALLIANT AUTISM CARE TENANT FINISH
PROJECT
A-4103
09/06/24

A0.0
TITLE SHEET

REVISIONS/DATES		
NO.	DATE	DESCRIPTION

OWNER AND CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FINISHES AS SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND FINISHES ON THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND FINISHES ON THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND FINISHES ON THE PROJECT.

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PROPOSED FLOOR PLAN
 1/4" = 1'-0"

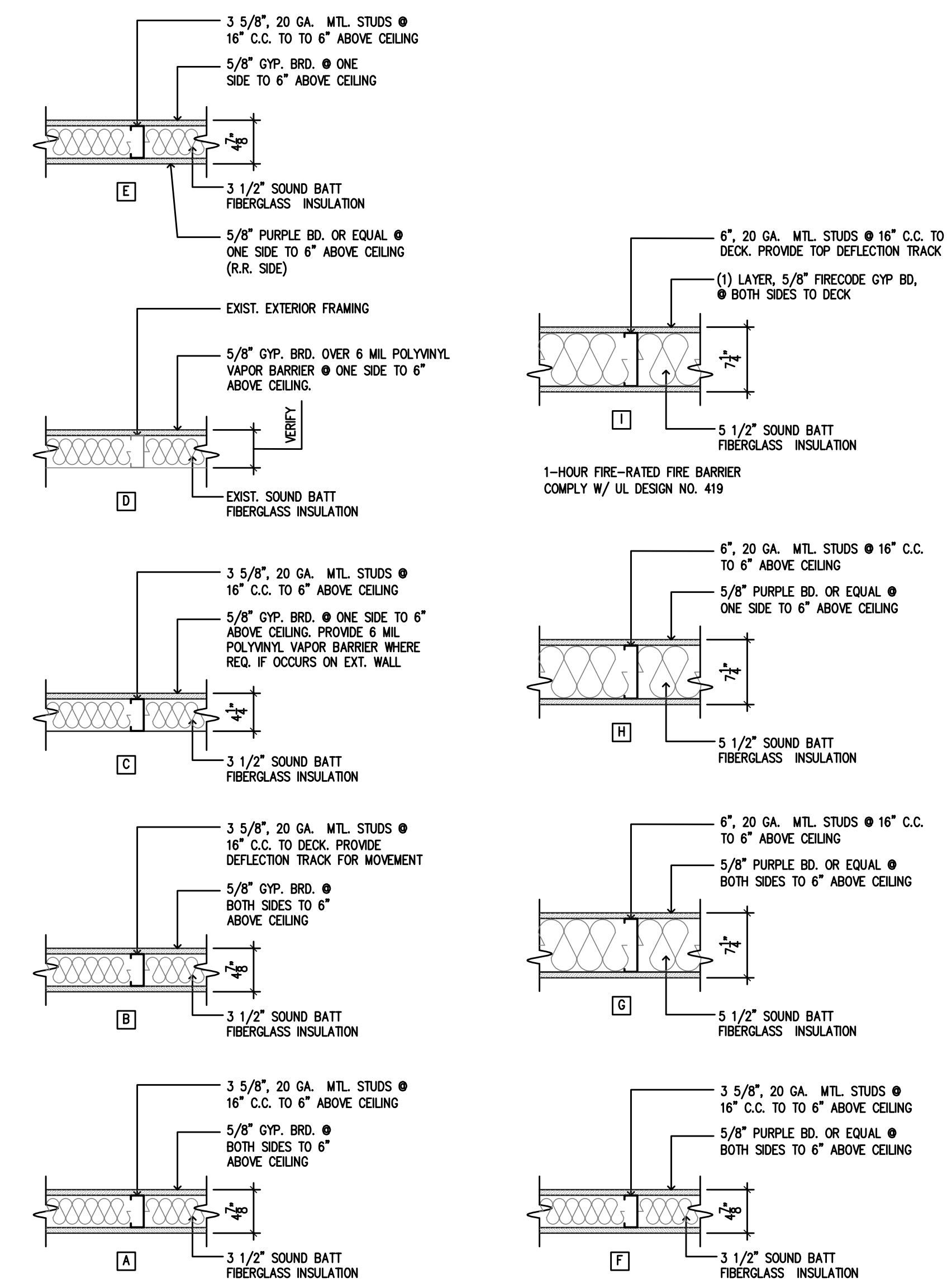


BUILDING IS FULLY SPRINKLERED. PROVIDE SPRINKLER HEADS FOR COVERAGE AS REQ. BY CODES.

TENANT OPTION FOR EXTRA RESTRM. DOES NOT NEED TO MEET ADA AS (2) RESTRMS PROVIDED SATISFY ADA REQ.

GC TO POUR CONCRETE FLOOR (MATCH EXISTING) 4" THICK CAST-IN-PLACE CONCRETE SLAB-IN-GRADE REINFORCED WITH 1.5 POUNDS PER CUBIC YARD OF SYNTHETIC FIBREX REINFORCING OVER 15 MIL POLYETHYLENE VAPOR BARRIER AND 4" GRANULAR FILL (MIN) - VERIFY

FURR AROUND COLUMN MAINTAINING 60 MIN WALL RATING COMPLYING WITH U, 419 OR EQUAL



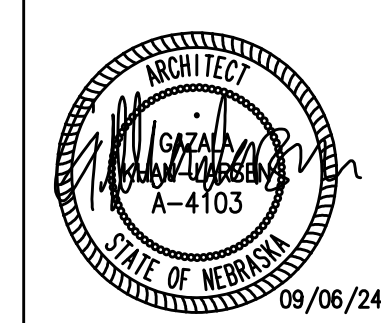
1 WALL TYPES
 A.1.1 1" = 1'-0"

WALL TYPE NOTES:
 NOTE 1: BRACE ALL WALLS TO STRUCTURE AS REQUIRED
 NOTE 2: GC TO ENSURE APPROPRIATE STUD GAGE IS PROVIDED FOR STUD HEIGHT
 NOTE 3: GC TO APPLY CEMENT BOARD / PURPLE BD. OR EQUIVALENT AT ALL WET WALLS
 NOTE 4: GC PROVIDE TOP DEFLECTION TRACK WHERE WALLS GO TO DECK TO ACCOMMODATE FOR MOVEMENT

TYPICAL: GC TO PROVIDE GYP. BD FOR ALL EXTERIOR EXIST. WALLS IF NOT PRESENT. VERIFY THAT INSULATION & VAPOR BARRIER ARE PRESENT

CREATE + BUILD + ENHANCE
 NE-CA2531

GRID ARCHITECTURE, LLC
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ROOM FINISH SCHEDULE

GC TO VERIFY ALL FINISHES W/TENANT (SEE PLAN FOR ADDITIONAL INFORMATION)

Table with columns: ROOM #, ROOM NAME, FLOOR FINISH, BASE FINISH, WALL FINISHES (NORTH, SOUTH, EAST, WEST), CEILING FINISH, CEILING HEIGHT, NOTES. Lists rooms 101-127 with their respective finishes.

NOTE 1: GC TO PROVIDE ALTERNATE FOR ACCENT WALL IN RECEPTION AREA. CHIZEL WOOD PANELS # WFFSN206. VERIFY W/TENANT

NOTE 2: (3) THERAPY ROOMS TO RECEIVE CUSTOM CARPET TREATMENT. GC TO VERIFY EXACT THERAPY ROOMS W/TENANT.

NOTE 3: GC TO PROVIDE TRANSITION STRIPS WHERE REQUIRED FOR ALL FLOOR FINISH CHANGES. ALL TRANSITION STRIPS TO MEET ADA AND NOT CAUSE ANY TRIP HAZARD.

NOTE 4: GC TO VERIFY ALL CEILING HEIGHTS W/EXIST UTILITIES AND STRUCTURE.

NOTE 5: PROVIDE FRP FINISH ON NORTH & EAST WALL IN LAUNDRY ROOM AT SERVICE SINK. 3'-0" WIDTH X 4'-0" (H) - VERIFY W/TENANT

NOTE 6: PROVIDE GC TO PROVIDE TILE ALTERNATE FOR RESTROOM FLOORS. VERIFY W/TENANT

NOTE: (3) THERAPY ROOMS TO RECEIVE CUSTOM CARPET TREATMENT. GC TO VERIFY EXACT THERAPY ROOMS W/TENANT.

FINISHES

FINAL COLORS AND SELECTIONS SHALL BE PICKED BY TENANT

Table listing finishes: ACT, CARPET, LVT, ALTERNATE: TILE FLOORING FOR RESTROOMS, RUBBER FLOORING, VINYL BASE (ALL AREAS BUT THE GYM), VINYL BASE (GYM AREA), COUNTERTOPS, LAMINATE - FOR VERTICAL CABINET SURFACES, CABINET PULLS, MAIN PAINT, FRP, FIRE EXTINGUISHER CABINETS & EXTINGUISHER (FEC).

DOOR SCHEDULE

GC TO VERIFY ALL FINISHES W/TENANT

Table with columns: DOOR MARK, DOORS, LEAF, MATERIAL, FINISH, TYPE, FRAME, MATERIAL, FINISH, HARDWARE, LOCK, RATING, NOTES. Lists door marks 101-127 with their specifications.

NOTE 1: GC TO VERIFY EXISTING HARDWARE & MODIFY AS REQ. TO PROVIDE HARDWARE SPECIFIED TENANT WANTS CONTROLLED ACCESS FOR THIS DOOR. PROVIDE ELECTRONIC STRIKE OR KEYPAD BASED ON TENANT PREFERENCE. DOOR SHALL REMAIN OPEN FROM INTERIOR AT ALL TIMES.

HARDWARE SET:

GC TO VERIFY ALL FINISHES W/TENANT - VERIFY ALL KEYING REQUIREMENTS W/TENANT

GC TO COORDINATE ALL SECURITY REQ. FOR HARDWARE W/TENANT

HARDWARE SET #1:

RETIROFIT EXISTING DOOR TO PROVIDE HARDWARE THAT MEETS THE FOLLOWING: GC TO VERIFY WHAT EXISTING HARDWARE CAN REMAIN.

PROVIDE CONTROLLED ACCESS FOR THIS DOOR. GC TO VERIFY IF KEYPAD OR ELECTRONIC STRIKE PREFERRED BY TENANT. PROVIDE AS REQUIRED. DOOR SHALL REMAIN OPEN FROM INTERIOR AT ALL TIMES.

3 EA. OFFSET PIVOTS

- 1 EA. SURFACE CLOSER, LCN, 4041, MATCH ALUM. FINISH
1 EA. OFFSET ENTRY PULL, 1" DIA, 5" CTS, 2 1/2" PROJ. MATCH ALUM. FINISH
1 EA. PUSH BAR, 1" DIA, 2 1/2" PROJ. MATCH ALUM. FINISH
1 EA. CYLINDER LOCK, 'ADAMS RITE', MS-1850A, W/ EXT INDICATOR & MORTISED CYLINDER, KEYS EXT. & THUMB @ INT., MATCH ALUM. FINISH
1 EA. 1/2" THRESHOLD, AL
1 EA. DOOR SWEEP, MATCH ALUM. FINISH
1 EA. WEATHERSTRIPPING

NOTE #1:

A. LOCKING DEVICE MUST BE READILY DISTINGUISHABLE AS LOCKED

B. A READILY VISIBLE SIGN MUST BE POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR STATING: THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED. THE SIGN SHALL BE IN LETTERS 1" HIGH ON A CONTRASTING BLACK BACKGROUND

HARDWARE SET #2:

- 3 EA. HINGES, STANLEY, FBB191, 4.5 X 4.5, NRP, 26D
1 EA. PASSAGE LATCHSET, LEVER LOCK, 'FALCON' DANE 626
1 EA. CLOSER, LCN, 4041, AL
1 EA. WALL STOP - 'ROCKWOOD', 409, US26D

HARDWARE SET #3:

- 3 EA. HINGES, STANLEY, FBB191, 4.5 X 4.5, NRP, 26D
1 EA. PASSAGE LATCHSET, LEVER LOCK, 'FALCON' DANE 626
1 EA. WALL STOP - 'ROCKWOOD', 409, US26D

HARDWARE SET #4:

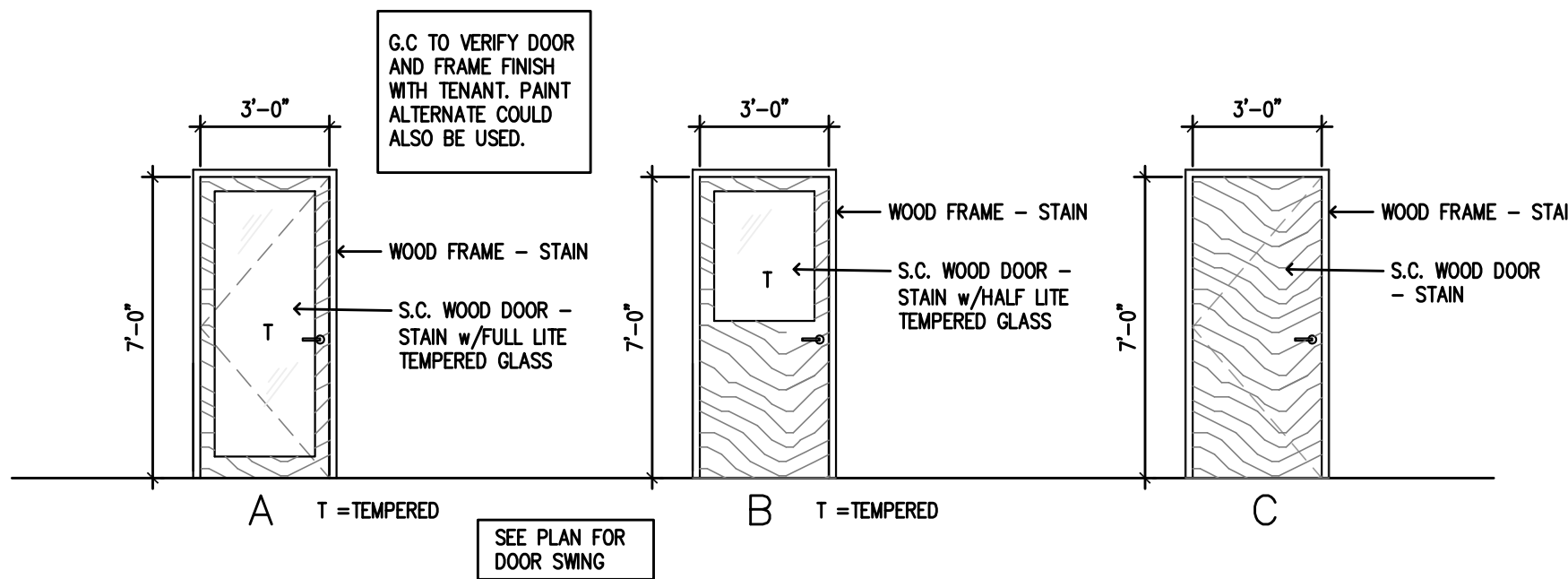
- 3 EA. HINGES, STANLEY, FBB191, 4.5 X 4.5, NRP, 26D
1 EA. PRIVACY LOCKSET, LEVER LOCK, 'FALCON' DANE 626
1 EA. CLOSER, LCN, 4041, AL
1 EA. WALL STOP - 'ROCKWOOD', 409, US26D

SIGNAGE FOR RESTROOMS:

ADA RESTROOM SIGNAGE - 'ROCKWOOD', 'MEN' OR 'WOMEN' OR 'UNISEX' - SEE PLAN
BLACK - VERIFY COLOR W/TENANT
MOUNT SIGNAGE TO WALL ADJACENT TO LATCH SIDE OF DOOR @ 60" A.F.F. TO CENTERLINE OF SIGNAGE PER A.D.A. REQUIREMENTS

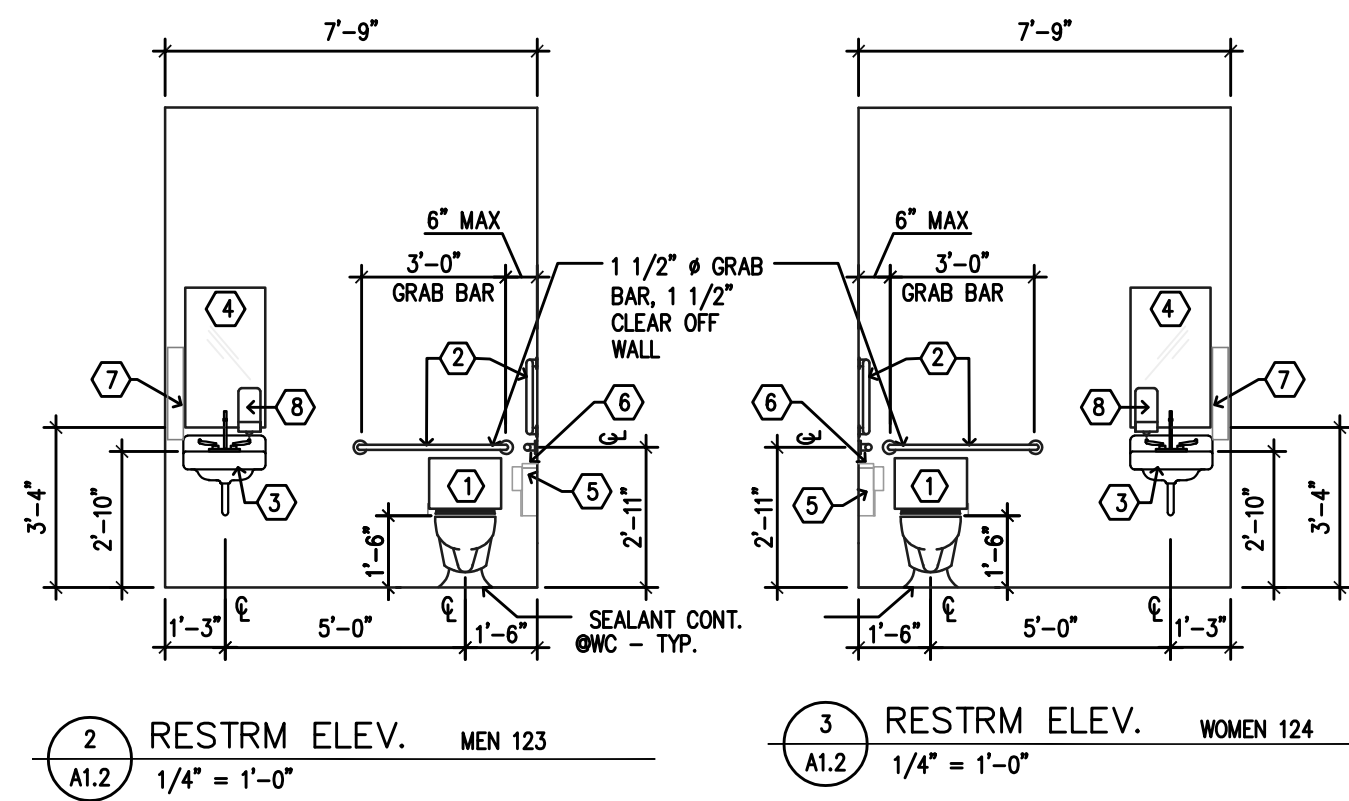
HARDWARE SET #5:

- THIS DOOR RECEIVES KEYPAD OR ELECTRONIC ACCESS. VERIFY CONTROLLED ACCESS REQ/ W/TENANT
3 EA. HINGES, STANLEY, FBB191, 4.5 X 4.5, NRP, 26D
1 EA. STOREROOM LOCKSET, LEVER LOCK, 'FALCON' DANE 626
1 EA. CLOSER, LCN, 4041, AL
1 EA. WALL STOP - 'ROCKWOOD', 409, US26D



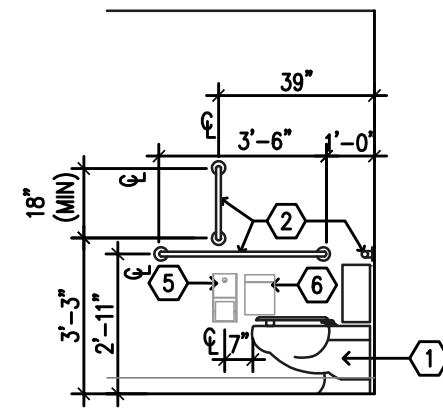
DOOR TYPES

1/4" = 1' - 0"



RESTRM ELEV. MEN 123

RESTRM ELEV. WOMEN 124



TYPICAL SIDE ELEV.

RESTROOM CODED NOTES

- 1. ADA TANK TYPE WATER CLOSET. SEAT HEIGHT AT 18" A.F.F.
2. GRAB BARS BY AMERICAN SPECIALTIES, INC. SERIES 3800, OR APPROVED EQUAL. MOUNT AT 2'-11" A.F.F.
3. SURFACE MOUNTED LAV W/ ADA LEVER FAUCET & TRUBRO #103-EZ 'SNAP-ON' DRAIN PIPE INSULATION AT EXPOSED PLUMBING ONLY.
4. FRAMELESS MIRROR - PROVIDE TAMPER PROOF MOUNTING SCREWS TO SUIT INDIVIDUAL FIELD CONDITIONS. MOUNT SO THE BOTTOM EDGE OF THE REFLECTIVE SURFACE IS 40" MAX. A.F.F. FIELD COORDINATE. ALL MIRROR SIZES SHALL BE FIELD VERIFIED.
5. SURFACE MOUNTED DUAL TOILET PAPER DISPENSER, BY AMERICAN SPECIALTIES, INC. OR APPROVED EQUAL. MOUNT @ 2'-0" A.F.F. TO CENTERLINE AND 3'-0" TO FARTHEST EDGE FROM REAR WALL.
6. SANITARY NAPKIN DISPOSAL, BY AMERICAN SPECIALTIES, INC. OR APPROVED EQUAL. MOUNT @ 1'-8" A.F.F. TO CENTERLINE (OCCURS IN WOMEN'S ONLY)
7. SURFACE MOUNTED PAPER TOWEL DISPENSER BY AMERICAN SPECIALTIES, INC. OR APPROVED EQUAL. MOUNT SO BOTTOM OF PAPER SLOT IS 4'-0" A.F.F. (MAX)
8. SURFACE MOUNTED SOAP DISPENSER BY AMERICAN SPECIALTIES, INC. OR APPROVED EQUAL. MOUNT @ 3'-4" AFF TO BOTTOM OF DISPENSER.

NOTES

1. GENERAL CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROVIDING AND COORDINATING ADEQUATE BLOCKING FOR ALL TOILET ACCESSORIES.

REVISIONS/DATES

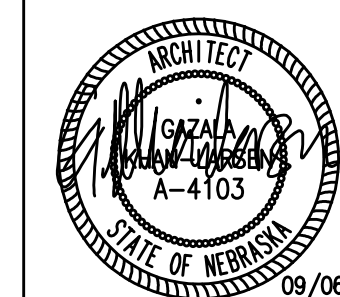
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CREATE: BUILD: ENHANCE
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A1.2
SCHEDULES & INTERIOR ELEVATIONS

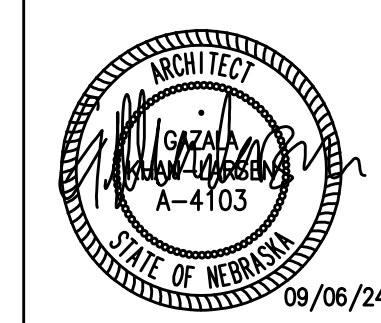
REVISIONS/DATES		
NO.	DATE	DESCRIPTION

OWNER AND CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FINISHES PRIOR TO CONSTRUCTION. ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE. VERIFY ALL DIMENSIONS AND FINISHES PRIOR TO CONSTRUCTION. VERIFY ALL DIMENSIONS AND FINISHES PRIOR TO CONSTRUCTION. VERIFY ALL DIMENSIONS AND FINISHES PRIOR TO CONSTRUCTION.

GALLIANT AUTISM CARE - TENANT FINISH
 11717 BRYAN ST
 SUITE 101 & 102
 GRETNA, NEBRASKA

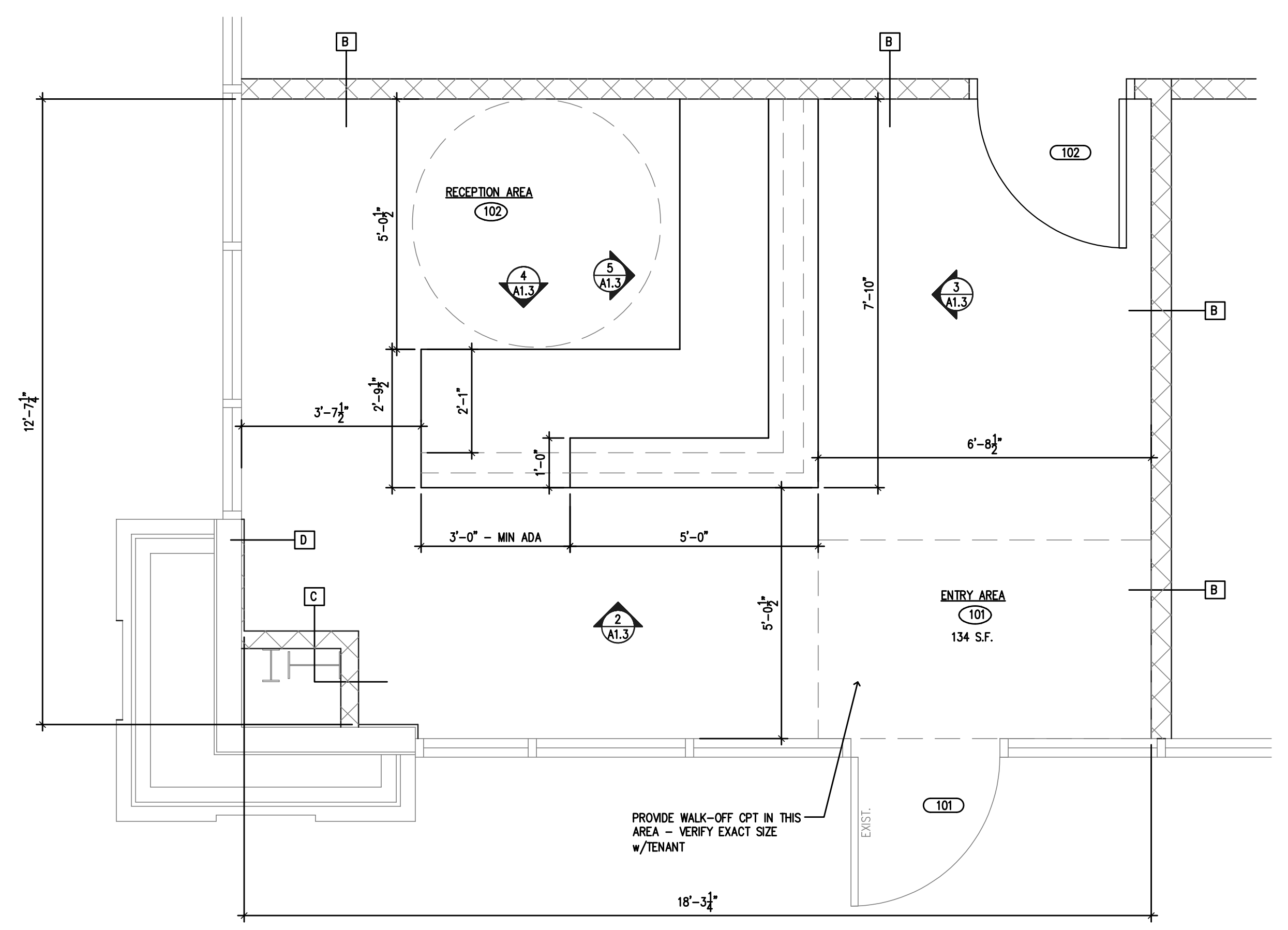
CREATE: BUILD: INHIBIT
NE-CA2531

GRID ARCHITECTURE, LLC
 2645 N 65 ST, OMAHA, NE
 T. (402) 960-8625

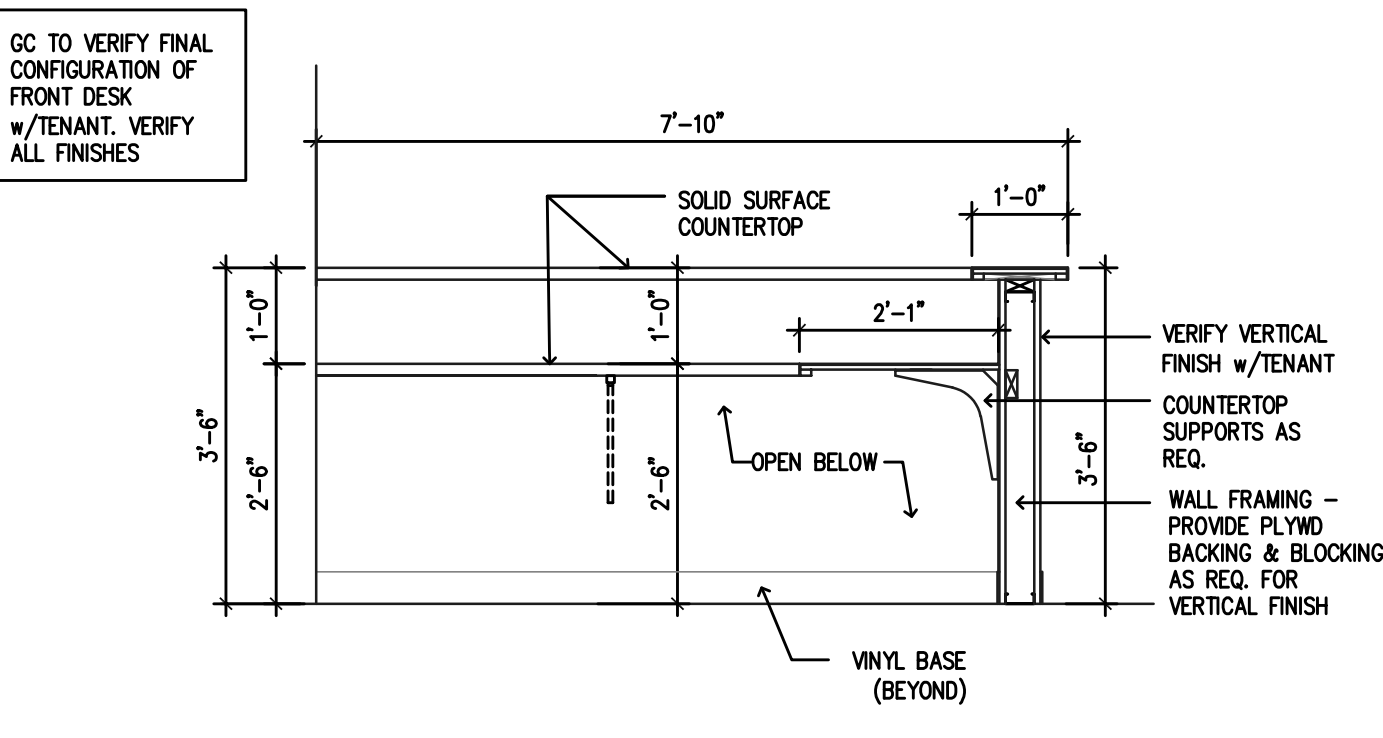
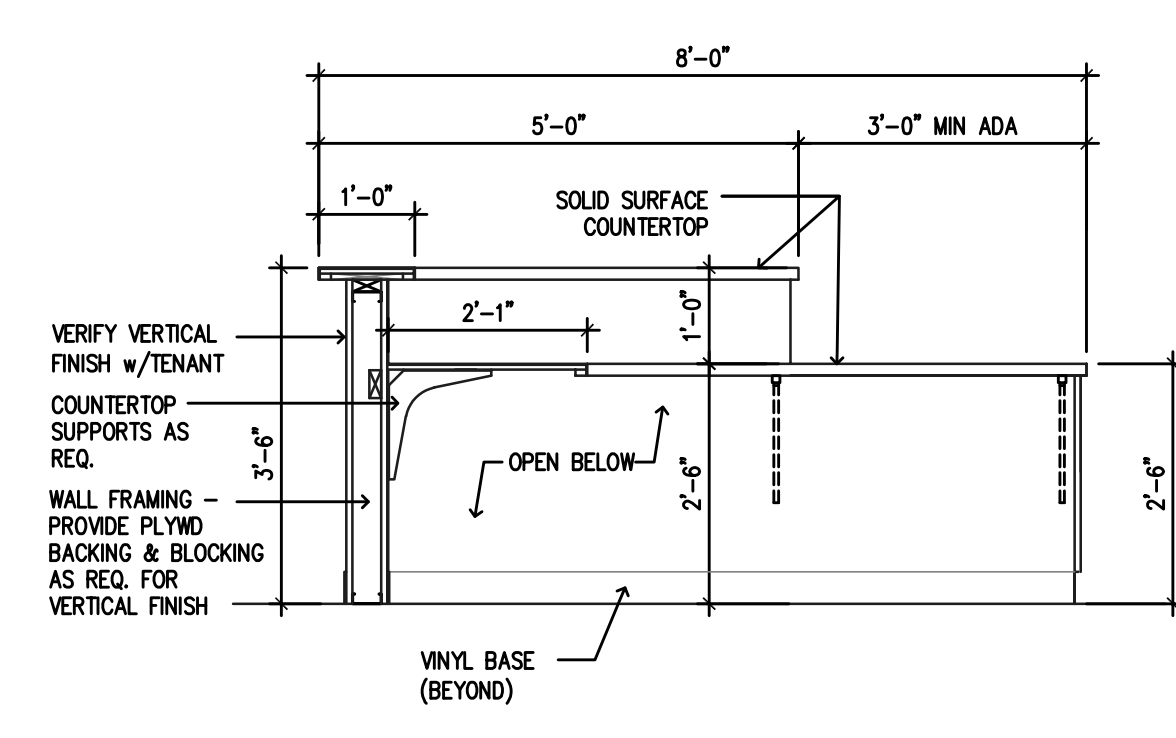
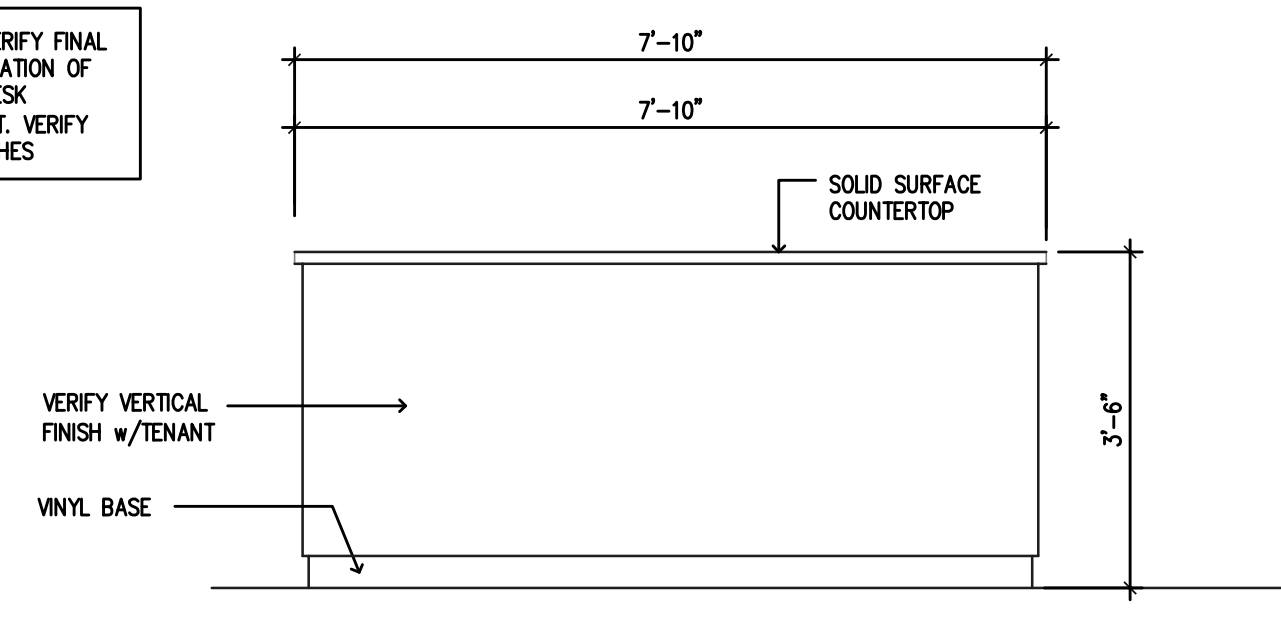
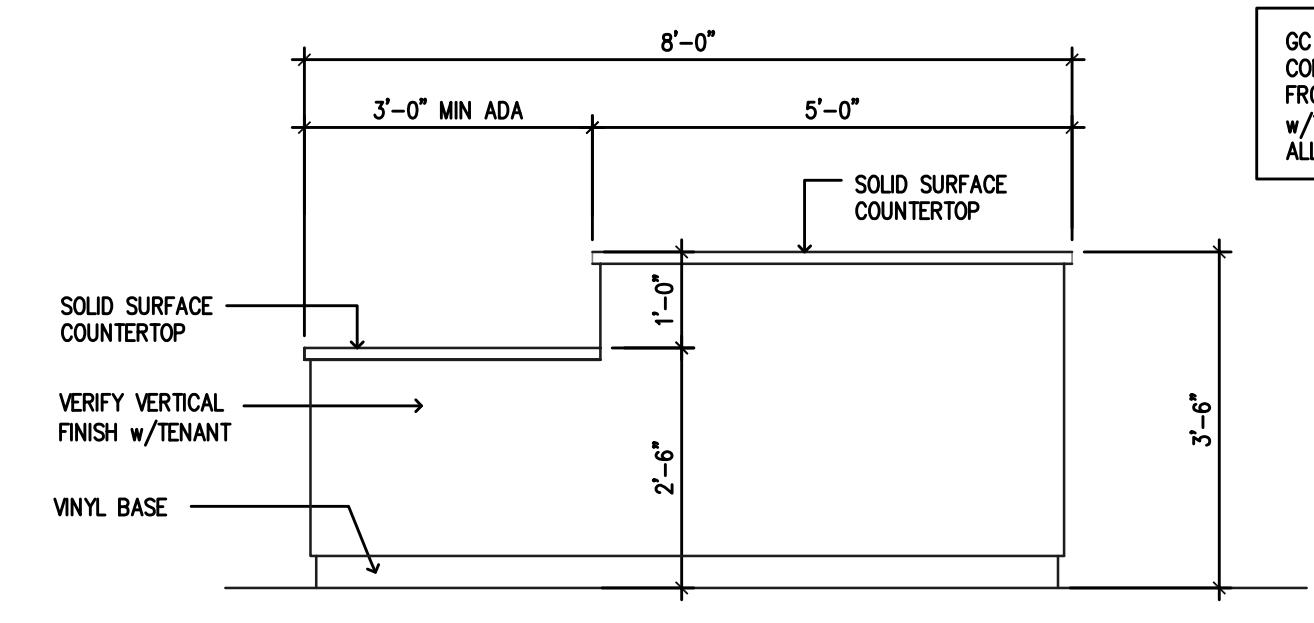
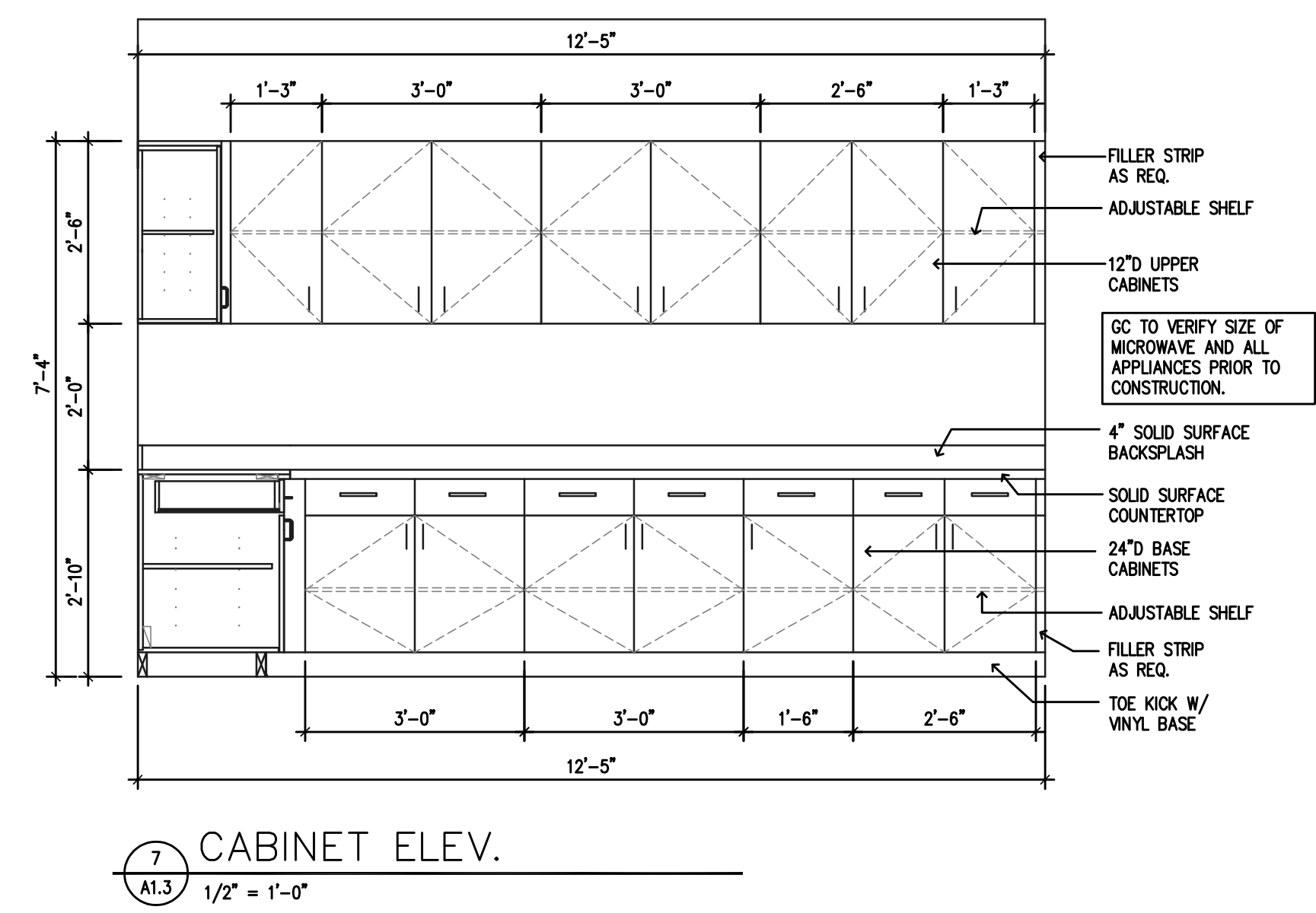
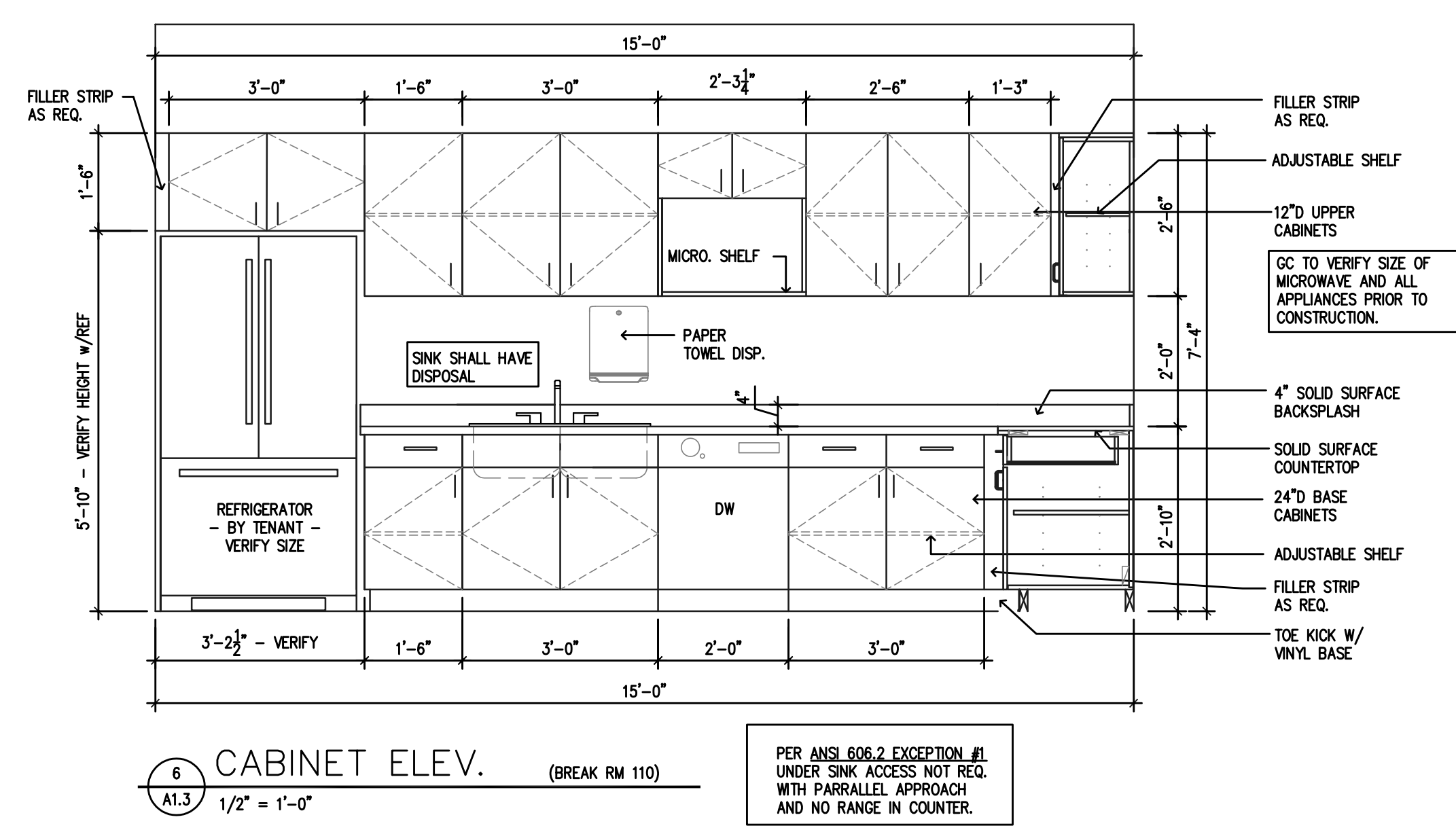


A1.3
MILLWORK PLAN & ELEVATIONS

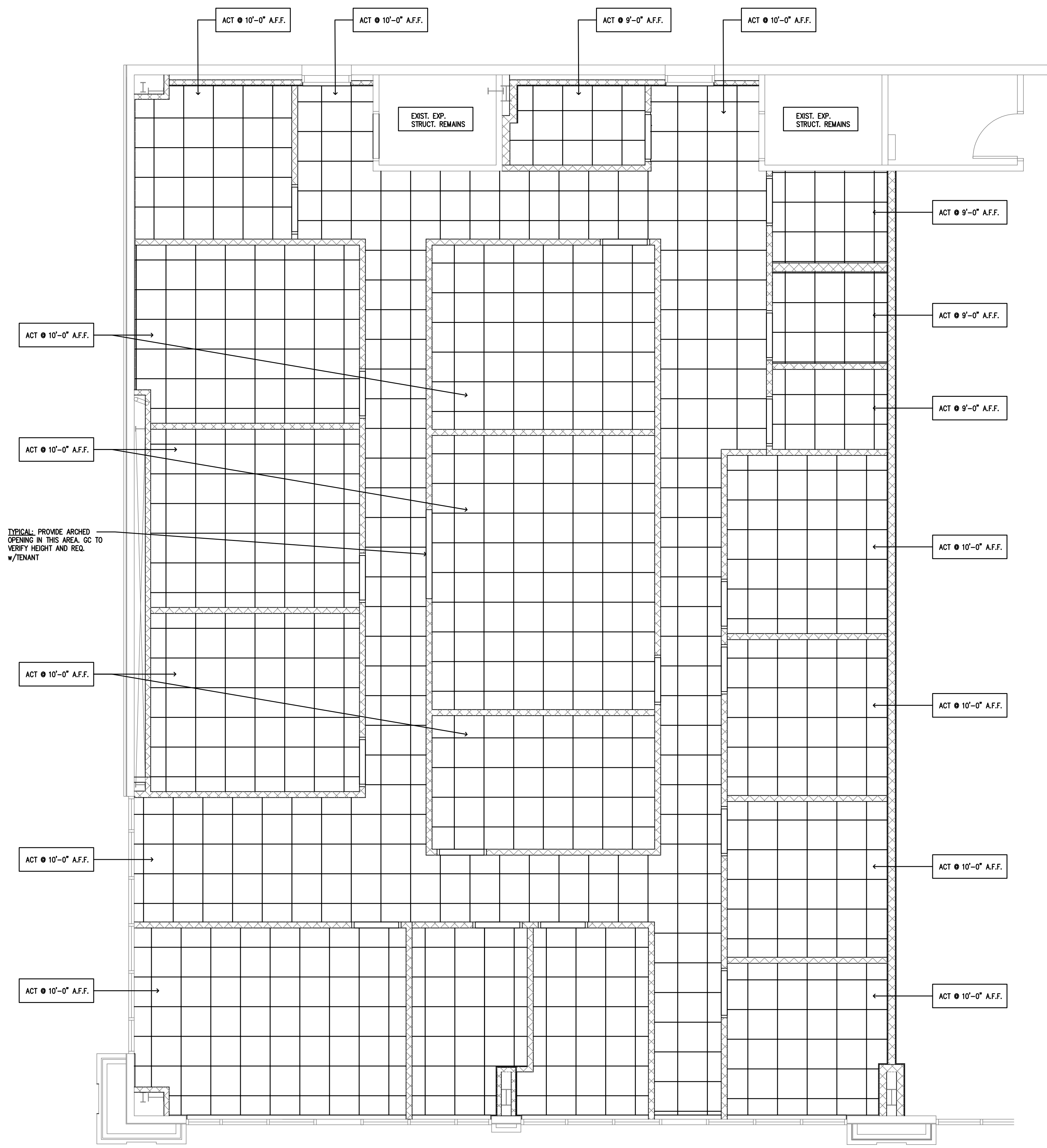
- GENERAL MILLWORK NOTES:**
1. PROVIDE ONE-PIECE, FINISHED END PANELS AT ALL EXPOSED CASEWORK SIDES.
 2. PROVIDE CONTINUOUS BLOCKING WITHIN NEW WALLS AS REQUIRED FOR ALL WALL MOUNTED CASEWORK, FIXTURES ACCESSORIES AND EQUIPMENT. ANCHOR BLOCKING BETWEEN STUDS, AT THE FACE OF THE STUDS, FOR THE ENTIRE WIDTH OF THE ITEM TO BE MOUNTED ON THE WALL. VERIFY VERTICAL LOCATION OF THE BLOCKING WITH THE MOUNTING HEIGHT REQUIRED AND THE REQUIREMENTS OF THE ITEM TO BE MOUNTED ON THE WALL. IF WOOD BLOCKING IS INSTALLED, USE FIRE RETARDANT LUMBER).
PROVIDE LOCKS ON CABINETS DOORS AND/OR DRAWERS WHERE INDICATED AND AS REQUIRED BY OWNER. VERIFY LOCK REQUIREMENTS W/OWNER.
 3. PROVIDE LOCKS ON CABINETS DOORS AND/OR DRAWERS WHERE INDICATED AND AS REQUIRED BY OWNER. VERIFY LOCK REQUIREMENTS W/OWNER.
RADIUS ALL OUTSIDE CORNERS AT COUNTERTOPS.
 - 4.
 5. PROVIDE CONTINUOUS SEALANT BEAD AT PERIMETER OF ALL COUNTERTOP EDGES - COLOR SHALL MATCH LAMINATE COLOR.
 6. PROVIDE WOOD FILLER STRIPS AT CABINETS AS REQUIRED. FILLER STRIPS SHALL BE MANUFACTURED BY CABINET MANUFACTURER AND SHALL MATCH CABINET FINISH.
 7. VERIFY ALL APPLIANCE DIMENSIONS SUPPLIED BY OWNER FOR CLEARANCE AND INSTALLATION REQUIREMENTS PRIOR TO INSTALLATION OF MILLWORK.
SCRIBE ALL COUNTERTOPS TO WALLS FOR ACCURATE FIT. APPLY SEALANT CONT. @ PERIMETER EDGES - 1/8" JOINT MAXIMUM.
 8. EXTERIOR SURFACES & EXPOSED TO VIEW SURFACES SHALL BE FINISH SPECIFIED. INTERIOR SURFACES SHALL BE MELAMINE - UNLESS NOTED OTHERWISE.
 9. PROVIDE COVER CAPS OVER ALL EXPOSED SCREWS, COLOR TO MATCH ADJACENT MATERIAL.



1 ENLARGED RECEPTION DESK PLAN
A1.3 1/2" = 1'-0"



09/06/24



REFLECTED CEILING PLAN
1/4" = 1'-0"



TYPICAL: GC TO COORDINATE CEILING HEIGHTS w/ EXISTING UTILITIES AND STRUCTURE. MODIFY CEILING AS REQUIRED IF LOWEST POINT IN EXIST. UTILITIES AND STRUCTURE DOES NOT ACCOMMODATE CEILING HEIGHT CALLED OUT. GC TO FIELD VERIFY ALL CONDITIONS.

REFER TO M & E SHEETS FOR LIGHT & DIFFUSER LOCATIONS

GENERAL REFLECTED CEILING NOTES:

1. PROVIDE AND INSTALL ALL NECESSARY BLOCKING FOR CEILING SYSTEMS.
2. COORDINATE LOCATION OF EXIT SIGNAGE, EMERGENCY LIGHTING, AND ANY OTHER CEILING MOUNTED LIFE/SAFETY SYSTEMS W/ ELECTRICAL.
3. CENTER ACT GRIDS IN ROOMS, U.N.O.
4. WALL MOUNTED EXIT LIGHTS SHALL BE MOUNTED 6" ABOVE DOOR FRAME & CENTERED ON DOOR.
5. CEILING MOUNTED EXIT LIGHTS SHALL BE MOUNTED 10" FROM WALL & CENTERED ON DOOR.

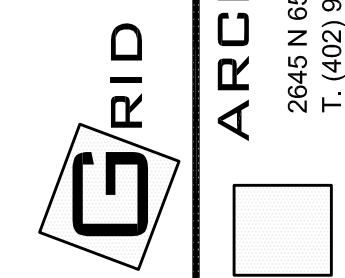
REVISIONS/DATES		
NO.	DATE	DESCRIPTION

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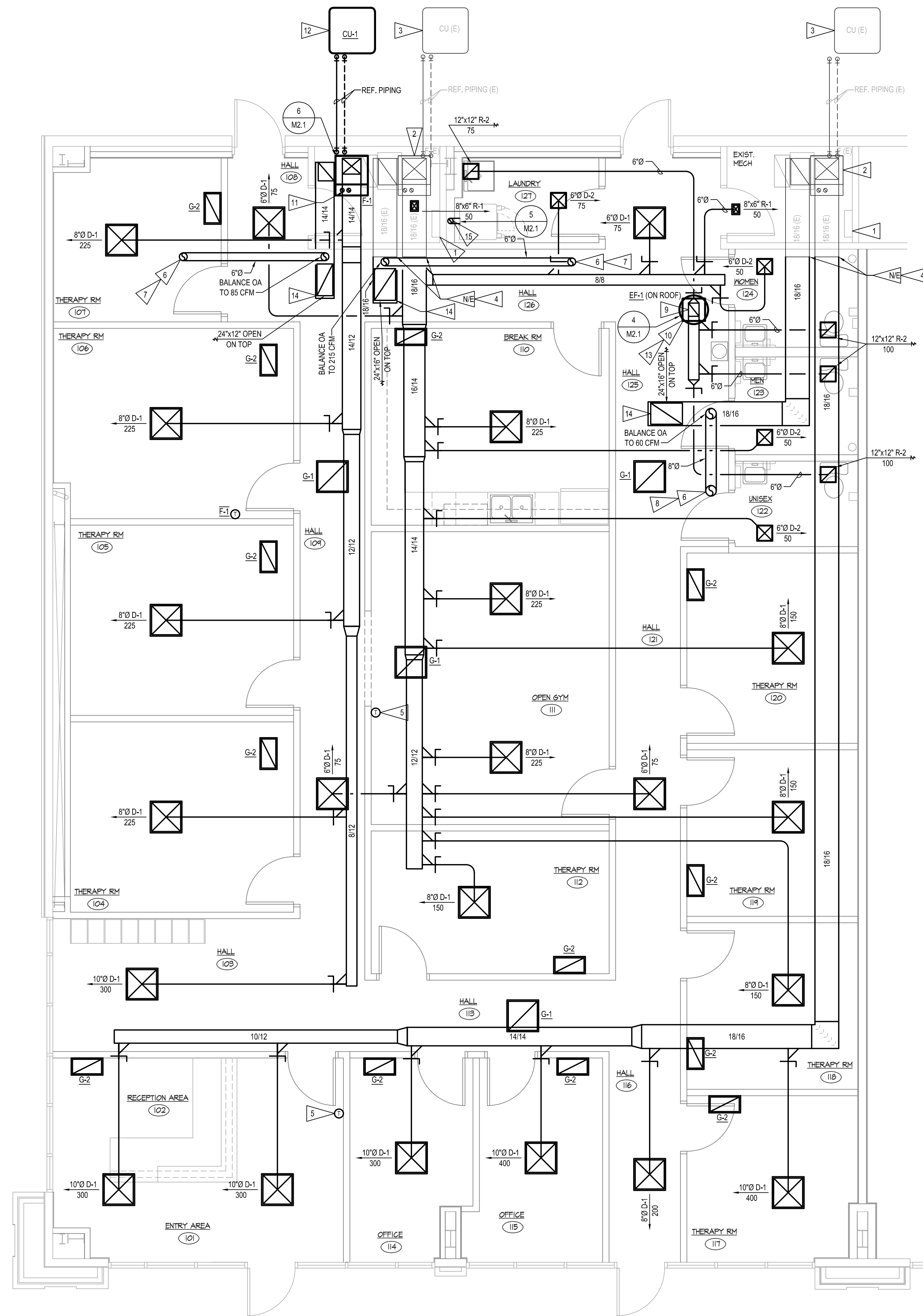
GALLIANT AUTISM CARE - TENANT FINISH
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A1.4
REFLECTED CEILING
PLAN & NOTES



MECHANICAL PLAN

1/4" = 1'-0"



GENERAL NOTES

- DO NOT ROUTE DUCTWORK OR LOCATE EQUIPMENT ABOVE ELECTRICAL PANELS. MAINTAIN ALL CODE REQUIRED CLEARANCES.
- MECHANICAL ITEMS SHOWN LIGHT AND / OR INDICATED WITH (E) ARE EXISTING. ITEMS INDICATED WITH (R) ARE RELOCATED. ALL ITEMS SHOWN DARK ARE NEW.
- EXISTING DRAWINGS ARE BASED ON EXISTING CONSTRUCTION DOCUMENTS AND APPROXIMATION FROM FIELD OBSERVATIONS. DRAWINGS ARE SCHEMATIC IN NATURE. FIELD VERIFY EXACT LOCATION OF ALL MECHANICAL ITEMS. MECHANICAL ITEMS DISCOVERED ON SITE TO BE REMOVED BUT NOT INDICATED ON PLANS TO BE IDENTIFIED BY CONTRACTOR AND REMOVED / RELOCATED AS DIRECTED BY THE ENGINEER.
- PLANS ARE SCHEMATIC IN NATURE. COORDINATE EXACT ROUTING AND EQUIPMENT LOCATIONS WITH ALL OTHER TRADES. PROVIDE OFFSETS AS REQUIRED.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO NEW WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING DUCTWORK AS NECESSARY TO AVOID CONFLICTS WITH EXISTING CONDITIONS AND WITH ALL TRADES OF NEW WORK. AT NO ADDITIONAL COST TO THE OWNER.
- COORDINATE ALL ROOF, WALL, AND FLOOR PENETRATIONS WITH GENERAL CONTRACTOR. SEAL PENETRATIONS OF EXTERIOR ENVELOPE WATERTIGHT.
- MAINTAIN CODE AND MANUFACTURER'S REQUIRED CLEARANCES AROUND ALL MECHANICAL EQUIPMENT TO ALLOW PROPER OPERATION AND FOR EASY MAINTENANCE AND FILTER ACCESS. INSTALL ALL MECHANICAL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH CURRENTLY ADOPTED LOCAL AND STATE CODES AS WELL AS OWNER STANDARDS.
- MECHANICAL CONTRACTOR TO PROVIDE ALL LOW VOLTAGE CONTROL WIRING AND ELECTRICAL CONTRACTOR TO PROVIDE ALL POWER AND LINE VOLTAGE CONTROL WIRING REQUIRED FOR COMPLETE OPERATION OF ALL MECHANICAL EQUIPMENT.
- SEE DUCT FITTING DETAIL 1 ON SHEET M2.1.
- SPACE IS LIMITED. COORDINATE DUCT ROUTING WITH STRUCTURE AND ALL OTHER TRADES. OFFSET AND EXTEND DUCTWORK AS REQUIRED TO AVOID CONFLICTS.
- INSTALL ALL VOLUME DAMPERS ABOVE ACCESSIBLE CEILINGS OR IN ACCESSIBLE LOCATIONS.
- ROUND RUN-OUTS TO DIFFUSERS SHALL BE THE SAME SIZE AS DIFFUSER NECK UNLESS NOTED OTHERWISE. SEE DIFFUSER CONNECTION DETAIL 2 ON SHEET M2.1.
- THERMOSTAT ROUGH-INS BY ELECTRICAL CONTRACTOR. COORDINATE EXACT LOCATIONS WITH ELECTRICAL AND DESIGN ARCHITECT.
- PROVIDE RETURN AIR BOOT AT EACH G-X RETURN AIR GRILLE. SEE DETAIL 3 ON SHEET M2.1.

FLAG NOTES

- CONNECT NEW TO EXISTING. FIELD VERIFY EXISTING SIZE AND LOCATION PRIOR TO PROVIDING NEW WORK.
- DO NOT ROUTE DUCTWORK OR PIPING ABOVE ELECTRICAL PANELS. MAINTAIN ALL CODE REQUIRED CLEARANCES.
- EXISTING FURNACE TO REMAIN. PROVIDE COMPLETE SERVICE INCLUDING, CLEANING OF COILS COMPLETE CHARGE OF REFRIGERANT, CHANGE OF BELTS AND NEW FILTERS. REPORT ADDITIONAL NEEDED REPAIRS TO BUILDING OWNER. BALANCE SUPPLY AIR TO 1995 CFM. MAINTAIN MANUFACTURER'S RECOMMENDED CLEARANCES AROUND UNIT.
- EXISTING CONDENSING UNIT TO REMAIN. PROVIDE COMPLETE SERVICE INCLUDING, CLEANING, COMPLETE CHARGE OF REFRIGERANT AND CHANGE OF BELTS. REPORT ADDITIONAL NEEDED REPAIRS TO BUILDING OWNER. MAINTAIN MANUFACTURER'S RECOMMENDED CLEARANCES AROUND UNIT.
- CONNECT NEW SA/RA DUCT TO EXISTING SA/RA DUCT. FIELD VERIFY EXISTING DUCT LOCATION AND SIZE. TRANSITION SA/RA DUCT TO EXISTING DUCT AS REQUIRED.
- RELOCATE EXISTING THERMOSTAT TO LOCATION INDICATED. PROVIDE ADDITIONAL CONTROL WIRING AS REQUIRED. COORDINATE T-STAT LOCATION WITH ARCHITECT AND TENANT.
- MAINTAIN 10'-0" MINIMUM FROM ALL EXHAUST AND PLUMBING VENT TERMINATIONS.
- 8" OA DUCT UP FROM RETURN AIR DUCT THROUGH ROOF TO ROOF CAP. COORDINATE WITH STRUCTURE.
- 8" OA DUCT UP FROM RETURN AIR DUCT THROUGH ROOF TO ROOF CAP. COORDINATE WITH STRUCTURE.
- 10" EA DUCT UP THROUGH ROOF TO EF-1. COORDINATE WITH STRUCTURE. TRANSITION TO EF-1 OPENING SIZE AS REQUIRED.
- EXHAUST FAN ON ROOF CURB. COORDINATE EXACT LOCATION WITH STRUCTURE. MAINTAIN 10'-0" CLEARANCE TO OUTSIDE AIR INTAKES.
- PROVIDE FLUE AND COMBUSTION PIPING FROM FURNACE UP TO ROOF. SIZE PER MANUFACTURER'S RECOMMENDATIONS AND TERMINATE AT ROOF WITH CONCENTRIC VENT KIT. MAINTAIN ALL CODE REQUIRED CLEARANCES.
- LOCATE NEW CONDENSING UNIT AT APPROXIMATE LOCATION INDICATED ON CONCRETE PAD. COORDINATE EXACT LOCATION WITH GENERAL CONTRACTOR. ROUTE REFRIGERANT PIPING FROM CONDENSING UNIT TO FURNACE IN EXISTING PIPE TRENCH SYSTEM. COORDINATE EXACT ROUTING WITH ARCHITECT AND GENERAL CONTRACTOR. MAINTAIN MANUFACTURER'S RECOMMENDED CLEARANCES.
- MAINTAIN 10'-0" MINIMUM FROM ROOF EDGE TO ANY MECHANICAL EQUIPMENT.
- MOUNT DUCT AS HIGH AS POSSIBLE AND MAINTAIN 12" AIR GAP ABOVE OPENING. ELBOW RETURN AIR OPENING UP TOWARD EXISTING STRUCTURE. PROVIDE 1/2"x1/2" WIRE MESH SCREEN WITH FRAME OVER OPENING. RA DUCT OPEN TO PLENUM. VERIFY RETURN AIR PATH IS MAINTAINED TO ALL RA GRILLES. PROVIDE TRANSFER DUCTS AS REQUIRED.
- 4" DRYER VENT UP IN WALL THRU ROOF TO ROOF TERMINATION. SEAL ROOF PENETRATION WATER TIGHT.

Ventilation Rate Schedule						
Room Number	Room Name	Occupancy Category	Area (SF)	Area OA Rate (CFM/SF)	People	People OA Rate (CFM / P)
FURN 1						
101	ENTRY AREA	Corridors	231	0.06	0	0
114	OFFICE	Office	93	0.06	1	5
115	OFFICE	Office	104	0.06	1	5
116	HALL	Corridors	60	0.06	0	0
117	THERAPY RM	Office	111	0.06	2	5
			Total:		17	
FURN 2						
103	HALL	Corridors	131	0.06	0	0
104	THERAPY RM	Office	169	0.06	2	5
105	THERAPY RM	Office	169	0.06	2	5
106	THERAPY RM	Office	180	0.06	2	5
107	THERAPY RM	Office	107	0.06	2	5
			Total:		85	
FURN 3						
108	HALL	Corridors	53	0.06	0	0
109	HALL	Corridors	188	0.06	0	0
110	BREAK RM	Break Room	187	0.06	2	5
111	OPEN GYM	Multipurpose Assemb	277	0.06	6	7.5
112	THERAPY RM	Office	135	0.06	2	5
113	HALL	Corridors	72	0.06	0	0
118	THERAPY RM	Office	113	0.06	2	5
119	THERAPY RM	Office	113	0.06	2	5
120	THERAPY RM	Office	130	0.06	2	5
121	HALL	Corridors	231	0.06	0	0
122	UNISEX	Restroom	42	0	0	0
123	MEN	Restroom	48	0	0	0
124	WOMEN	Restroom	48	0	0	0
125	HALL	Corridors	78	0.06	0	0
126	HALL	Corridors	86	0.06	0	0
127	LAUNDRY	Storage	48	0.12	0	0
128	EXIST MECH	Storage	48	0.12	0	0
129	EXIST MECH	Storage	48	0.12	0	0
			Total:		212	
TENANT FINISH TOTAL OUTSIDE AIR						353

NOTES:
 1. VENTILATION RATES BASED ON ASHRAE STD 62.1-2004 VENTILATION RATE PROCEDURE.
 2. BALANCE OUTDOOR AIR TO QUANTITIES INDICATED.

COMcheck Software Version 4.1.5.5
Mechanical Compliance Certificate

Project Information

Energy Code: 2018 IECC
 Project Title: Galliant Autism Care
 Location: Gretna, Nebraska
 Climate Zone: 5a
 Project Type: New Construction

Construction Site: 11717 Bryan St Suite 101 & 102 Gretna, NE
 Owner/Agent:
 Designer/Contractor: Morrissey Engineering, Inc. 4940 North 118th St Omaha, NE 68164 402.491.4144

Additional Efficiency Package(s)

Credits: 1.0 Required 0.0 Proposed

Mechanical Systems List

Quantity System Type & Description

1 HVAC System 1 (Single Zone):
 Heating: 1 each - Central Furnace, Gas, Capacity = 70 kBtu/h
 Proposed Efficiency = 95.00% EI, Required Efficiency: 80.00% EI or 80% AFUE
 Cooling: 1 each - Split System, Capacity = 34 kBtu/h, Air-Cooled Condenser, No Economizer, Economizer exception: None
 Proposed Efficiency = 14.00 SEER, Required Efficiency: 13.00 SEER
 Fan System: None

Mechanical Compliance Statement

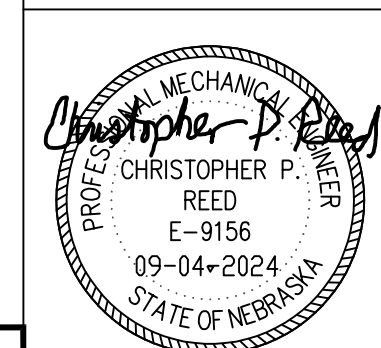
Compliance Statement: The proposed mechanical design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed mechanical systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.5.5 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Chris Reed - Mechanical
 Name - Title
 Signature
 Date
 September 3, 2024

Project Title: Galliant Autism Care
 Data filename: K:\2024\24364 Galliant Autism Care\Calculations\24364 COMcheck.cck
 Report date: 09/03/24
 Page 1 of 9

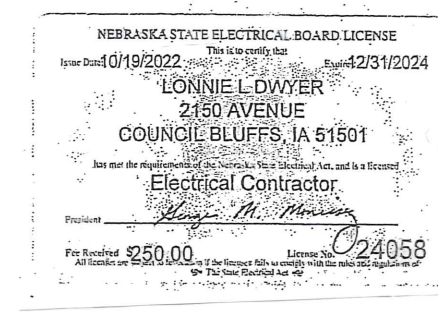
morrissey engineering inc
 mechanical | electrical | lighting | technology | commissioning
 4940 North 118th Street
 Omaha, NE 68164
 P: 402.491.4144
 Nebraska COA Number: CA-0835
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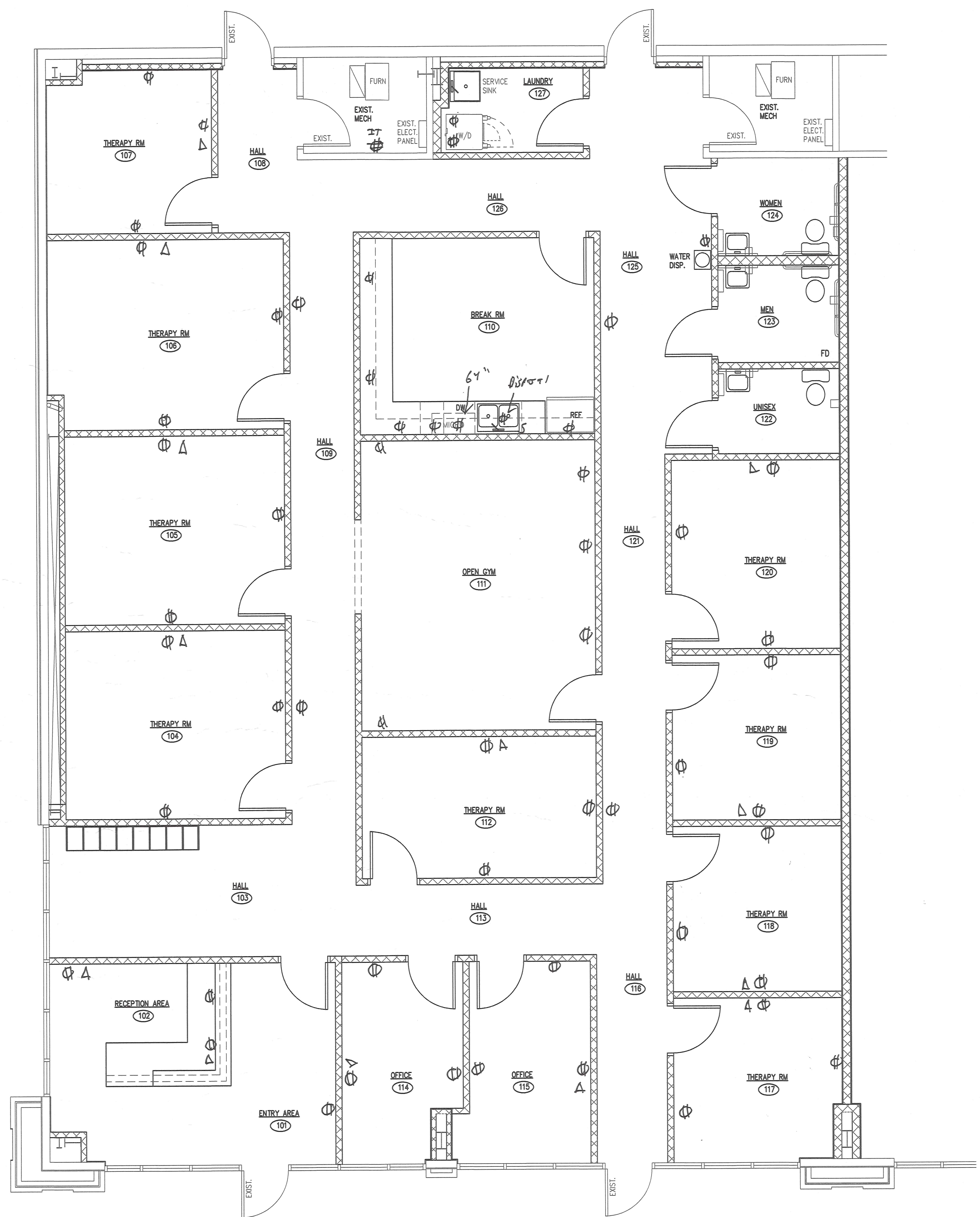
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M1.1
 MECHANICAL PLAN

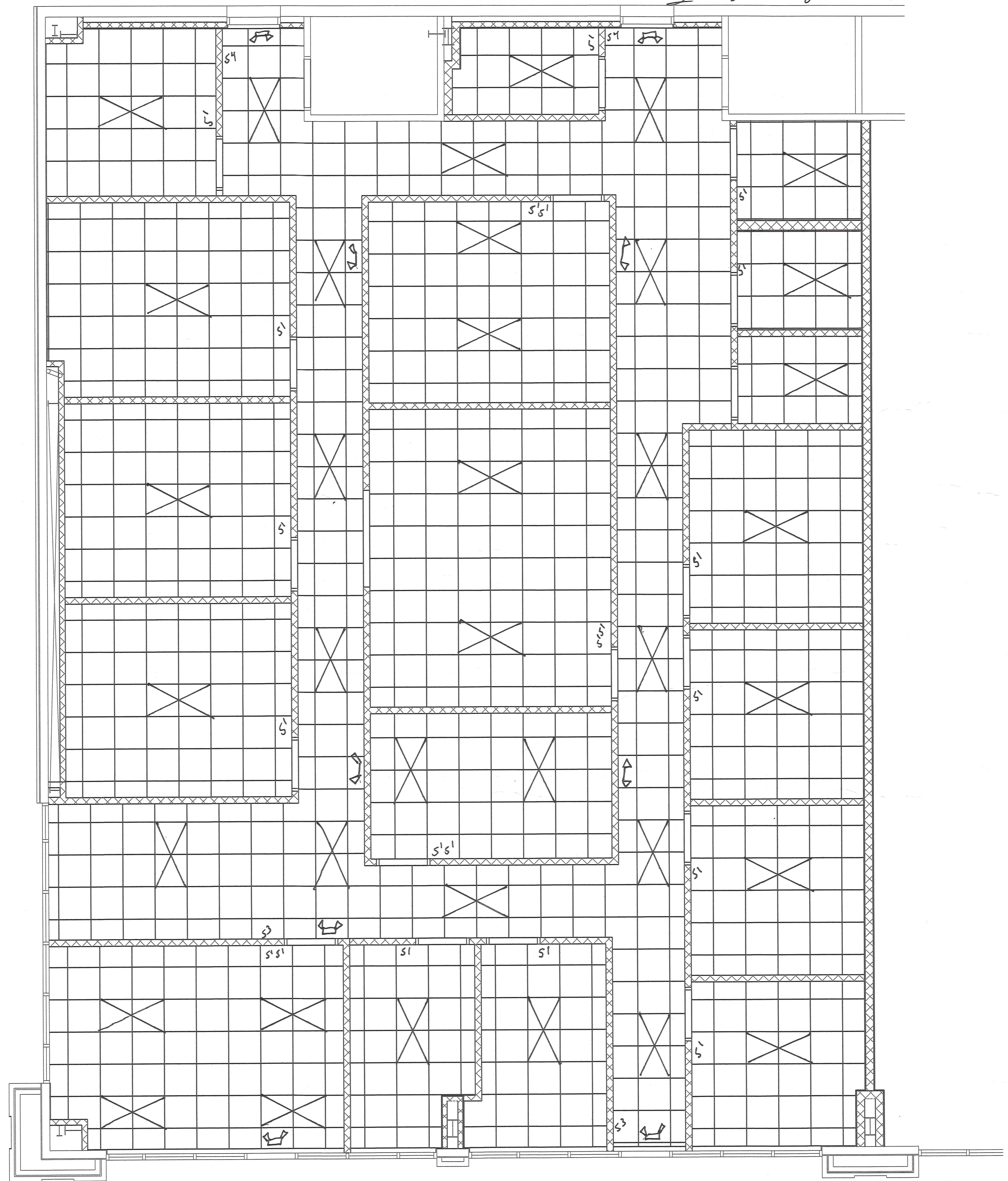


2x4 Led Troffer 50w x 38 = 1,900 w
 Exit/EM Combo
 Emergency

2018 8-2-2024



POWER PLAN
1/4" = 1'-0"



LIGHTING PLAN
1/4" = 1'-0"



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