GALLIANT AUTISM CARE — TENANT FINISH

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ABBREVIATIONS:

AB	ANCHOR BOLT	D	DOWN	G	GROUT	MISC	MISCELLANEOUS	S	SOUTH
AC	ACOUSTICAL CEILING	DET	DETAIL	ĞA	GAUGE	MO	MASONRY OPENING	SC	SOLID CORE
AW	ACOUSTICAL	DIA	DIAMETER	GALV	GALVANIZED	M/R	MOISTURE RESISTANT	SCHED	SCHEDULE
Au	WALLCOVERING	DIFF	DIFFUSER	GB	GRAB BAR	MTD	MOUNTED	SD	SOAP DISPENSER
ACOUS	ACOUSTICAL—	DIM	DIMENSION	GEN	GENERATOR	MTG	MEETING, MOUNTING	SECT	SECTION
ADJ	ADJACENT, ADJUSTABLE	DISP	DISPENSER	GL	GLASS	MUL	MULLION	SF	SQUARE FEET
AL, ALUM	ALUMINUM	DO	DOOR OPENING	GND, GRND	GROUND	MUL	MOLLION	SH	SHELF
ALT	ALTERNATE	DR	DOOR	GWB	GYPSUM WALLBOARD	NI.	NORTH	SHT	SHEET
AP	ACCESS PANEL		DRAWNG, DRAWNGS	GYP	GYPSUM	N	NEOPRENE	SIM	SIMILAR
APPROX	APPROXIMATE	DWG(S)	DRAWER	GIF	GIFSUM	NEO	NOT IN CONTRACT	SL	SLIDING
ARCH	ARCHITECTURAL	DWR	DRAWER	НВ	HOSE BIB	NIC	NUMBER	SPEC	SPECIFICATION
		_	FACT	HC	HANDICAPPED	NO	NOMINAL		SQUARE
AW	AWNING FABRIC	Ē.	EAST	HC		NOM		SQ	
_	D.4.05	EA	EACH INCLUATION	HD	HEAD	NTS	NOT TO SCALE	SST	STAINLESS STEEL
В	BASE	EIFS	EXTERIOR INSULATION	HDWE	HARDWOOD		0.5044	ST	STAIN
BD	BOARD		FINISH SYSTEM	HDWR	HARDWARE	OA	OVERALL	STD	STANDARD
BG	BUMPER GUARD	EJ	EXPANSION JOINT	НМ	HOLLOW METAL	OBS	OBSCURE	STL	STEEL
BLDG	BUILDING	EL, ELEV	ELEVATION	HORIZ	HORIZONTAL	OC	ON CENTER	STOR	STORAGE
BLK	BLOCK	ELEC	ELECTRIC, ELECTRICAL	HR	HOUR	OD	OUTSIDE DIAMETER	STRUCT	STRUCTURAL
BM	BEAM	ELEV	ELEVATOR	HT	HEIGHT	OFF	OFFICE	SUSP	SUSPENSION
BOT	BOTTOM	EMER	EMERGENCY	HVAC	HEATING, VENTILATING, AIR	OPNG	OPENING	SYM	SYMMETRICAL
		ENCL	ENCLOSURE		CONDITIONING	OPP	OPPOSITE		
CAB	CABINET	EQUIP	EQUIPMENT					Т	TILE
CB	CONCRETE BLOCK	EWC	ELECTRIC WATER COOLER	ID	INSIDE DIAMETER	Р	PAINT	TEL	TELEPHONE
CC	CENTER TO CENTER	EXH	EXHAUST	IN	INCH	PEMBM	PRE-ENGINEERED METAL	TEMP	TEMPERED
CEM	CEMENT	EXIST	EXISTING	INSUL	INSULATION	· Linbin	BUILDING MANUFACTURER	THK	THICK
CER	CERAMIC	EXP	EXPANSION, EXPOSED	INT	INTERIOR	PL	PLATE	TOS	TOP OF STEEL
CF	CONCRETE FINISH	EXT	EXTERIOR		WIE WOR	P. LAM. PL-	PLASTIC LAMINATE	TOW	TOP OF WALL
CG	CORNER GUARD	LAI	EXTERIOR	JAN	JANITOR	PLAS	PLASTER	Π	TOILET TISSUE DISPENS
CJ	CONTROL JOINT	FA	FIRE ALARM	JST	JOIST	PLYWD	PLYWOOD	TYP	TYPICAL
CKT	CIRCUIT	FB	FLAT BAR	JT	JOINT	PNL	PANEL, PANELBOARD	• • • • • • • • • • • • • • • • • • • •	THIOAL
CL	CLOSET	FC	FOOT-CANDLES	U1	OONT		PREFINISHED PANELS	UNF	UNFINISHED
CLKG	CAULKING	FD FD	FLOOR DRAIN	KIT	KITCHEN	PP DD	PAIR	UON	UNLESS OTHERWISE NO
CLRG CEIL	CEILING		FOUNDATION	KP	KICK PLATE	PR	PROJECT	OON	UNLESS OTHERWISE NO
		FDN		KP .	NICK PLATE	PROJ		VOT	VINVI COMPOCITION THE
CLR	CLEAR	FE	FIRE EXTINGUISHER	1 414	LANDIATE LANDIATED	PROP	PROPERTY	VCT	VINYL COMPOSITION TILI
CMU	CONCRETE	FEC	FIRE EXTINGUISHER CABINET	LAM	LAMINATE, LAMINATED	P.T.	PRESSURE TREATED	VERT	VERTICAL
	MASONRY UNIT	FIN	FINISH	LAV	LAVATORY	PT	POINT	VEST	VESTIBULE
COL	COLUMN	FIX, FIXT	FIXTURE	LT	LIGHT	PTD	PAPER TOWEL DISPENSER	VWC	VINYL WALLCOVERING
CONC	CONCRETE	FL, FLR	FLOOR			PTN	PARTITION		
COND	CONDITION	FLASH	FLASHING	М	MOLDING	PWR	POWER	W	WEST
CONSTR	CONSTRUCTION	FLUOR	FLUORESCENT	MACH	MACHINE			W/	WITH
CONT	CONTINUOUS	FOC	FACE OF CONCRETE	MATL	MATERIAL	QT	QUARRY TILE	WC	WATER CLOSET
CORR	CORRIDOR	FOF	FACE OF FINISH	MAX	MAXIMUM	QTY	QUANTITY	WD	WOOD
CPT, C	CARPET	FOS	FACE OF STUDS	MECH	MECHANICAL			WDO	WINDOW
СТ	CERAMIC TILE	FOW	FACE OF WALL	MEMB	MEMBRANE	R	RISER	WF	WOOD FLOOR
CTR	CENTER	FR	FIRE RATED/RETARDANT	MET, MTL	METAL	RAD,R	RADIUS	WM	WALK-OFF MAT
		FRP	FIBERGLASS REINFORCED	MFR	MANUFACTURER	RD	ROOF DRAIN	W/O	WITHOUT
			POLYESTER PANEL	MH	MANHOLE	REFL	REFLECTED	WP	WATERPROOF
		FRTW	FIRE RETARDANT TRTD. WD.	MIN	MINIMUM	REINF	REINFORCED		WATER RESISTANT
		FT	FOOT, FEET	MIR	MIRROR	REQ, REQD	REQUIRED	WR wr	WEIGHT
		FURR	FURRING	WIII	MILLION	RESIL	RESILIENT	WT	HEIOHI
		FURK	FUKKING				RESILIENT FLOORING		
						RF			
						RM	ROOM		
						RO	ROUGH OPENING		

RAIN WATER LEADER

CODE INFORMATION:

REFERENCE CODES: CITY OF GRETNA COMMERCIAL BUILDING CODE - 2021 IBC (INCLUDES AMENDMENTS) ELECTRICAL CODE - 2017 NEC ENERGY CODE - 2018 IECC (INCLUDES AMENDMENTS) FIRE CODE - 2012 LIFE SAFÈTY CODE ACCESSIBILITY CODE - 2009 ICC/ANSI A117.1-2009) MECHANICAL CODE - 2021 IMC (INCLUDES AMENDMENTS) PLUMBING CODE - 2021 IPC (INCLUDES AMENDMENTS) FUEL GAS CODE: IFCC 2021

CHAPTER 3 - USE & OCCUPANCY CLASSIFICATION: 303.1.2 & 304.1 GROUP B OCCUPANCY - AUTISM CENTER

<u>CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS:</u> TENANT FINISH ONLY

BUILDING IS FULLY SPRINKLED

<u>CHAPTER 6 - TYPES OF CONSTRUCTION:</u>
602.2 - TYPE IIB CONSTRUCTION CLASSIFICATION 603.1 - LISTS COMBUSTIBLE MATERIALS ALLOWED IN TYPE IIB CONSTRUCTION.

CHAPTER 9 - FIRE PROTECTION SYSTEMS: B - OCCUPANCY SPRINKLER PROVIDED WITH SHELL

907.2.2 MANUAL FIRE ALARM SYSTEM NOT REQUIRED IN FULLY SPRINKLERED BUILDING

CHAPTER 10 - MEANS OF EGRESS: TABLE 1004.5 - OCCUPANT LOAD:

TOTAL AREA: 3.487 S.F. ENTRY AREA: 134 SF / 15 = 9 PEOPLE

OPEN GYM: 278 / 50 = 6 PEOPLE BREAK RM: 186 S.F. / 15 = 12 PEOPLE MECH RM, LAUNDRY RMS: 143 S.F. / 500 = 1 PERSON OFFICES, THERAPY RMS, RESTROOM, HALLWAYS, ETC: 2,746 S.F. / 100 = 28 PEOPLE

TOTAL OCCUPANTS = 75 PEOPLE SECTION 1003 - EXITS REQUIRED: - 2 EXITS REQUIRED AND 4 PROVIDED

TABLE 1005.3.2 EGREES WIDTH PER OCCUPANT: OTHER EGRESS COMPONENTS, WITH SPRINKLER SYSTEM:

0.2 INCHES WIDTH PER OCCUPANT 75 * .2 = 15"

PROVIDED: 33"CLEAR * 4 DOOR = 132" (36" DOOR)

1009.1 - ACCESSIBLE MEANS OF EGRESS 1 ACCESSIBLE MEANS OF EGRESS REQUIRED.

IBC TABLE 1006.2.1 - COMMON PATH OF TRAVEL B OCCUPANCY = 100'-0" MAXIMUM WITH SPRINKLER SYSTEM

1017.2 EXIT ACCESS TRAVEL DISTANCE: 300'-0" MAXIMUM WITH SPRINKLER SYSTEM

PLUMBING CODE: PER IBC TABLE 2902.1

3,487 S.F. / 150 = 23 PEOPLE TOTAL OCCUPANTS = 23 PEOPLE

23/2 = 12 PER GENDER

B OCCUPANCY: WC - 1 PER 25, LAV 1 PER 40

<u>REQUIRED:</u> MEN: 1 WC, 1 LAV WOMEN: 1 WC, 1 LAV PROVIDED: MEN: 1 WC, 1 LAV

WOMEN: 1 WC, 1 LAV UNISEX RESTROOM PROVIDED (DOES NOT NEED TO MEET ADA AS PROVIDED AS EXTRA TENANT OPTION)

DRINKING FOUNTAINS: WATER DISPENSING STATION PROVIDED 1 SERVICE SINK REQUIRED & PROVIDED.

PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. MAINTAINED AND INSPECTED PER IFC 906. PROVIDE AS REQUIRED BY FIRE MARSHALL.

SEE SCHEDULES FOR FIRE EXT. TYPE

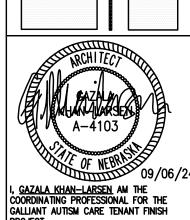
ENTRY / RECEPTION AREA SHALL ACT AS VESTIBULE. WALLS AROUND THIS SHALL GO TO DECK AND DOOR SHALL HAVE CLOSER TO KEEP CONDITIONED AIR SEPARATED FROM THIS AREA.

GENERAL NOTES:

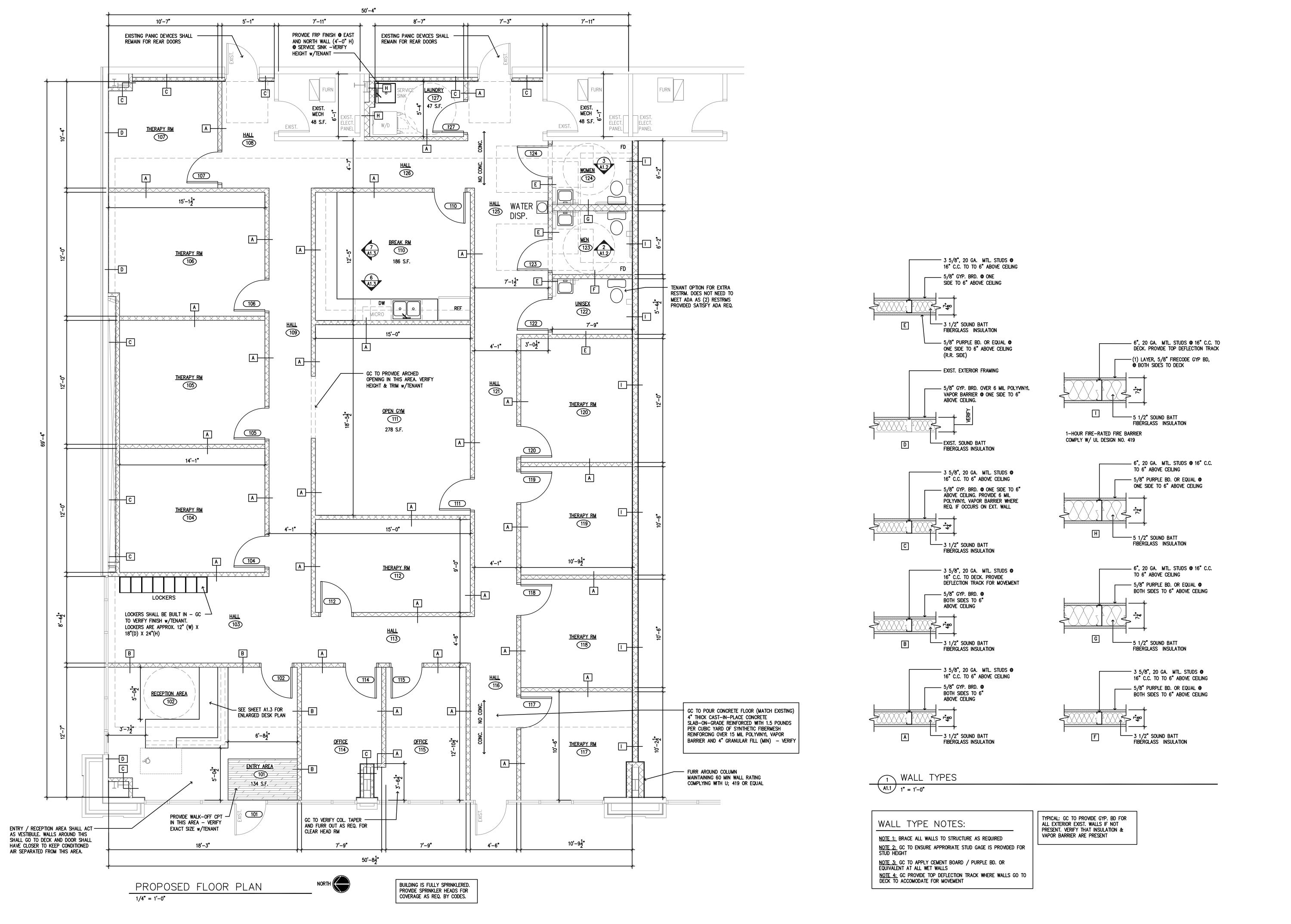
- 1. THE USE OF THESE DOCUMENTS IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH THEY WERE PREPARED. REUSE OR REPRODUCTION OF THE DOCUMENTS, (WHOLE OR IN PART), FOR ANY OTHER PURPOSE IS PROHIBITED. TITLE TO THESE DOCUMENTS REMAINS WITH THE ARCHITECT. VISUAL CONTACT WITH THESE DOCUMENTS IS PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.
- 2. THE GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND FIELD CONDITIONS WITH THE DRAWINGS PRIOR TO CONSTRUCTION & BIDDING. IN PARTICULAR: OVERALL WALL DIMENSIONS, CEILING HEIGHTS, ELECTRICAL REQUIREMENTS, CLEARANCES FOR DUCTWORK, HVAC EQUIPMENT, SPRINKLER LINES AND MAINS, ROOF DOWNSPOUTS, ELECTRICAL EQUIPMENT OR OTHER OBSTRUCTIONS WHICH COULD CAUSE CONFLICTS WITH CONSTRUCTION. GENERAL CONTRACTOR IS TO REPORT IMMEDIATELY TO THE ARCHITECT AND OWNER ANY VARIANCES, ERROR, INCONSISTENCY, OR OMISSIOIN HE MAY DISCOVER. VARIATION FROM THE DRAWINGS WITHOUT APPROVAL OF THE ARCHITECT AND/OR FAILURE TO REPORT ERRORS, OMISSIONS, OR INCONSISTENCIES TO THE ARCHITECT AND TENANT SHALL PLACE FULL RESPONSIBILITY, FOR ANY PROBLEMS, CHANGES, ETC. DIRECTLY UPON THE CONTRACTOR, INCLUDING BUT NOT
- 3. THE GENERAL CONTRACTOR IS TO GUARANTEE ALL WORK INCLUDING WORK DONE BY SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR COMMENCING WITH THE DATE OF TOTAL COMPLETION OF THE WORK.
- 4. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL GOVERNING CODES, ORDINANCES AND AUTHORITIES HAVING JURISDICTION.
- 5. ALL MATERIAL SPECIFIED IS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. GENERAL CONTRACTOR IS TO CONSTRUCT PROJECT IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. ANY DEVIATION FROM THE INTENT OF THE CONSTRUCTION DOCUMENTS, WITHOUT OWNER'S APPROVAL, ARE AT THE CONTRACTOR'S OWN RISK AND MAY RESULT IN THE WORK BEING DONE OVER AT CONTRACTOR'S EXPENSE, (MATERIALS AND LABOR).
- 6. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- 7. GRID ARCHITECTURE, LLC, SHALL NOT BE RESPONSIBLE OR HAVE CONTROL OVER THE CONSTRUCTION SEQUENCING, PROCEDURES, OR THE SAFETY PRECAUTIONS AND PROGRAMS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING WORK ON THE PROJECT.
- 8. GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY AND MISCELLANEOUS ITEMS FOR ALL BUILDING SYSTEMS TO BE 100% COMPLETE AND FULLY OPERATIONAL AS PER TENANT'S REQUIREMENTS, LOCAL CODE, AND DESIGN INTENT.
- 9. SHOP DRAWINGS, SPECIFICATIONS, DOCUMENTS, ETC. SHALL BE SUBMITTED TO THE ARCHITECT/ TENANT FOR APPROVAL PRIOR TO THE FABRICATION OF ANY ITEM. FAILURE TO ADHERE TO THIS PROCEDURE SHALL PLACE FULL RESPONSIBILITY FOR ANY ERRORS DIRECTLY UPON THE CONTRACTOR. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT/TENANT FOURTEEN DAYS AFTER SIGNING CONTRACT.
- 10. ALL SUBCONTRACTORS SHALL SUPPLY, ERECT, ASSEMBLE, RELOCATE, DISASSEMBLE AND REMOVE ANY TEMPORRARY BRACING, EQUIPMENT, OR STRUCTURE AS NEEDED TO CONSTRUCT WORK REQUIRED BY THE CONSTRUCTION DOCUMENTS AND AS REQUIRED FOR A SAFE AND TIMELY COMPLETION OF THE WORK AT NO
- 11. ALL SUBCONTRACTORS SHALL TAKE PRECAUTIONS TO AVOID DAMAGE AT ANY EQUIPMENT, MATERIALS, FINISHES, STRUCTURES, ETC. ANY SUCH DAMAGE SHALL BE IMMEDIATELY REPAIRED TO OWNER'S SATISFACTION AT THE SUBCONTRACTOR'S SOLE COST AND EXPENSE AT NO ADDITIONAL COST TO THE TENANT.

REVISIONS/DATES NO. DATE DESCRIPTION

NE-CA2531



TITLE SHEET



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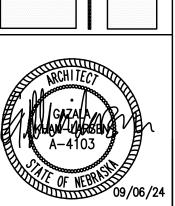
CREATE + BUILD + INHABIT

NE-CA2531

TECTURE, LLC

ARCHITE

2645 N 65 ST, OMAHA
T. (402) 960-6625



A1.1
PROPOSED FLOOR PLAN

ROOM FINISH SCHEDULE

GC TO VERIFY ALL FINISHES W/TENANT (SEE PLAN FOR ADDITIONAL INFORMATION)

20014 #	D004 NAVE	FLOOR	FLOOR	BASE	WALL FINISHES	_			CEILING	CEILING	
ROOM #	ROOM NAME	FINISH	FINISH	NORTH	SOUTH	EAST	WEST	FINISH	HEIGHT	NOTES	
101	ENTRY AREA	LVT / WALK-OFF CPT	VINYL	EXIST. GLASS / GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX / (ALT) — ACCENT WALL	EXIST. GLASS / GYP. BD — PAINT, LATEX	ACT	10'-0"	NOTE	
102	RECEPTION AREA	LVT	VINYL	EXIST. GLASS / GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	-	ACT	10'-0"		
103	HALL	LVT	VINYL	EXIST. GLASS / GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	ACT	10'-0"		
104	THERAPY RM	CARPET -VERIFY	VINYL	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	ACT	10'-0"	NOTE	
105	THERAPY RM	CARPET -VERIFY	VINYL	GYP. BD - PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	ACT	10'-0"	NOTE	
106	THERAPY RM	LVT	VINYL	GYP. BD - PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	ACT	10'-0"		
107	THERAPY RM	LVT	VINYL	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	ACT	10'-0"		
108	HALL	LVT	VINYL	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	ACT	10'-0"		
109	HALL	LVT	VINYL	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	-	-	ACT	10'-0"		
110	BREAK RM	LVT	VINYL	GYP. BD - PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD - PAINT, LATEX	ACT	10'-0"		
111	OPEN GYM	RUBBER	VINYL	GYP. BD - PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD - PAINT, LATEX	ACT	10'-0"		
112	THERAPY RM	CARPET -VERIFY	VINYL	GYP. BD - PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD - PAINT, LATEX	ACT	10'-0"	NOTE	
113	HALL	LVT	VINYL	-	-	GYP. BD — PAINT, LATEX	GYP. BD - PAINT, LATEX	ACT	10'-0"		
114	OFFICE	CARPET	VINYL	GYP. BD - PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	EXIST. GLASS / GYP. BD - PAINT, LATEX	ACT	10'-0"		
115	OFFICE	CARPET	VINYL	GYP. BD - PAINT, LATEX	GYP. BD - PAINT, LATEX	GYP. BD — PAINT, LATEX	EXIST. GLASS / GYP. BD - PAINT, LATEX	ACT	10'-0"		
116	HALL	LVT	VINYL	GYP. BD - PAINT, LATEX	GYP. BD — PAINT, LATEX	-	EXIST. GLASS / GYP. BD - PAINT, LATEX	ACT	10'-0"		
117	THERAPY RM	LVT	VINYL	GYP. BD - PAINT, LATEX	GYP. BD - PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD - PAINT, LATEX	ACT	10'-0"		
118	THERAPY RM	LVT	VINYL	GYP. BD - PAINT, LATEX	GYP. BD - PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD - PAINT, LATEX	ACT	10'-0"		
119	THERAPY RM	LVT	VINYL	GYP. BD - PAINT, LATEX	GYP. BD - PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD - PAINT, LATEX	ACT	10'-0"		
120	THERAPY RM	LVT	VINYL	GYP. BD - PAINT, LATEX	GYP. BD - PAINT, LATEX	GYP. BD — PAINT, LATEX	GYP. BD - PAINT, LATEX	ACT	10'-0"		
121	HALL	LVT	VINYL	GYP. BD - PAINT, LATEX	GYP. BD - PAINT, LATEX	-	-	ACT	10'-0"		
122	UNISEX R.R.	LVT	VINYL	PURPLE / CEMENT BD - PAINT, EPOXY	PURPLE / CEMENT BD - PAINT, EPOXY	PURPLE / CEMENT BD - PAINT, EPOXY	PURPLE / CEMENT BD - PAINT, EPOXY	ACT	9'-0"	NOTE (
123	MEN	LVT	VINYL	PURPLE / CEMENT BD - PAINT, EPOXY	PURPLE / CEMENT BD - PAINT, EPOXY	PURPLE / CEMENT BD - PAINT, EPOXY	PURPLE / CEMENT BD - PAINT, EPOXY	ACT	9'-0"	NOTE	
124	WOMEN	LVT	VINYL	PURPLE / CEMENT BD - PAINT, EPOXY	PURPLE / CEMENT BD - PAINT, EPOXY	PURPLE / CEMENT BD - PAINT, EPOXY	PURPLE / CEMENT BD - PAINT, EPOXY	ACT	9'-0"		
125	HALL	LVT	VINYL	GYP. BD - PAINT, LATEX	GYP. BD - PAINT, LATEX	GYP. BD - PAINT, LATEX	GYP. BD - PAINT, LATEX	ACT	10'-0"		
126	HALL	LVT	VINYL	-	-	GYP. BD — PAINT, LATEX	GYP. BD - PAINT, LATEX	ACT	10'-0"		
127	LAUNDRY RM	LVT	VINYL	PURPLE BD — PAINT, LATEX PROVIDE FRP FINISH @ SINK	GYP. BD — PAINT, LATEX	GYP. BD — PAINT, LATEX	PURPLE BD — PAINT, LATEX PROVIDE FRP FINISH @ SINK	ACT	9'-0"	NOTE	

NOTE 1: GC TO PROVIDE ALTERNATE FOR ACCENT WALL IN RECEPTION AREA. CHIZEL WOOD PANELS # WPFSN206. VERIFY w/TENANT

NOTE 2: (3) THERAPY ROOMS TO RECEIVE CUSTOM CARPET TREATMENT. GC TO VERIFY EXACT THERAPY ROOMS w/TENANT.

NOTE 3: GC TO PROVIDE TRANSITION STRIPS WHERE REQUIRED FOR ALL FLOOR FINISH CHANGES. ALL TRANSITION STRIPS TO MEET ADA AND NOT CAUSE ANY TRIP HAZARD.

NOTE 4: GC TO VERIFY ALL CEILING HEIGHTS W/EXIST UTILITIES AND STRUCTURE.

NOTE 5: PROVIDE FRP FINISH ON NORTH & EAST WALL IN LAUNDRY ROOM AT SERVICE SINK. 3'-0" WIDTH X 4'-0" (H) -VERIFY W/TENANT

NOTE 6: PROVIDE GC TO PROVIDE TILE ALTERNATE FOR RESTROOM FLOORS. VERIFY W/TENANT

FINISHES FINAL COLORS AND SELECTIONS SHALL BE PICKED BY TENANT

FINISHES FINAL COLORS A	ND SELECTIONS SHALL BE PICKED BY TENANT
ACT	ACT SHALL BE <u>ARMSTRONG</u> , <u>STYLE</u> : <u>VERIFY</u> , <u>SIZE</u> : 24" X 24", <u>COLOR</u> : <u>WHITE</u> , TEGULAR SAND FINISH <u>GRID</u> : 15/16", <u>COLOR</u> : <u>WHITE</u> . <u>VERIFY</u> <u>w/TENANT</u> FOR FINAL SELECTION
CARPET	J&J # 3370 COBALT — VERIFY FINAL SELECTIONS WITH TENANT
LVT	MOHAWK #235 SCONE - VERIFY FINAL SELECTIONS WITH TENANT
ALTERNATE: TILE FLOORING FOR RESTROOMS	VERIFY MAKE, MANUF, COLOR AND STYLE W/TENANT
RUBBER FLOORING	CAPRI BLUE MOON RTL 4003 - VERIFY FINAL SELECTIONS WITH TENANT
VINYL BASE (ALL AREAS BUT THE GYM)	BASE SHALL BE JOHNSONITE #80 FAWN
VINYL BASE (GYM AREA)	BASE SHALL BE JOHNSONITE — BLACK
COUNTERTOPS	SHALL BE BY <u>CAMBRIA</u> , IRONSBRIDGE - POLISHED. EASED EDGES VERIFY w/TENANT
LAMINATE - FOR VERTICAL CABINET SURFACES	STEVENSWOOD SOFT CLOSE DOORS / DRAWERS. #685 WHITE ZEBRINE - WHITE MELAMINE FOR INTERIOR CABINETS
CABINET PULLS	STUDIO 917 FOR DRAWERS AND DOORS WITH SOFT CLOSE HINGES AND DRAWERS
MAIN PAINT	SHALL BE BY <u>SHERWIN WILLIAMS. COLOR: SW 7029 AGREEBLE GRAY.</u> EGGSHELL FINISH VERIFY w/TENANT IF ACCENT PAINT REQUIRED — VERIFY LOCATIONS
FRP	FRP - FIBERGLASS REINFORCED PANELS SHALL BE BY MARLITE OR APPROVED EQUAL. WHITE PEBBLE.
FIRE EXTINGUISHER CABINETS & EXTINGUISHER (FEC)	FIRE EXTINGUISHER CABINET SHALL BE BY JL INDUSTRIES — "COSMOPOLITAN", FULL GLAZING, CLEAR TEMPERED GLASS — WITH STEEL, POWDER COAT FINISH — PAINT —VERIFY COLOR. FE: J.L. INDUSTRIES CLEAR WITH COSMIC 10E EXTINGUISHER — 10 LB CAPACITY DRY CHEMICAL GC TO PROVIDE FEC AS REQUIRED BY STATE FIRE MARSHALL. MAXIMUM DISTANCE TO A FIRE EXTINGUISHER SHALL NOT EXCEED 75 FEET.

DOOR SCHEDULE GC TO VERIFY ALL FINISHES W/TENANT

DOOR	DOORS	LEAF				FRAME		HARDWARE			
MARK	LOCATION	SIZE (WxHxT)	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	SET NO.	LOCK	RATING	NOTES
101	ENTRY AREA	EXIST.	EXIST.	EXIST.	EXIST	EXIST.	EXIST.	1	CYLINDER		NOTE 1 - KEYPAD/ ELECTRONIC ACCESS
102	RECEPTION AREA	3'-0" x 7'-0" x 1 3/4" w/FULL LITE GLASS	S.C.WOOD	STAIN -VERIFY	A	WOOD	STAIN -VERIFY	2	PASSAGE		
104	THERAPY RM	3'-0" x 7'-0" x 1 3/4" w/HALF LITE GLASS	S.C.WOOD	STAIN -VERIFY	В	WOOD	STAIN -VERIFY	3	PASSAGE		
105	THERAPY RM	3'-0" x 7'-0" x 1 3/4" w/HALF LITE GLASS	S.C.WOOD	STAIN -VERIFY	В	WOOD	STAIN -VERIFY	3	PASSAGE		
106	THERAPY RM	3'-0" x 7'-0" x 1 3/4" w/HALF LITE GLASS	S.C.WOOD	STAIN -VERIFY	В	WOOD	STAIN -VERIFY	3	PASSAGE		
107	THERAPY RM	3'-0" x 7'-0" x 1 3/4" w/HALF LITE GLASS	S.C.WOOD	STAIN -VERIFY	В	WOOD	STAIN -VERIFY	3	PASSAGE		
110	BREAK RM	3'-0" x 7'-0" x 1 3/4"	S.C.WOOD	STAIN -VERIFY	С	WOOD	STAIN -VERIFY	2	PASSAGE		
111	OPEN GYM	3'-0" x 7'-0" x 1 3/4"	S.C.WOOD	STAIN -VERIFY	C	WOOD	STAIN -VERIFY	2	PASSAGE		
112	THERAPY RM	3'-0" x 7'-0" x 1 3/4" w/HALF LITE GLASS	S.C.WOOD	STAIN -VERIFY	В	WOOD	STAIN -VERIFY	3	PASSAGE		
114	OFFICE	3'-0" x 7'-0" x 1 3/4"	S.C.WOOD	STAIN -VERIFY	С	WOOD	STAIN -VERIFY	3	PASSAGE		
115	OFFICE	3'-0" x 7'-0" x 1 3/4"	S.C.WOOD	STAIN -VERIFY	С	WOOD	STAIN -VERIFY	3	PASSAGE		
117	THERAPY RM	3'-0" x 7'-0" x 1 3/4" w/HALF LITE GLASS	S.C.WOOD	STAIN -VERIFY	В	WOOD	STAIN -VERIFY	3	PASSAGE		
118	THERAPY RM	3'-0" x 7'-0" x 1 3/4" w/HALF LITE GLASS	S.C.WOOD	STAIN -VERIFY	В	WOOD	STAIN -VERIFY	3	PASSAGE		
119	THERAPY RM	3'-0" x 7'-0" x 1 3/4" w/HALF LITE GLASS	S.C.WOOD	STAIN -VERIFY	В	WOOD	STAIN -VERIFY	3	PASSAGE		
120	THERAPY RM	3'-0" x 7'-0" x 1 3/4" w/HALF LITE GLASS	S.C.WOOD	STAIN -VERIFY	В	WOOD	STAIN -VERIFY	3	PASSAGE		
122	UNISEX R.R.	3'-0" x 7'-0" x 1 3/4"	S.C.WOOD	STAIN -VERIFY	С	WOOD	STAIN -VERIFY	4	PRIVACY		
123	MEN	3'-0" x 7'-0" x 1 3/4"	S.C.WOOD	STAIN -VERIFY	С	WOOD	STAIN -VERIFY	4	PRIVACY		
124	WOMEN	3'-0" x 7'-0" x 1 3/4"	S.C.WOOD	STAIN -VERIFY	С	WOOD	STAIN -VERIFY	4	PRIVACY		
127	LAUNDRY RM	3'-0" x 7'-0" x 1 3/4"	S.C.WOOD	STAIN -VERIFY	С	WOOD	STAIN -VERIFY	5	STOREROOM		KEYPAD/ ELECTRONIC ACCESS

NOTE 1: GC TO VERIFY EXISTING HARDWARE & MODIFY AS REQ. TO PROVIDE HARDWARE SPECIFIED TENANT WANTS CONTROLLED ACCESS FOR THIS DOOR. PROVIDE ELECTRONIC STRIKE OR KEYPAD BASED ON TENANT PREFERENCE. DOOR SHALL REMAIN OPEN FROM INTERIOR AT ALL TIMES.

HARDWARE SET:

GC TO VERIFY ALL FINISHES W/TENANT —
VERIFY ALL KEYING REQUIREMENTS W/TENANT

GC TO COORDINATE ALL SECURITY REQ. FOR HARDWARE w/TENANT

G.C TO VERIFY IF

TENANT REQUESTS

CLOSERS w/HOLD

ROOMS. VERIFY

w/TENANT

OPENS ON THERAPY

HARDWARE SET #1:
RETROFIT EXISTING DOOR TO PROVIDE HARDWARE THAT MEETS THE FOLLOWING:
GC TO VERIFY WHAT EXISTING HARDWARE CAN REMAIN.

PROVIDE CONTROLLED ACCESS FOR THIS DOOR. GC TO VERIFY IF KEYPAD OR ELECTRONIC STRIKE PREFERRED BY TENANT. PROVIDE AS REQUIRED. DOOR SHALL REMAIN OPEN FROM INTERIOR AT ALL TIMES.

3 EA. OFFSET PIVOTS 1 EA. SURFACE CLOSER, LCN, 4041, MATCH ALUM. FINISH

1 EA. OFFSET ENTRY PULL, 1" DIA, 9" CTC, 2 1/2" PROJ., MATCH ALUM. FINISH
1 EA. PUSH BAR, 1" DIA. 2 1/2" PROJ., MATCH ALUM. FINISH
1 EA. CYLINDER LOCK, 'ADAMS RITE', MS-1850A, W/ EXIT INDICATOR &

MORTISED CYLINDER, KEYED EXT. & THUMB @ INT., MATCH ALUM. FINISH 1 EA. 1/2" THRESHOLD, AL

1 EA. DOOR SWEEP, MATCH ALUM. FINISH 1 EA. WEATHERSTRIPPING

NOTE #1:
A. LOCKING DEVICE MUST BE READILY DISTINGUISHABLE AS

B. A READILY VISIBLE SIGN MUST BE POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR STATING: THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED. THE SIGN SHALL BE IN LETTERS 1" HIGH ON A CONTRASTING BLACK BACKGROUND

HARDWARE SET #2:

A1.2 1/4" = 1' - 0"

NOTE: (3) THERAPY ROOMS TO RECEIVE CUSTOM CARPET TREATMENT.

GC TO VERIFY EXACT THERAPY ROOMS

w/TENANT.

3 EA. HINGES, STANLEY, FBB191, 4.5 X 4.5, NRP, 26D
1 EA. PASSAGE LATCHSET, LEVER LOCK, "FALCON" DANE 626

1 EA. CLOSER, LCN, 4041, AL 1 EA. WALL STOP — 'ROCKWOOD', 409, US26D HARDWARE SET #3:

3 EA. HINGES, STANLEY, FBB191, 4.5 X 4.5, NRP, 26D
1 EA. PASSAGE LATCHSET, LEVER LOCK, "FALCON" DANE 626
1 EA. WALL STOP — 'ROCKWOOD', 409, US26D

HARDWARE SET #4:

3 EA. HINGES, STANLEY, FBB191, 4.5 X 4.5, NRP, 26D
1 EA. PRIVACY LOCKSET, LEVER LOCK, "FALCON" DANE 626
1 EA. CLOSER, LCN, 4041, AL

1 EA. WALL STOP - 'ROCKWOOD', 409, US26D

SIGNAGE FOR RESTROOMS:

ADA RESTROOM SIGNAGE - 'ROCKWOOD', "MEN" OR "WOMEN"

OR "UNISEX" - SEE PLAN

BLACK - VERIFY COLOR W/TENANT

MOUNT SIGNAGE TO WALL ADJACENT TO LATCH SIDE OF

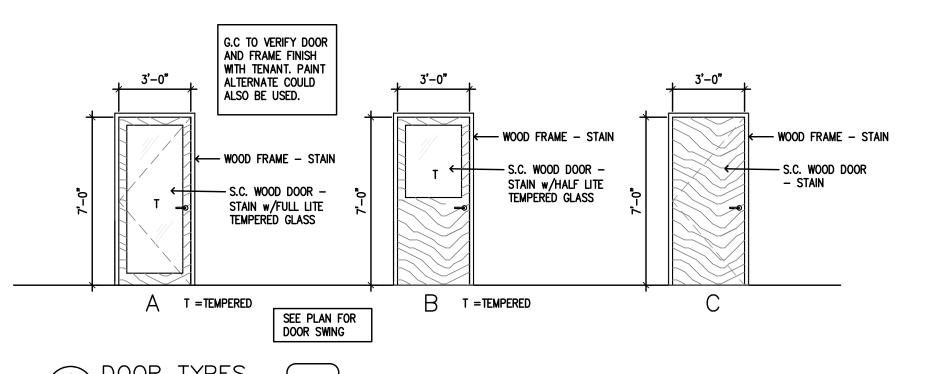
DOOR @ 60" A.F.F. TO CENTERLINE OF SIGNAGE PER A.D.A.

HARDWARE SET #5:

THIS DOOR RECEIVES KEYPAD OR ELECTRONIC ACCESS. VERIFY CONTROLLED ACCESS REQ/w/TENANT

3 EA. HINGES, STANLEY, FBB191, 4.5 X 4.5, NRP, 26D 1 EA. STOREROOM LOCKSET, LEVER LOCK, "FALCON" DANE 626

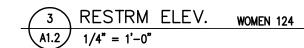
1 EA. CLOSER, LCN, 4041, AL 1 EA. WALL STOP — 'ROCKWOOD', 409, US26D



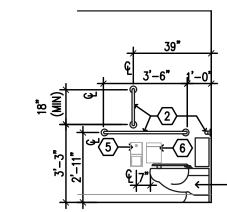
SEALANT CONT.

OWC - TYP.

2 RESTRM ELEV. MEN 123 1/4" = 1'-0"



5'-0"



4 TYPICAL SIDE ELEV. 1/4" = 1'-0"

BE A MINIMUM OF 18" LONG.

ORESTROOM CODED NOTES

1. ADA TANK TYPE WATER CLOSET. SEAT HEIGHT AT 18" A.F.F.

2. GRAB BARS BY <u>AMERICAN SPECIALTIES, INC.</u> SERIES 3800, OR APPROVED EQUAL. MOUNT AT 2'-11" A.F.F.

(1) 3'-0" LONG BAR AT BACK WALL - HOLD 6" FROM CORNER
(1) 3'-6" LONG BAR AT SIDE WALL - HOLD 12" FROM CORNER AND MOUNT © 35" A.F.F.
TO CENTERLINE
(1) VERTICAL GRAB BAR - MOUNT © 39" A.F.F. AND 39" FROM BACK WALL. GRAB BAR TO

3. SURFACE MOUNTED LAV W/ ADA LEVER FAUCET & <u>TRUBRO #103-EZ</u> "SNAP-ON" DRAIN PIPE INSULATION AT EXPOSED PLUMBING ONLY.

4. FRAMELESS MIRROR — PROVIDE TAMPER PROOF MOUNTING SCREWS TO SUIT INDIVIDUAL FIELD CONDITIONS. MOUNT SO THE BOTTOM EDGE OF THE REFLECTIVE SURFACE IS 40" MAX. A.F.F. FIELD COORDINATE. ALL MIRROR

SIZES SHALL BE FIELD VERIFIED.

5. SURFACE MOUNTED DUAL TOILET PAPER DISPENSER, BY AMERICAN SPECIALTIES, INC. OR APPROVED EQUAL. MOUNT @ 2'-0" A.F.F. TO CENTERLINE AND 3'-0" TO FARTHEST EDGE

6. SANITARY NAPKIN DISPOSAL, BY AMERICAN SPECIALTIES, INC. OR APPROVED EQUAL..

MOUNT @ 1'-8" A.F.F. TO CENTERLINE (OCCURS IN WOMEN'S ONLY)

7. SURFACE MOUNTED PAPER TOWEL DISPENSER BY AMERICAN SPECIALTIES. INC.
OR APPROVED EQUAL.. MOUNT SO BOTTOM OF PAPER SLOT IS 4'-0" A.F.F.

8. SURFACE MOUNTED SOAP DISPENSER BY <u>AMERICAN SPECIALTIES</u>, INC. OR APPROVED EQUAL.. MOUNT © 3'-4" AFF TO BOTTOM OF DISPENSER.

NOTES

1. GENERAL CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROVIDING AND COORDINATING ADEQUATE BLOCKING FOR ALL TOILET ACCESSORIES.

37-4"

CARE - TENANT FINISH

REVISIONS/DATES

NO. DATE DESCRIPTION

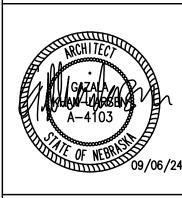
11717 BRYAN ST SUITE 101 & 102 GRETNA, NEBRASKA

create + Build + Inhabit NE-CA2531

GALLIANT AUTISM

DEMITECTURE, LLON 65 ST, OMAHA, NE

ARCI 2645 N 65 T. (402) 96

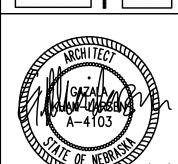


A1.2

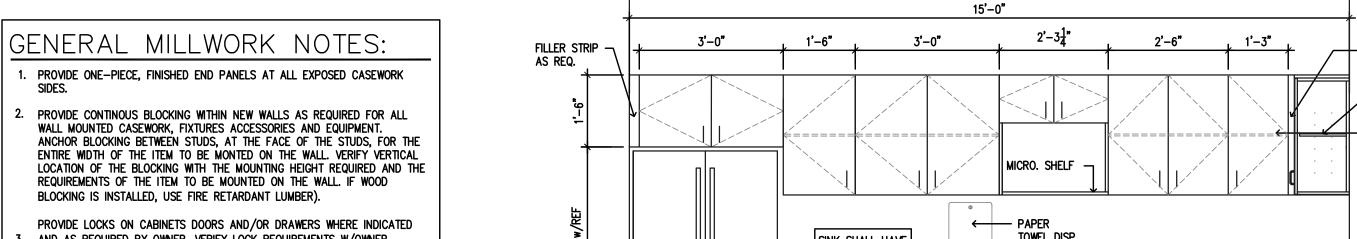
SCHEDULES & INTERIOR ELEVATIONS

REVISIONS/DATES NO. DATE DESCRIPTION

CREATE + BUILD + INHABIT







6 CABINET ELEV. (BREAK RM 110)

PROVIDE LOCKS ON CABINETS DOORS AND/OR DRAWERS WHERE INDICATED AND AS REQUIRED BY OWNER. VERIFY LOCK REQUIREMENTS W/OWNER. RADIUS ALL OUTSIDE CORNERS AT COUNTERTOPS. 5. PROVIDE CONTINOUS SEALANT BEAD AT PERIMETER OF ALL COUNTERTOP EDGES — COLOR SHALL MATCH LAMINATE COLOR.

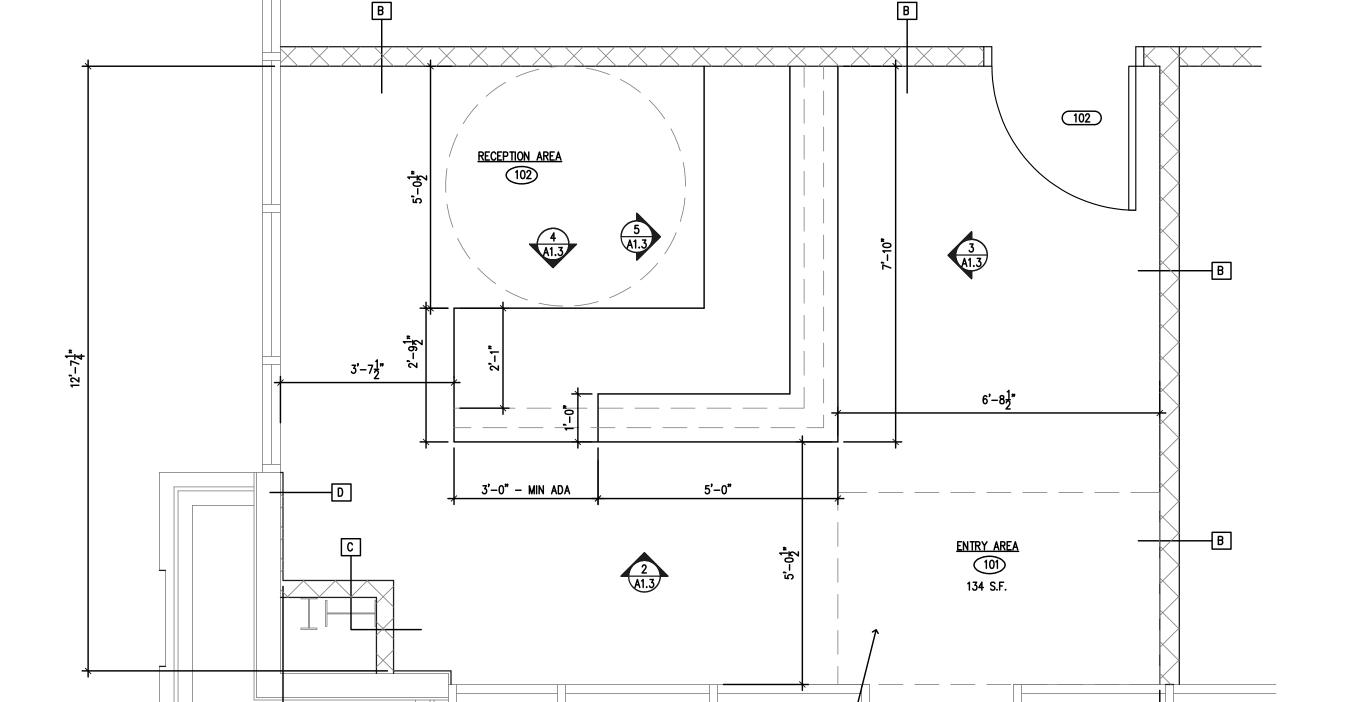
6. PROVIDE WOOD FILLER STRIPS AT CABINETS AS REQUIRED. FILLER STRIPS SHALL BE MANUFACTURED BY CABINET MANUFACTURER AND SHALL MATCH

VERIFY ALL APPLIANCE DIMENSIONS SUPPLIED BY OWNER FOR CLEARANCE AND INSTALLATION REQUIREMENTS PRIOR TO INSTALLATION OF MILLWORK. SCRIBE ALL COUNTERTOPS TO WALLS FOR ACCURATE FIT. APPLY SEALANT 8. CONT. @ PERIMETER EDGES - 1/8" JOINT MAXIMUM.

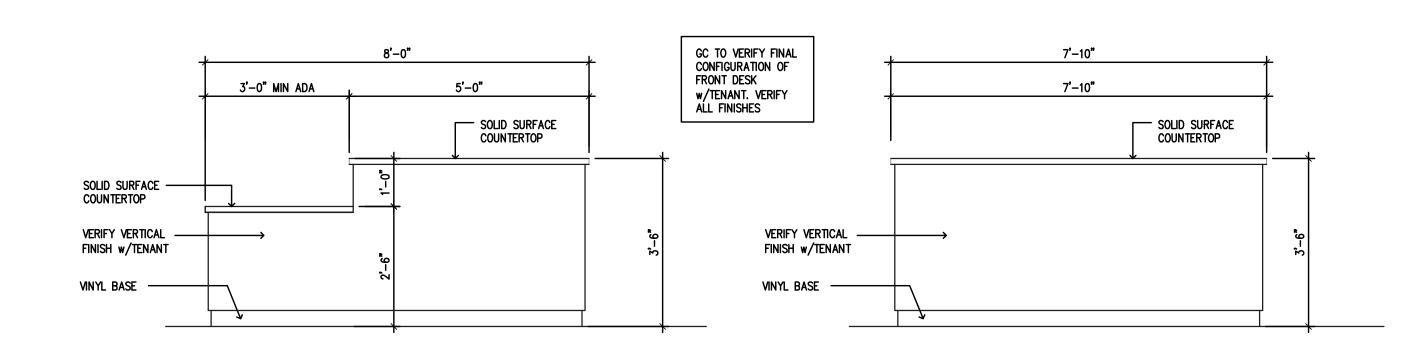
EXTERIOR SURFACES & EXPOSED TO VIEW SURFACES SHALL BE FINISH

9. SPECIFIED. INTERIOR SURFACES SHALL BE MELAMINE — UNLESS NOTED

PROVIDE COVER CAPS OVER ALL EXPOSED SCREWS, COLOR TO MATCH 10. ADJACENT MATERIAL.







PROVIDE WALK-OFF CPT IN THIS ---AREA - VERIFY EXACT SIZE

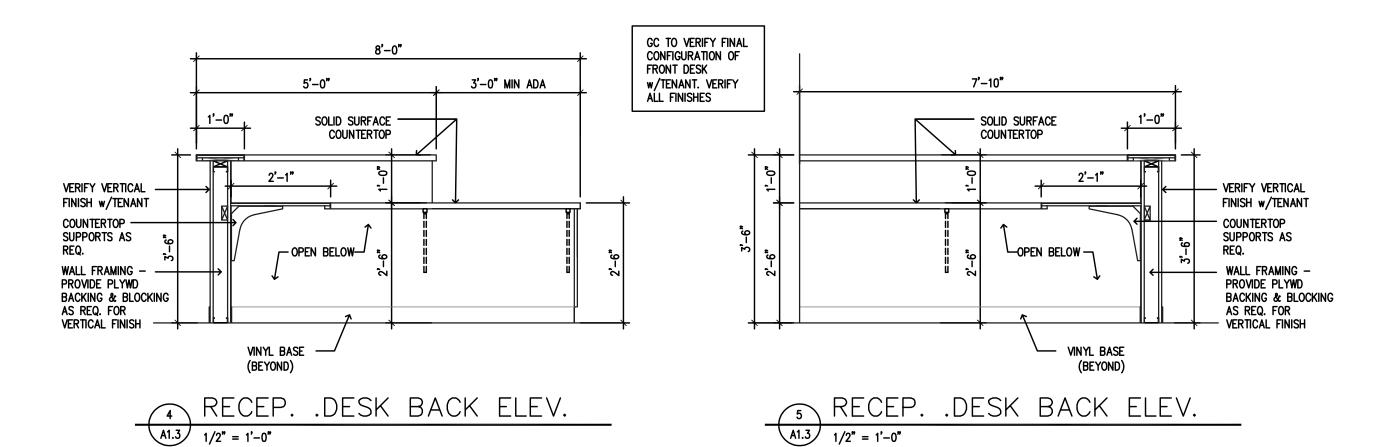
18'–31"

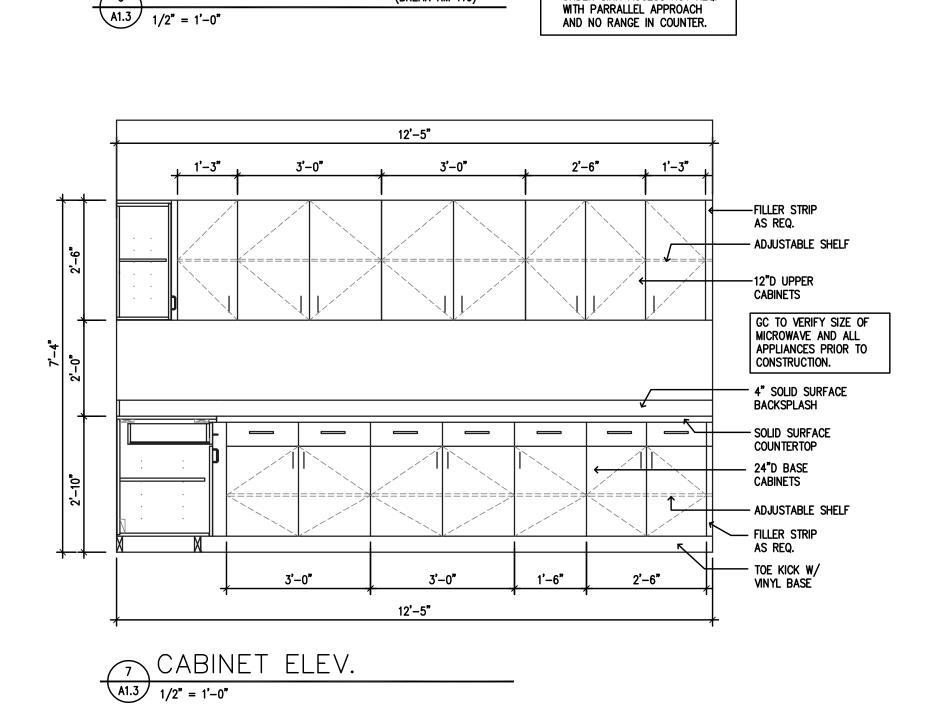
w/TENANT

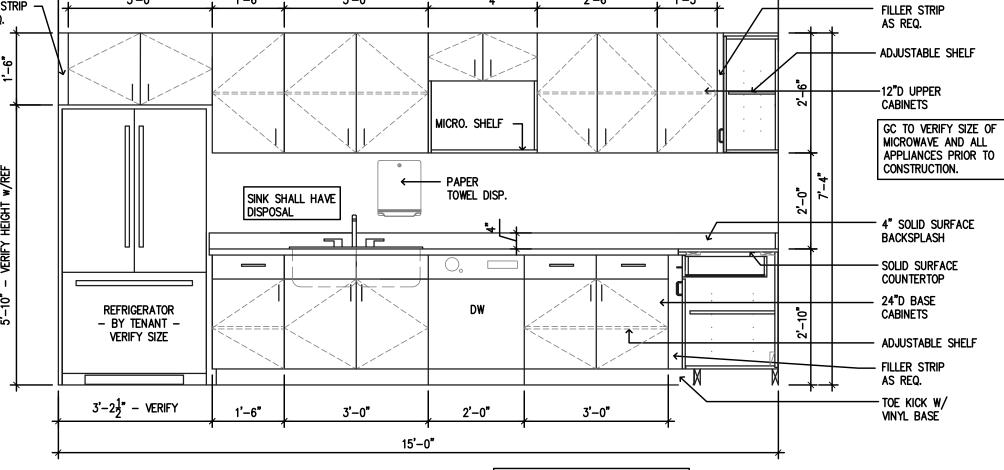




101





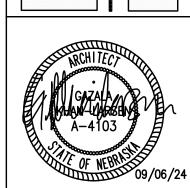


PER ANSI 606.2 EXCEPTION #1
UNDER SINK ACCESS NOT REQ.

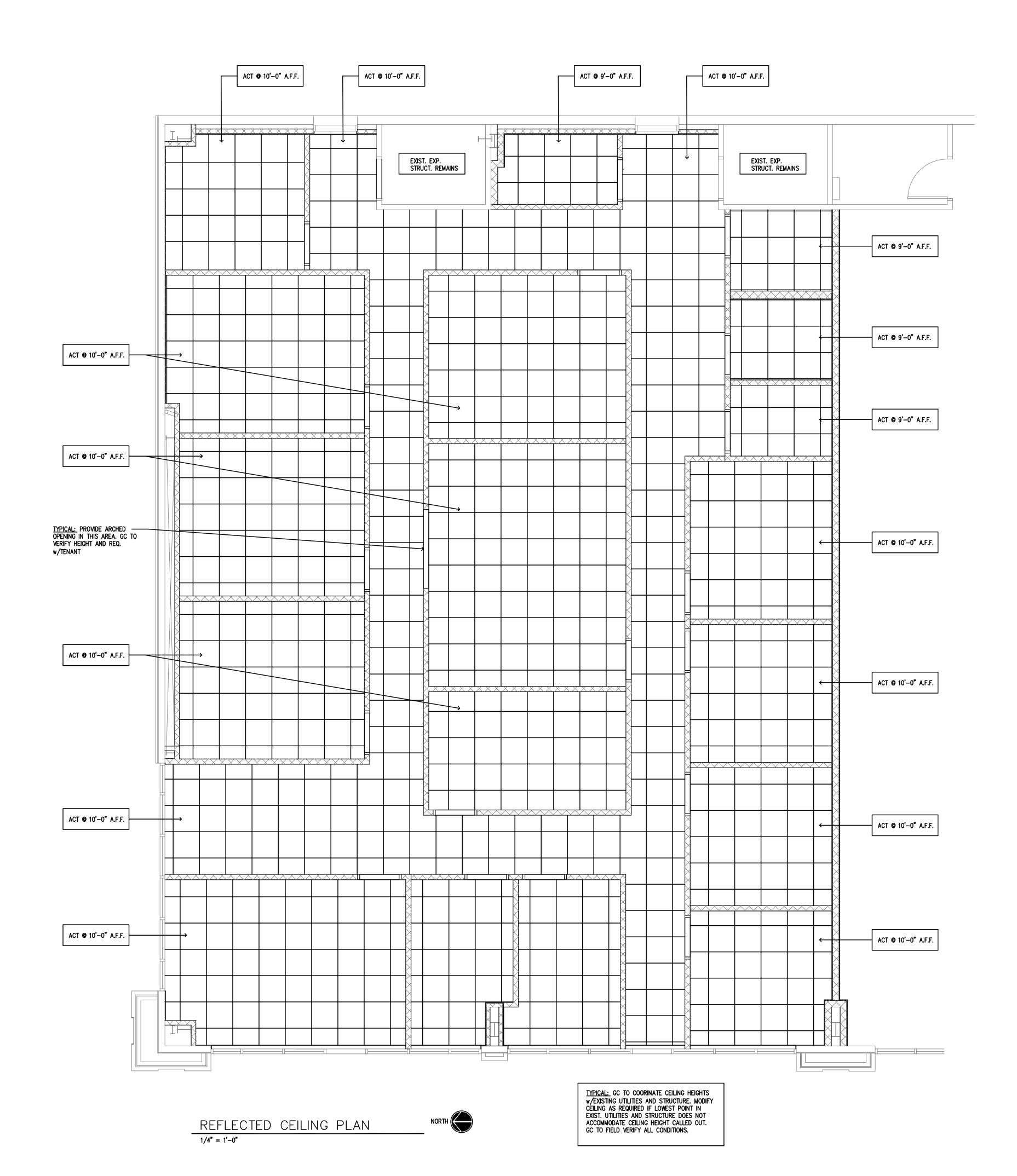


REVISIONS/DATES NO. DATE DESCRIPTION

> CREATE + BUILD + INHABIT NE-CA2531



REFLECTED CEILING PLAN & NOTES



REFER TO M & E SHEETS FOR LIGHT & DIFFUSER LOCATIONS

GENERAL REFLECTED CEILING NOTES:

- 1. PROVIDE AND INSTALL ALL NECESSARY BLOCKING FOR CEILING SYSTEMS.
- COORDINATE LOCATION OF EXIT SIGNAGE, EMERGENCY LIGHTING, AND ANY OTHER CEILING MOUNTED LIFE/SAFETY SYSTEMS W/ ELECTRICAL.
- 3. CENTER ACT GRIDS IN ROOMS, U.N.O.
- 4. WALL MOUNTED EXIT LIGHTS SHALL BE MOUNTED 6" ABOVE DOOR FRAME & CENTERED ON DOOR.
- CEILING MOUNTED EXIT LIGHTS SHALL BE MOUNTED 10" FROM WALL & CENTERED ON DOOR.

MECHANICAL PLAN

|/4" = |'-0"

GENERAL NOTES

- 1. DO NOT ROUTE DUCTWORK OR LOCATE EQUIPMENT ABOVE ELECTRICAL PANELS. MAINTAIN ALL CODE REQUIRED CLEARANCES.
- 2. MECHANICAL ITEMS SHOWN LIGHT AND / OR INDICATED WITH (E) ARE EXISTING. ITEMS INDICATED WITH A (R) ARE RELOCATED. ALL ITEMS SHOWN DARK ARE
- 3. EXISTING DRAWINGS ARE BASED ON EXISTING CONSTRUCTION DOCUMENTS AND APPROXIMATION FROM FIELD OBSERVATIONS. DRAWINGS ARE SCHEMATIC IN NATURE. FIELD VERIFY EXACT LOCATION OF ALL MECHANICAL ITEMS. MECHANICAL ITEMS DISCOVERED ON SITE TO BE REMOVED BUT NOT INDICATED ON PLANS TO BE IDENTIFIED BY CONTRACTOR AND REMOVED / RELOCATED AS DIRECTED BY THE ENGINEER.
- 4. PLANS ARE SCHEMATIC IN NATURE. COORDINATE EXACT ROUTING AND EQUIPMENT LOCATIONS WITH ALL OTHER TRADES. PROVIDE OFFSETS AS
- 5. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO NEW WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING DUCTWORK AS NECESSARY TO AVOID CONFLICTS WITH EXISTING CONDITIONS AND WITH ALL TRADES OF NEW WORK AT NO ADDITIONAL COST TO THE OWNER.
- 6. COORDINATE ALL ROOF, WALL, AND FLOOR PENETRATIONS WITH GENERAL CONTRACTOR. SEAL PENETRATIONS OF EXTERIOR ENVELOPE WATERTIGHT.
- 7. MAINTAIN CODE AND MANUFACTURER'S REQUIRED CLEARANCES AROUND ALL MECHANICAL EQUIPMENT TO ALLOW PROPER OPERATION AND FOR EASY MAINTENANCE AND FILTER ACCESS. INSTALL ALL MECHANICAL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS.
- 8. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH CURRENTLY ADOPTED LOCAL AND STATE CODES AS WELL AS OWNER STANDARDS.
- 9. MECHANICAL CONTRACTOR TO PROVIDE ALL LOW VOLTAGE CONTROL WIRING AND ELECTRICAL CONTRACTOR TO PROVIDE ALL POWER AND LINE VOLTAGE CONTROL WIRING REQUIRED FOR COMPLETE OPERATION OF ALL MECHANICAL
- 10. SEE DUCT FITTING DETAIL 1 ON SHEET M2.1.
- 11. SPACE IS LIMITED. COORDINATE DUCT ROUTING WITH STRUCTURE AND ALL OTHER TRADES. OFFSET AND EXTEND DUCTWORK AS REQUIRED TO AVOID
- 12. INSTALL ALL VOLUME DAMPERS ABOVE ACCESSIBLE CEILINGS OR IN ACCESSIBLE LOCATIONS.
- 13. ROUND RUN-OUTS TO DIFFUSERS SHALL BE THE SAME SIZE AS DIFFUSER NECK UNLESS NOTED OTHERWISE. SEE DIFFUSER CONNECTION DETAIL 2 ON SHEET M2.1.
- 14. THERMOSTAT ROUGH-INS BY ELECTRICAL CONTRACTOR. COORDINATE EXACT LOCATIONS WITH ELECTRICAL AND DESIGN ARCHITECT.
- 15. PROVIDE RETURN AIR BOOT AT EACH G-X RETURN AIR GRILLE. SEE DETAIL 3 ON SHEET M2.1.

FLAG NOTES

- N/E CONNECT NEW TO EXISTING. FIELD VERIFY EXISTING SIZE AND LOCATION PRIOR TO PROVIDING NEW WORK.
- 1 DO NOT ROUTE DUCTWORK OR PIPING ABOVE ELECTRICAL PANELS. MAINTAIN ALL CODE REQUIRED CLEARANCES.
- 2 EXISTING FURNACE TO REMAIN. PROVIDE COMPLETE SERVICE INCLUDING, CLEANING OF COILS COMPLETE CHARGE OF REFRIGERANT, CHANGE OF BELTS AND NEW FILTERS. REPORT ADDITIONAL NEEDED REPAIRS TO BUILDING OWNER, BALANCE SUPPLY AIR TO 1995 CFM. MAINTAIN MANUFACTURER'S RECOMMENDED CLEARANCES AROUND UNIT.
- 3 EXISTING CONDENSING UNIT TO REMAIN. PROVIDE COMPLETE SERVICE INCLUDING, CLEANING, COMPLETE CHARGE OF REFRIGERANT AND CHANGE OF BELTS. REPORT ADDITIONAL NEEDED REPAIRS TO BUILDING OWNER. MAINTAIN MANUFACTURER'S RECOMMENDED
- CLEARANCES AROUND UNIT. 4 CONNECT NEW SA/RA DUCT TO EXISTING SA/RA DUCT. FILED VERIFY EXISTING DUCT LOCATION AND SIZE. TRANSITION SA/RA DUCT TO EXISTING DUCT AS REQUIRED.
- 5 RELOCATE EXISTING THERMOSTAT TO LOCATION INDICATED. PROVIDE ADDITIONAL CONTROL WIRING AS REQUIRED. COORDINATE T-STAT LOCATION WITH ARCHITECT AND TENANT.
- 6 MAINTAIN 10'-0" MINIMUM FROM ALL EXHAUST AND
- PLUMBING VENT TERMINATIONS. 7 6"Ø OA DUCT UP FROM RETURN AIR DUCT THROUGH ROOF
- TO ROOF CAP. COORDINATE WITH STRUCTURE.
- 8 8 8 OA DUCT UP FROM RETURN AIR DUCT THROUGH ROOF TO ROOF CAP. COORDINATE WITH STRUCTURE.
- 9 10/8 EA DUCT UP THROUGH ROOF TO EF-1. COORDINATE WITH STRUCTURE. TRANSITION TO EF-1 OPENING SIZE AS
- 10 EXHAUST FAN ON ROOF CURB. COORDINATE EXACT LOCATION WITH STRUCTURE. MAINTAIN 10'-0" CLEARANCE TO OUTSIDE AIR INTAKES.
- 11 >> PROVIDE FLUE AND COMBUSTION PIPING FROM FURNACE UP TO ROOF. SIZE PER MANUFACTURER'S RECOMMENDATIONS AND TERMINATE AT ROOF WITH CONCENTRIC VENT KIT. MAINTAIN ALL CODE REQUIRED CLEARANCES.
- 12 LOCATE NEW CONDENSING UNIT AT APPROXIMATE LOCATION INDICTED ON CONCRETE PAD. COORDINATE EXACT LOCATION WITH GENERAL CONTRACTOR. ROUTE REFRIGERANT PIPING FROM CONDENSING UNIT TO FURNACE IN EXISTING PIPE TRENCH SYSTEM. COORDINATE EXACT ROUTING WITH ARCHITECT AND GENERAL CONTRACTOR. MAINTAIN MANUFACTURER'S RECOMMENDED CLEARANCES.
- 13 MAINTAIN 10'-0" MINIMUM FROM ROOF EDGE TO ANY MECHANICAL EQUIPMENT.
- 14 MOUNT DUCT AS HIGH AS POSSIBLE AND MAINTAIN 12" AIR GAP ABOVE OPENING. ELBOW RETURN AIR OPENING UP TOWARD EXISTING STRUCTURE. PROVIDE 1/2"x1/2" WIRE MESH SCREEN WITH FRAME OVER OPENING. RA DUCT OPEN TO PLENUM. VERIFY RETURN AIR PATH IS MAINTAINED TO ALL RA GRILLES. PROVIDE TRANSFER DUCTS AS REQUIRED.
- >> 4" DRYER VENT UP IN WALL THRU ROOF TO ROOF TERMINATION. SEAL ROOF PENETRATION WATER TIGHT.

Room Number	Room Name	Occupancy Category	Area (SF)	Area OA Rate (CFM/SF)	People	People OA Rate (CFM / P)	Total OA Rate Required (CFM)
FURN 1							
101	ENTRY AREA	Corridors	231	0.06	0	0	14
114	OFFICE	Office	93	0.06	1	5	11
115	OFFICE	Office	104	0.06	1	5	11
116	HALL	Corridors	60	0.06	0	0	4
117	THERAPY RM	Office	111	0.06	2	5	17
						Total:	56
FURN 2							
	HALL	Corridors	131	0.06	0	0	8
	THERAPY RM	Office	169	0.06	2	5	20
	THERAPY RM	Office	169	0.06	2	5	20
	THERAPY RM	Office	180	0.06	2	5	21
107	THERAPY RM	Office	107	0.06	2	5	16
						Total:	85
FURN 3					_	_	_
	HALL	Corridors	53	0.06	0	0	3
	HALL	Corridors	188	0.06	0	0	11
	BREAK RM	Break Room	187	0.06	2	5	21
	OPEN GYM	Multipurpose Assembly		0.06	6	7.5	62
	THERAPY RM	Office	135	0.06	2	5	18
	HALL	Corridors	72	0.06	0	0	4
_	THERAPY RM	Office	113	0.06	2	5	17
	THERAPY RM	Office	113	0.06	2	5	17
-	THERAPY RM	Office	130	0.06	2	5	18
	HALL	Corridors	231	0.06	0	0	14
	UNISEX	Restroom	42	0	0	0	0
	MEN	Restroom	48	0	0	0	0
	WOMEN	Restroom	48	0	0	0	0
	HALL	Corridors	78	0.06	0	0	5
-	HALL	Corridors	86	0.06	0	0	5
	LAUNDRY	Storage	48	0.12	0	0	6
	EXIST MECH	Storage	48	0.12	0	0	6
129	EXIST MECH	Storage	48	0.12	0	0	6
TENIANITI	FINISH TOTAL OUT	CIDE AID				Total:	212
IENANII	FINISH TOTAL OUTS	DIDE AIK				Total:	353

Climate Zone:

1. VENTILATION RATES BASED ON ASHRAE STD 62.1-2004 VENTILATION RATE PROCEDURE. BALANCE OUTDOOR AIR TO QUANTITIES INDICATED.

COM*check* **Software Version 4.1.5.5**

Mechanical Compliance Certificate

Project Information 2018 IECC Energy Code: Galliant Autism Care Project Title: Gretna, Nebraska Location:

Project Type: New Construction

Construction Site: Owner/Agent: 11717 Bryan St Suite 101 & 102 Gretna, NE

Additional Efficiency Package(s)

Credits: 1.0 Required 0.0 Proposed Mechanical Systems List

Quantity System Type & Description

1 HVAC System 1 (Single Zone): Heating: 1 each - Central Furnace, Gas, Capacity = 70 kBtu/h

Proposed Efficiency = 95.00% Et, Required Efficiency: 80.00 % Et or 80% AFUE Cooling: 1 each - Split System, Capacity = 34 kBtu/h, Air-Cooled Condenser, No Economizer, Economizer exception: None Proposed Efficiency = 14.00 SEER, Required Efficiency: 13.00 SEER

Mechanical Compliance Statement

Compliance Statement: The proposed mechanical design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed mechanical systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.5.5 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Chris Reed - Mechanical Name - Title

Christopher P. Reed

September 3, 2024

Designer/Contractor:

4940 North 118th St

Omaha, NE 68164

Morrissey Engineering, Inc.

Project Title: Galliant Autism Care

Data filename: K:\2024\24364 Galliant Autism Care\Calculations\24364 COMcheck.cck

Report date: 09/03/24 Page 1 of 9



P: 402.491.4144

www.morrisseyengineering.com

Nebraska COA Number: CA-0835

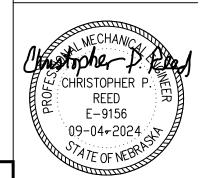
4940 North 118th Street Omaha, NE 68164

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to verification of clearance for all trades.

do not scale drawings. verify all dimensions and clearances from architectural, structural, shop and other appropriate drawings or at site. lay out and coordinate all work prior to installation to provide clearances required for operation, maintenance, and codes and verify non-interference with other work. do not fabricate prior





REMARKS (1) VERIFY CEILING CONSTRUCTION PRIOR TO FURNISHING MATERIAL.

NOISE CRITERIA (NC) SHALL BE LESS THAN 25 ON DIFFUSERS, REGISTERS AND GRILLES LOCATED IN OCCUPIED SPACES.

PROVIDE OPPOSED BLADE DAMPER.
SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCT BY ONE OF THE FOLLOWING MANUFACTURER'S: KRUEGER, TITUS AND PRICE.

FAN	SCHEDULE		
	PLAN TAG	EF-1	
	MANUFACTURER	GREENHECK (4)	
	MODEL NUMBER	G-095-VG	
GENERAL	SERVES	SEE PLANS	
	TYPE	(1)	
	MAXIMUM WEIGHT (LBS)	50	
	ROOF/WALL OPENING SIZE	13.5 x 13.5	
	ACCESSORIES	(2)	
	AIRFLOW (CFM)	375	
	TOTAL SP (IN. W.C.)	0.60	
	CLASS	<u>-</u>	
	WHEEL TYPE	<u>-</u>	
FAN	MINIMUM WHEEL DIA.	10.875"	
	MAXIMUM SONES	9.6	
	MAXIMUM FAN RPM	1498	
	MAXIMUM FAN BHP	0.09	
	RPM	1725	
	HP	1/6	
	VOLTS	115	
MOTOR	PHASE	1	
	TYPE	EC	
	CONTROL DEVICE	(3)	
	REMARKS	-	
REMARKS	1. DIRECT DRIVE CENTRIFU FAN WITH EC MOTOR. 2. PROVIDE 12" ROOF CURB MOTORIZED DAMPER (11! COORDINATE WITH ELEC 3. TIME CLOCK BY ELECTRIC	, MOTOR DISCONNE 5V) INTERLOCKED W TRICAL.	СТ,

SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE

PRODUCT BY ONE OF THE FOLLOWING MANUFACTURER'S:

GREENHECK, TWIN CITY AND COOK.

	PLAN TAG	CU-1				
	MANUFACTURER	RUUD				
	MODEL NUMBER	RA1436				
OFNEDA.	SERVES	F-1				
GENERAL	CONFIGURATION	(1)				
	MAXIMUM SIZE (LxW)(IN)	33.75" x 33.75" x 27"				
	MAXIMUM WEIGHT (LBS.)	200				
	REMARKS	(4)				
	VOLTS	208				
	PHASE	1				
	MAXIMUM UNIT KW	- 1				
ELECTRICAL	MAXIMUM FUSE SIZE (AMPS)	30				
	MINIMUM CIRCUIT AMPACITY (MCA)	19				
	REMARKS	(2)				
	AMBIENT AIR TEMPERATURE (F)	95°F				
COOLING	MINIMUM NET SEER (ARI)	14				
COOLING	NOMINAL CAPACITY (TONS)	3				
	TOTAL COOLING (MBH)	34.2				
	SENSIBLE COOLING (MBH)	23.2				
	TYPE	R410A				
REFRIGERANT	MIN. NUMBER OF STAGES	1				
	REMARKS	(3)				
COMPDEO	TYPE	SCROLL				
COMPRES- SORS	QUANITY/SIZE	1				
	HP	-				
	REMARKS	-				
	TYPE	PROP				
CONDENSER	QUANITY/SIZE	1				
FANS	HP	1/6				
	REMARKS	-				
REMARKS	(1) AIR COOLED CONDENSING UNIT. (2) DISCONNECT BY ELECTRICAL CONTRACTOR. SEE ELECTRICAL PLAN (3) PROVIDE LOW AMBIENT COOLING KIT TO PROVIDE COOLING DOWN					

	PLAN TAG	F-1			
	MANUFACTURER	RUUD			
	MODEL NUMBER	R95T-0701317MSA			
	SERVES	SEE PLANS			
GENERAL	CONFIGURATION	(6)			
	MAXIMUM SIZE (WxDxH)(IN.)	18" x 30" x 66.5"			
	MAXIMUM WEIGHT (LBS.)	200			
	REMARKS	(7)			
	TOTAL AIRFLOW (CFM)	1,200			
AIRFLOW	MINIMUM OUTSIDE AIRFLOW (CFM)	(12)			
	EXTERNAL SP (IN. WC)	0.5"			
	RPM	1,725			
	HP	1/2			
	VOLTS	120			
MOTOR	PHASE	1			
	TYPE	(9)			
	CONTROL DEVICE	(1)			
	REMARKS	-			
	FUEL	NAT. GAS			
	INPUT	70			
GAS	OUTPUT	66.5			
FIRED	EFFICIENCY	95%			
	VENT CONNECTION (IN)	(2)			
	REMARKS	(10)			
	TOTAL CAPACITY (MBH)	34.2			
COOLING	SENSIBLE CAPACITY (MBH)	23.2			
COIL	REFRIGERANT	R410A			
	REMARKS	(3) (11)			
	FILTERS	(4)			
CCESSORIES	HUMIDIFER	-			
	THERMOSTAT	(5)			
	REMARKS	(13)			
REMARKS	 INTEGRATED SOLID STATE CONTROLS WITH BLOWER AND LIMIT CONTROLS. PVC EXHAUST AND INTAKE PIPING PER MANUFACTURER'S RECOMMENDATIONS, CONCENTRIC ROOF VENT. CASED DX COOLING COIL TO MATCH FURNACE AND CONDENSING UNIT. 1" PLEATED DISPOSABLE. 				

ENERGY CODE COMPLIANCE						
CODE		2018 IECC				
ComCHECK		YES	(1)			
COMMISSION	JING	NO	(2)			
TAB REPORT		YES	(3) (4)			
CAN BE FOU 2. COMMISSION WITHIN THE EXCEPTIONS 3. REQUIRED D PROVIDED T REPRESENT RECEIPT OF		IS REQUIRED. ComCHECK COMPLIANCE REPUND IN THE PROJECT MANUAL. NING IS NOT REQUIRED BECAUSE EQUIPMEN SCOPE OF WORK MEETS THE CAPACITY SIN THE CODE. DOCUMENTS (REFER TO CODE) SHALL BE TO THE BUILDING OWNER OR OWNER TATIVE WITHIN 90 DAYS OF THE DATE OF THE CERTIFICATE OF OCCUPANCY.				

HEAT/COOL/AUTO, FAN ON/OFF/AUTO.

CONCENTRIC ROOF VENT KIT

EXCHANGER WARRANTY.

SEE PLANS FOR OA CFM.

LOW AMBIENT CONTROL (DOWN TO 0°F)

THE 80°F / 67°F COIL ENTERING TEMPERATURE.

CONSTANT TORQUE EC BLOWER MOTOR.

FREEZESTAT

HIGH EFFICIENCY UPFLOW GAS FURNACE WITH DX COOLING COIL.

PROVIDE WITH THE FOLLOWING FIELD INSTALLED ACCESSORIES:

PROVIDE ALUMINIZED HEAT EXCHANGER WITH 10 YEAR HEAT

COOLING CAPACITY BASED ON 105°F AMBIENT AIR TEMPERATURE AND

PROVIDE CONDENSATE NEUTRALIZING KIT FOR FURNACE CONDENSAT

MECHANICAL SPECIFICATIONS

SECTION 230100 - GENERAL REQUIREMENTS FOR MECHANICAL

A. WARRANTIES - All materials, workmanship and equipment shall be warranted against defects or against injury from proper and usual wear for a period of one year after the date of substantial completion. Any item that becomes defective within the warranty period shall be repaired or replaced, at no additional cost to the Owner. Warranty shall include repair of faulty workmanship.

B. DEFINITIONS ABBREVIATIONS - The following shall apply throughout the contract documents:

Furnish Supply and deliver to site ready for installation Indicated Noted, scheduled or specified

Provide Furnish, install and connect complete and ready for final use
ADA Americans with Disabilities Act
ANSI American National Standards Institute

ANSI American National Standards Institute
ASME American Society of Mechanical Engineers
ASHRAE American Society of Heating, Refrigeration and Air Conditioning Engineers
NEC National Electric Code (NFPA 70)

NFPA National Fire Protection Association
SMACNA Sheet Metal and Air Conditioning Contractors National Association
UL Underwriters Laboratories Inc.

National Electrical Manufacturers Association

C. CODES AND STANDARDS - All work shall be performed by competent craftsmen skilled in the trade involved and shall be done in a manner consistent with normal industry standards. All work shall conform to the currently adopted edition of the National Electric Code (NEC), Local Building Code, Local Plumbing Code, Local Mechanical Code, Local Fire Code, and all other applicable state and local codes or standards. Where there is a conflict between the code and the contract documents, the code shall have precedence only then it is more

D. PERMITS - Contractor shall become familiar and comply with all requirements regarding permits, fees, licenses, etc. All permits, licenses, inspections and arrangements required for the work shall be obtained by Contractor's effort and expense. All utilities shall be installed in accordance with the local rules and regulations and all charges shall be paid by the Contractor.

E. SUBMITTALS - Shop drawings shall be submitted to Architect/Engineer for all items of mechanical equipment including the following:

Diffusers, Registers, Grilles Sheet Metal Accessories HVAC equipment

stringent than the contract documents.

NEMA

1. Shop drawings include fabrication and installation drawings, diagrams, schedules and other data specifically prepared for the project. Include dimensions and notations showing compliance with specified standards. Unless otherwise noted, submit a minimum of six (6) copies of shop drawings for review. Electronic copies (in pdf format) by e-mail are acceptable in lieu of hard copies.

2. Architect/Engineer will review or take appropriate action for submittals. Review is only to determine general conformance with design shown in contract documents. Review of submittals shall not relieve contractor of responsibility for deviation from requirements of the contract documents or from errors or omissions within submittals.

F. MATERIALS - All materials and equipment used in the construction of the project shall be new unused and undamaged unless otherwise specified. Materials and equipment shall be of latest design standards of manufacturer specified. Verify installation details and requirements for materials and equipment furnished by others and installed under this contract.

G. DEMONSTRATION AND TRAINING - Instruct Owner's personnel to adjust, operate, and maintain mechanical systems. Schedule training with Owner with at least seven days' advance notice.

H. STARTING AND ADJUSTING - Start and test all equipment and operating components to confirm proper operation. Test and adjust all systems to achieve designed capacity and performance. All equipment and systems discrepancies shall be corrected prior to final acceptance.

SECTION 230500 - BASIC MECHANICAL MATERIALS AND METHODS

A. PIPING INSTALLATION: Install piping at required slope. Install components with pressure rating equal to or greater than system operating pressure. Install piping in concealed locations, except in equipment rooms and service areas. Install piping free of sags and bends. Install piping at right angles or parallel to building walls. Install piping tight to slabs, beams, joists, columns, walls, and other building elements. Locate groups of pipes parallel to each other, spaced to permit valve servicing. Install fittings for changes in direction and branch connections. Install pipe escutcheons for exposed pipe penetrations walls and ceilings. Install sleeves for pipes passing through concrete and masonry walls, and concrete floor and roof slabs. Provide dielectric fitting where two different types of pipe materials are joined. Comply with MSS-69 for pipe hanger selection and application.

B. EQUIPMENT INSTALLATION: Install equipment per manufacturer's recommendations Install equipment as high as possible. Install equipment level and plumb, parallel and perpendicular to building. Install mechanical equipment to facilitate service, maintenance, and repair or replacement of components. Connect equipment for ease of disconnecting, with minimum interference to other installations. Install equipment giving right of way to piping installed at required slope.

C. LABELING AND IDENTIFYING

Piping: Provide pipe markers on each system where pipe is exposed to view and above removable ceilings. Include pipe description of system and arrows showing normal direction of flow.

Equipment: Install engraved plastic-laminate sign or equipment marker on or near each major item of mechanical

D. CUTTING AND PATCHING: Cut, channel, chase, and drill floors, walls, partitions, ceilings, and other surfaces persecut for mechanical installations. Perform cutting by skilled mechanics of trades involved. Pen

D. CUTTING AND PATCHING: Cut, channel, chase, and drill floors, walls, partitions, ceilings, and other surfaces necessary for mechanical installations. Perform cutting by skilled mechanics of trades involved. Repair cut surfaces to match adjacent surfaces.

SECTION 230593 - TESTING, ADJUSTING, AND BALANCING

A. Examine air-handling equipment to ensure clean filters have been installed, bearings are greased, belts are aligned and tight, and equipment with functioning controls is ready for operation. Check dampers for proper position.

"Procedural Standards for Testing, Adjusting, and Balancing of Environmental Systems" and this Section.

B. Perform testing and balancing procedures on each system according to the procedures contained in NEBB's

C. Adjust fans to deliver total design airflow within the maximum allowable rpm listed by the fan manufacturer. Provide new fan sheaves as required. Measure fan airflow, static pressure, rpm and amp draw.

D. Adjust volume dampers to achieve design airflow within 10% of specified values. Adjust diffusers, registers

and grilles. Adjust minimum and maximum outside airflow.

E. Prepare report listing date, project information, equipment data and measured airflow results. Report shall include drawing indicating locations of air outlets and final measured airflow of each outlet. Submit four copies of

report to engineer for review.

SECTION 230700 - DUCT INSULATION

A. MINERAL-FIBER BLANKET THERMAL INSULATION: Glass fibers bonded with a thermosetting resin. Comply with ASTM C 553, Type II, with all-service jacket manufactured from kraft paper, reinforcing scrim, aluminum foil, and vinyl film. Flame-spread rating of 25 or less, and smoke-developed rating of 50 or less. Apply insulation materials, accessories, and finishes according to the manufacturer's written instructions with the least number of joints practical. Seal joints and seams with vapor-retarder mastic on cold air ducts. Seal penetrations in insulation at hangers, supports, anchors, and other projections with vapor-retarder mastic.

B. EXISTING INSULATION: All existing insulation damaged by this contractor shall be replaced with new insulation as specified within.

C. APPLICATION SCHEDULE

Service: SUPPLY AIR - All
 Thickness/Material: 2-3/16" Mineral-Fiber Blanket
 Minimum Installed R-Value: R6
 Vapor Retarder Required: Yes

Service: RETURN AIR - All
 Thickness/Material: 2-3/16" Mineral-Fiber Blanket
 Minimum Installed R-Value: R6
 Vapor Retarder Required: Yes

Service: OUTSIDE AIR - All
 Thickness/Material: 2-3/16" Mineral-Fiber Blanket
 Minimum Installed R-Value: R6
 Vapor Retarder Required: Yes

 Service: GENERAL EXHAUST AIR - From fan back 36" into building Thickness/Material: 2-3/16" Mineral-fiber Blanket Minimum Installed R-Value: R6 Vapor Retarder Required: Yes

SECTION 230720 - PIPE INSULATION FOR HVAC

A. MINERAL-FIBER INSULATION: Glass fibers bonded with a thermosetting resin. Preformed Pipe Insulation: Comply with ASTM C 547, Type 1, with factory-applied, all-purpose, vapor-retarder jacket. Flame-spread rating of 25 or less, and smoke-developed rating of 50 or less. Apply insulation to pipes buy securing each layer of preformed pipe insulation to pipe with wire, tape, or bands without deforming insulation materials.

B. FLEXIBLE ELASTOMERIC THERMAL INSULATION: Closed-cell, sponge- or expanded-rubber materials. Comply with ASTM C 534, Type I for tubular materials and Type II for sheet materials. Adhesive as recommended by insulation material manufacturer. Ultraviolet-Protective coating as recommended by insulation manufacturer. Flame-spread rating of 25 or less, and smoke-developed rating of 50 or less. Follow manufacturer's written instructions for applying insulation. Seal longitudinal seams and end joints with manufacturer's recommended

C. VAPOR RETARDER: On piping systems operating below ambient space temperature, seal joints and seams with vapor-retarder mastic. Seal penetrations in insulation at hangers, supports, anchors, and other projections

D. INSULATION APPLICATION SCHEDULE

Service: Condensate drain piping (CD)
 Thickness/Material: Mineral Fiber. Apply the following insulation thicknesses:
 a. PVC piping: None
 b. Copper: 1/2"

Service: Refrigerant suction (RS), refrigerant liquid (RL)
 Thickness/Material: (RS) - 1/2" Flexible Elastomeric, (RL) - Uninsulated Vapor Retarder Required: Yes
 Finish: Two coats of manufacturer's coating when exposed to outside

SECTION 231123 - NATURAL GAS PIPING

Vapor Retarder Required: Yes

A. STEEL PIPE: Pipe: ASTM A 53; Type E or S; Grade B; Schedule 40; black. Malleable-Iron. Threaded Fittings ASME B16.3, Class 150, standard pattern, with threaded ends according to ASME B1.20.1. Unions: ASME B16.39, Class 150, malleable iron with brass-to-iron seat, ground joint, and threaded ends according to ASME B1.20.1. Joint Compound and Tape: Suitable for natural gas.

B. Install and test gas piping according to NFPA 54 "National Fuel Gas Code" and Authority having jurisdiction.

<u>SECTION 232113 - HYDRONIC PIPING</u>

A. CONDENSATE DRAIN LINES: ASTM B 88, Type L drawn-temper copper tubing with soldered joints or Schedule 40, PVC pipe with solvent-welded joints. Do not install PVC in return air plenums. Slope piping to allow drainage.

A. REFRIGERANT PIPING

SECTION 232300 - REFRIGERANT PIPING

1. Aboveground, ASTM B 280, Type ACR copper tubing with brazed joints (using AWS A5.8 filler material).

B. REFRIGERANT VALVES

Service Valves:

a) Body: Forged brass with brass cap including key end to remove core.
b) Core: Removable hall-type check valve with stainless-steel spring

b) Core: Removable ball-type check valve with stainless-steel spring.c) Seat: Polytetrafluoroethylene.

d) End Connections: Copper spring.e) Working Pressure Rating: 500 psig.

2. Solenoid Valves: Comply with ARI 760 and UL 429; listed and labeled by an NRTL.

a) Body and Bonnet: Plated steel.b) Solenoid Tube, Plunger, Closing Spring, and Seat Orifice: Stainless steel.

c) Seat: Polytetrafluoroethylene.

d) End Connections: Threaded.e) Electrical: Molded, watertight coil in NEMA 250 enclosure of type required by location with 1/2-inch conduit

adapter, and 24-V ac coil.

f) Working Pressure Rating: 400 psig

f) Working Pressure Rating: 400 psig.g) Maximum Operating Temperature: 240 deg F.

h) Manual operator.C. INSTALLATION:

Refrigerant piping to be installed per ASHRAE 15.

 Sizing, pipe arrangement, and refrigerant specialties shall be determined by the equipment manufacturer based on the final layout / routing worked out in the field. Installation shall follow the recommended requirements of the equipment manufacturer.

Piping shall be free of sags and bends and routed in as direct as possible path between components.
 Pipe shall be insulated per insulation schedule. Use of thermal shields must be used at support points (attaching support/clamps directly to the piping will be unacceptable).

B. TESTING: Purge refrigerant piping systems with dry nitrogen. Prepare and pressure test piping according to ASHRAE 15. Charge system refrigerant.

SECTION 233113 - METAL DUCTS AND ACCESSORIES

A. GENERAL: Drawings indicate general arrangement of ducts, fittings, and accessories. Minor modifications to route, size and shape of duct may be made to meet structural and other interference. Changes which could affect system performance shall be reviewed by Architect/Engineer prior to fabrication or installation of duct. Coordinate layout with suspended ceiling, fire- and smoke-control dampers, lighting layouts, and similar finished work.

B. DUCT FABRICATION: Sizes shown on plans are inside clear dimensions. Ductwork utilizing duct liner shall be increased in size to accommodate the duct liner thickness.

C. MATERIAL: Construct all rectangular and round ducts from galvanized sheet steel: Lock-forming quality; ASTM A 653/A 653M, G90 coating designation; mill-phosphatized finish for surfaces of ducts exposed to view.

D. QUALITY ASSURANCE: Fabricate and install duct per SMACNA's "HVAC Duct Construction Standards--Metal and Flexible" and applicable codes. Comply with requirements for metal thickness, reinforcing types and intervals, tie-rod applications, and joint types and intervals. Comply with NFPA 90A, "Installation of Air Conditioning and Ventilating Systems," unless otherwise indicated.

E. PRESSURE CLASS: Unless otherwise noted construct all ducts to 2.0" WG positive or 2.0" WG negative pressure class.

F. DUCT SEALING: UL classified, non-combustible, flame spread 25 or less, smoke developed rating of 540 or less, resistant to water, pressure rupture rating of 16" WG minimum, suitable for use alone or with tape, application an operational temperature ranges appropriate for usage. Seal all duct per SMACNA class 'C' duct seal requirements.

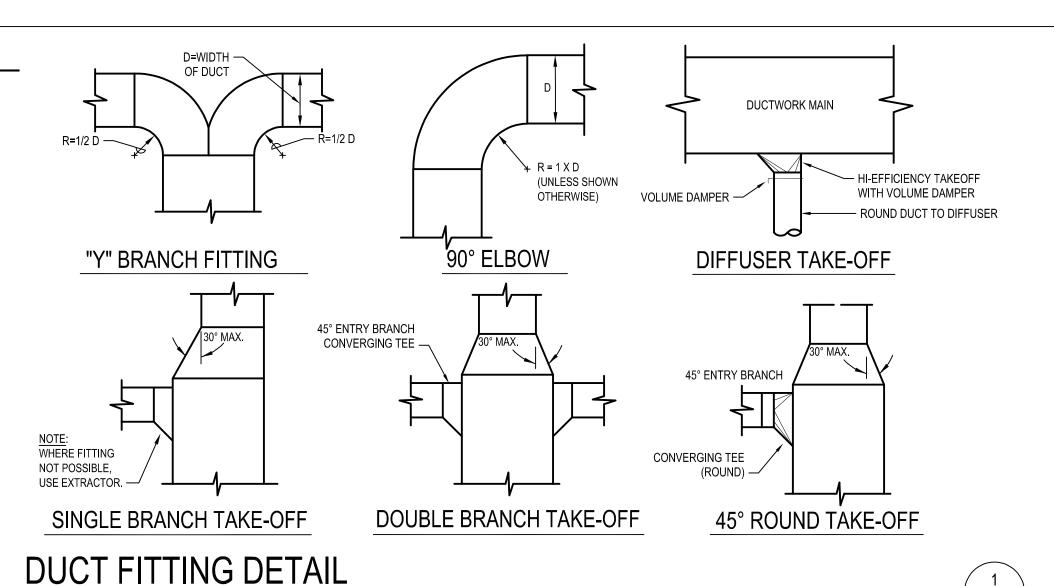
G. TURNING VANES: Fabricate of 1-1/2" wide, curved blades 3/4" on center. Provide turning vanes in all mitered elbows and duct turns.

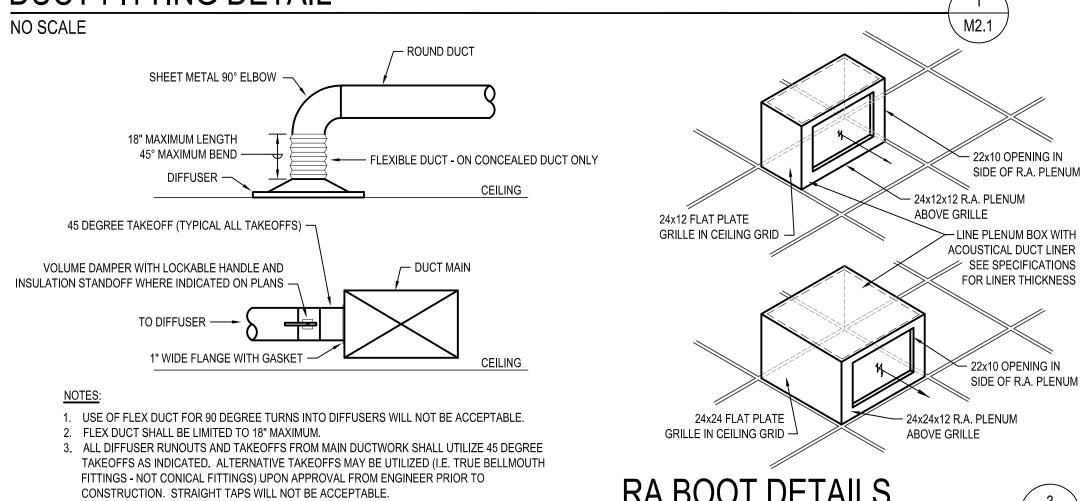
H. DUCT ACCESS DOORS: Install insulated duct access doors with hinges and latches for access to inlet side of coils, equipment, control dampers, fire dampers, and smoke dampers.

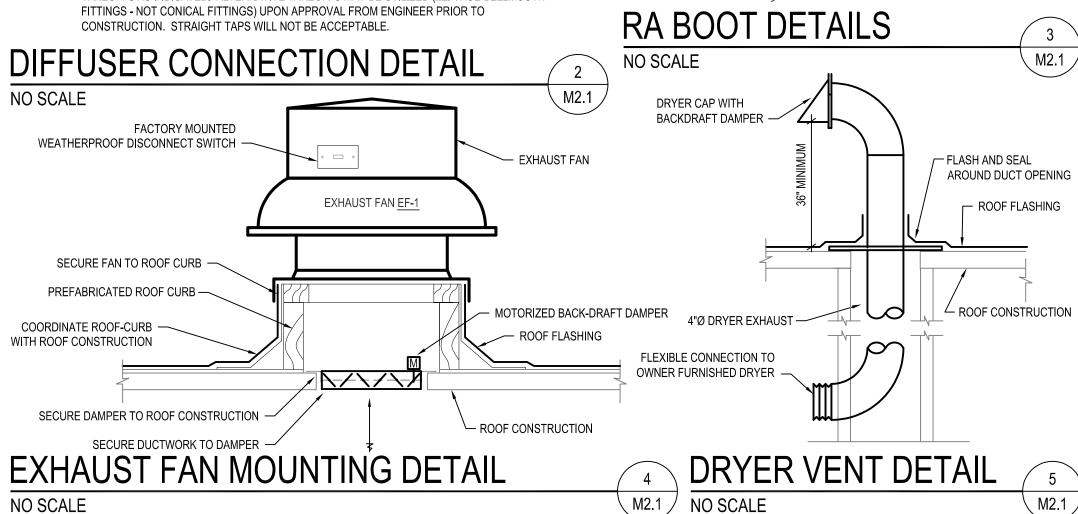
I. VOLUME DAMPERS: Fabricate single blade dampers for duct sizes 9 ½: high x 30" width maximum. Fabricate multi-blade dampers of opposed blade pattern using minimum 16 gauge steel with maximum blade sizes 6" x 48" for larger ducts. Provide end bearings with end seals for pressure class required except in round duct 12" in diameter and smaller. Provide locking indicating quadrant regulators on all volume dampers. Mark ends of damper shanks for open/closed indication. Insulated ducts to have elevated dial indicators. Motorized dampers to have 115 volt operators. Provide manual volume dampers at branch take-offs and as shown. Provide motorized dampers as indicated

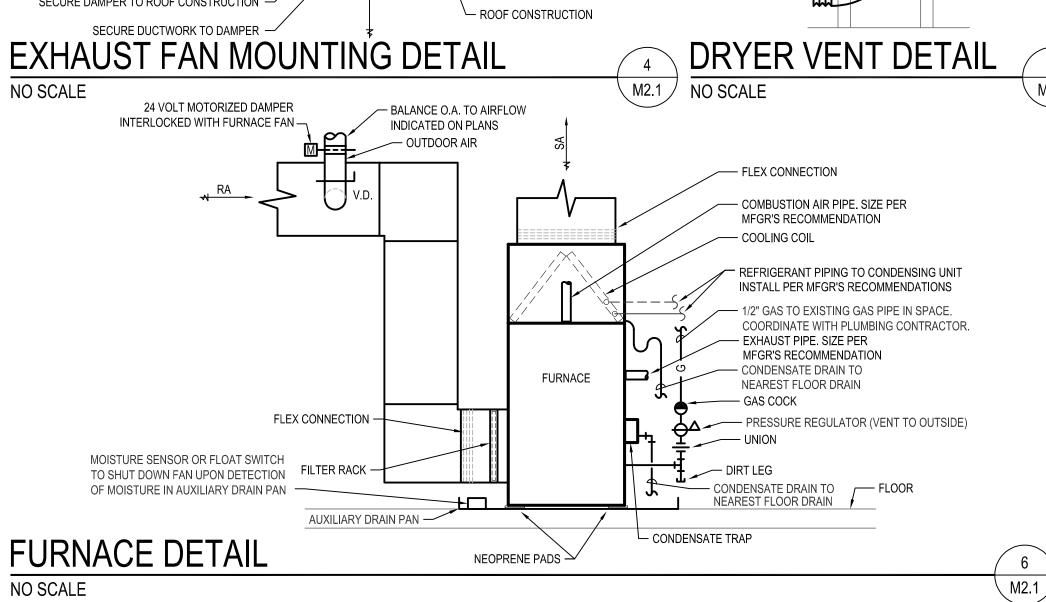
J. FLEXIBLE CONNECTORS: Flame-retarded or noncombustible fabrics, coatings, and adhesives complying with UL 181, Class 1. Neoprene double-coated woven glass fibber fabric in accordance with NFPA 90A, suitable for temperatures and pressures of application, approximately 6" wide, crimped into metal edge strip. Provide flexible connections to motor driven equipment.

K. FLEXIBLE DUCTS: Factory-fabricated, insulated, round duct, with an outer jacket enclosing 1-1/2-inch- thick, glass-fiber insulation around a continuous inner liner, steel-wire helix encapsulated in polyethylene inner liner. Comply with UL 181, Class 1. Final connections to air outlets and terminal units may be made with flexible duct. Install flexible ducts with metal collars or sleeves with draw bands. Length of flexible duct shall not exceed 36" path shall not exceed 45°.











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Nebraska COA Number: CA-0835

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note:

do not scale drawings. verify all dimensions and clearances from architectural, structural, shop and other appropriate drawings or at site. Jay out and coordinate all work prior to installation to

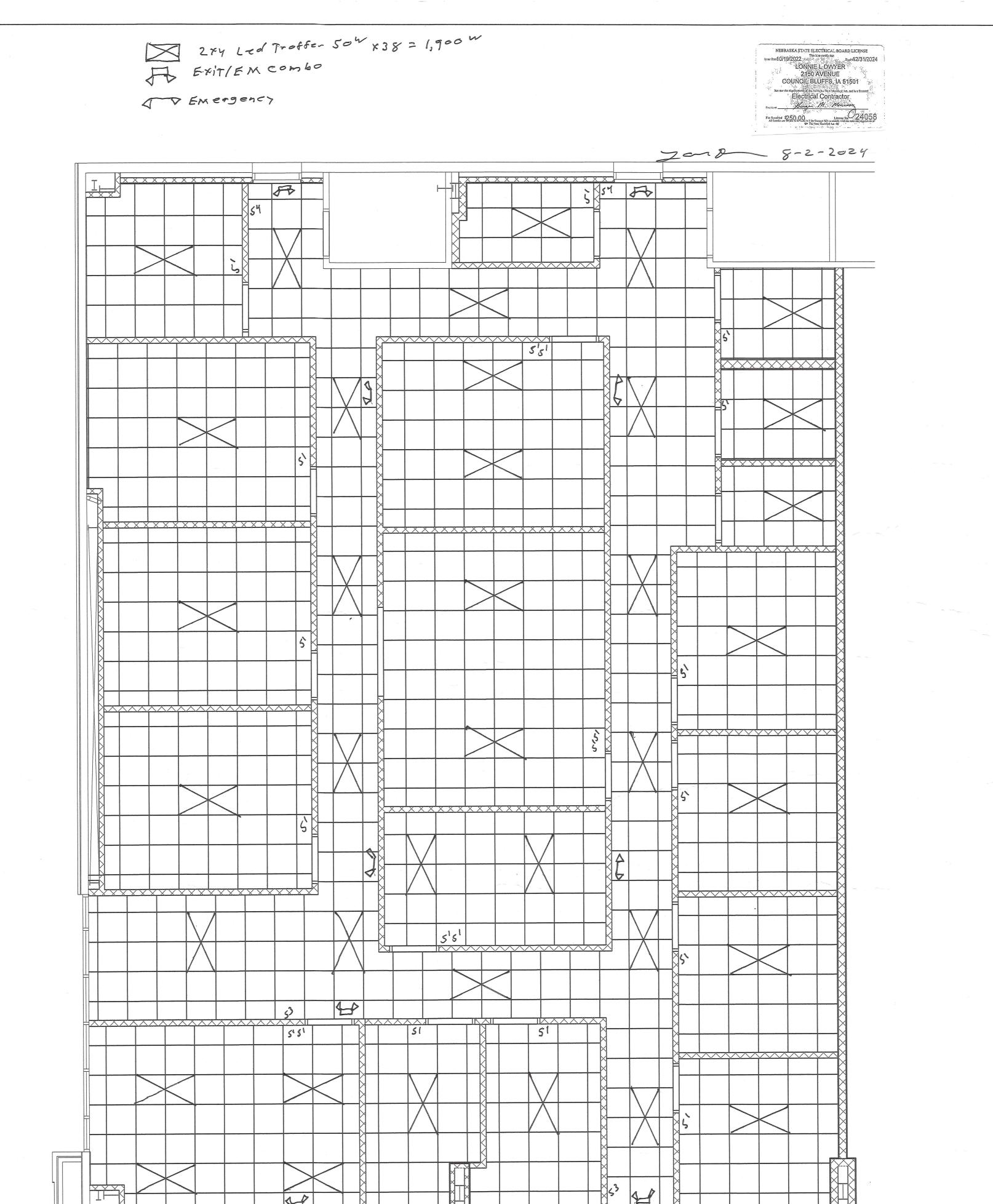
provide clearances required for operation, maintenance, and codes

and verify non-interference with other work. do not fabricate prior

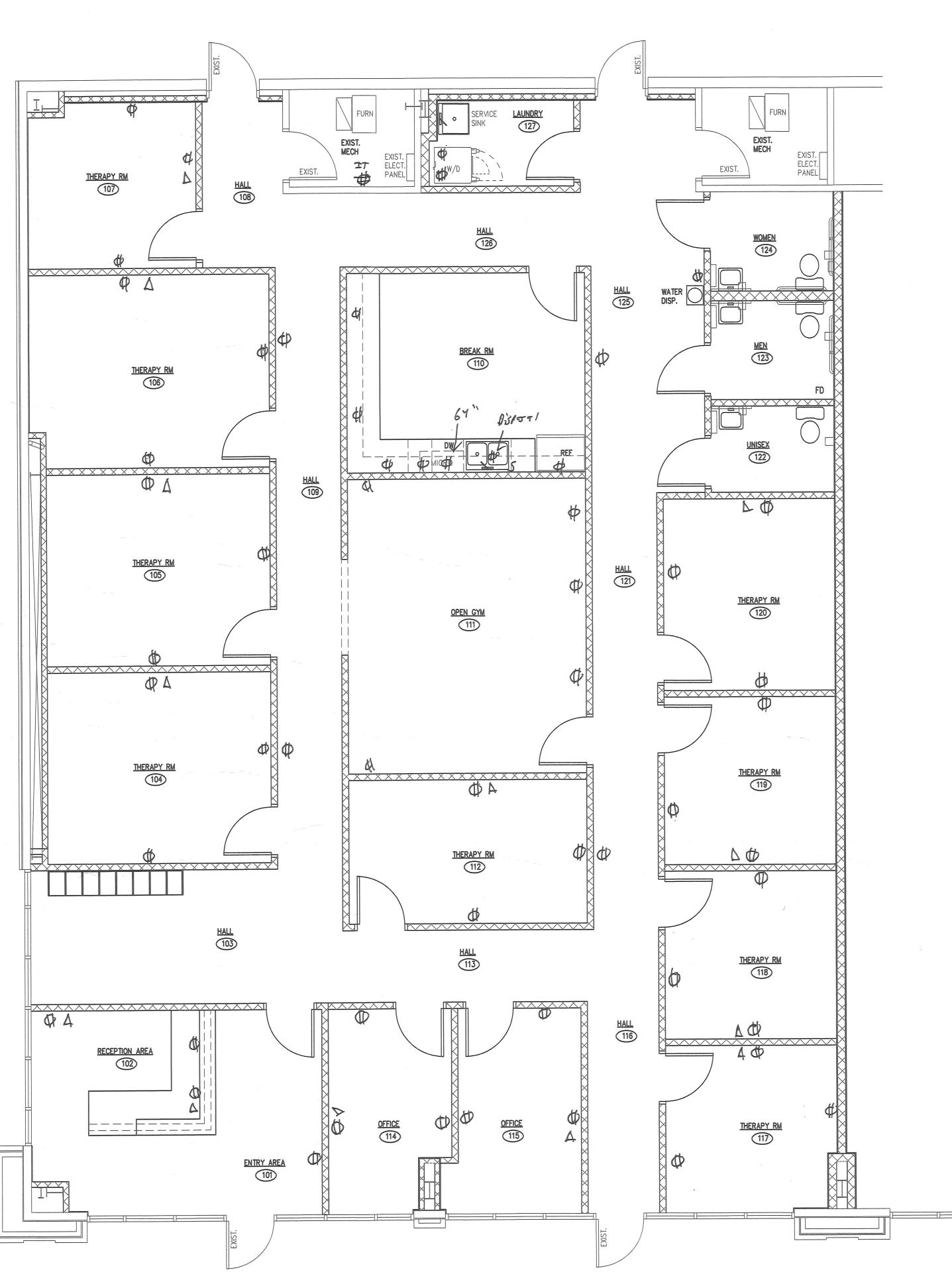
M2.1

AND SCHEDULES

CHRISTOPHER P. REED
E-9156
09-04-2024
STATE OF NEBRIA







POWER PLAN

1/4" = 1'-0"