



ADDENDUM NO. 001

Architects Project No.: 23042

Owner: Leavenwealth


Project Name: Ralston Apartment Renovations

Submitted To: Bidders

Original Issue Date: 08.23.2024

Addendum Issue Date: August 19, 2024

Document Clarification:

This Addendum is issued to inform bidders of clarifications to the plans & specifications. The additions, clarifications, and corrections contained herein shall be made to the Project Manual, Drawings, and Schedules for the above referenced project, and shall be included in the scope of work and proposals to be submitted. References made below to the Project Manual and Drawings shall be used as a general guide only. Bidder shall determine the extent of work affected by Addendum items. These changes are noted with a  on the drawings

DRAWING MODIFICATIONS / CLARIFICATIONS:

QUESTIONS/RESPONSES

1. Is the roof being fully replaced? Please provide a roof spec if so.
 - a. Per keynote 27 on sheet A301, intention is to match and cricket into the existing roof.
2. What is the basis of design for the fence?
 - a. See revised sheet A001 ARCH SITE PLAN in Addendum 1.
3. Any asbestos abatement required?
 - a. None anticipated, stop work and report to architect immediately if discovered.
4. What is the anticipated start date?
 - a. Start and completion date are to be provided by the contractor and included as part of the bid.
5. What are the sizes for the fiberglass windows?
 - a. See revised sheet A202 FLOOR PLANS, WALL TYPES, DOOR AND WINDOW SCHEDULES in Addendum 1
6. What thickness of Corian countertops are you looking for?
 - a. 1/2" Counters
7. Is there a door hardware schedule available?
 - a. See added sheet A801 for hardware sets
8. The material list on sheet A203 shows Vinyl-1 should be located at the bathroom and kitchen floors, but the finish plan shows LVT-1 at the kitchen floors. Also, the material list shows Vinyl-1 as a vinyl tile, but it is a rolled vinyl product. Just want to make sure this is what you are looking for.
 - a. Vinyl tile should just be in Bathrooms. See Addendum 01 for clarification on the color schedule.
9. What type of plumbing pipe are we to use on the project? PVC, cast iron, galvanized etc. Didn't see anything noted on the plans.
 - a. Piping materials are called out in the specifications on sheet M5.1 in sections 221116 and 221316.

GENERAL

1. Sheet - G000 COVER SHEET
 - a. Added sheet A801 door hardware.



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2. Sheet - G001 CODE REVIEW & EGRESS PLAN
 - a. Showing exit signs. Updated occupant load.
 - b. Updated detail 1 to show retail spaces as Assembly space for the retail bays.
 - c. General Cleanup.
 - d. Updated Area plan to include the retail areas.
 - e. Sprinklers updated to NFPA 13 to match MEP drawings.
 - f. Updated code information.
 - g. reversed swing direction for door 102.
 - h. Added door clearance graphics to door for clarification on code plan."

ARCHITECTURAL

1. Sheet - A001 ARCH SITE PLAN
 - a. Added basis of design for exterior fence and gate in response to RFI-01.
2. Sheet - A202 FLOOR PLANS, WALL TYPES, DOOR AND WINDOW SCHEDULES
 - a. Added basis of design and size information to windows in response to RFI-01.
 - b. Added resilient channels to walltype 1 and removed a layer of GWB.
 - c. Showing hardware sets.
 - d. Specified paint color for doors and frames where indicated.
 - e. Staggered studs at walltype A1.
3. Sheet - A203 UNIT PLANS
 - a. Added dimensions to ceiling lights
 - b. Clarified dimensions on detail 3, general drawing cleanup.
 - c. Graphically showing TR-1 on the finish plan.
 - d. Updated solid surface material information.
 - e. Vinyl updated description to match product data and clarified install locations. Added transition strip TR-1.
4. Sheet - A204 UNIT PLANS
 - a. Added clarification dimensions to reflected ceiling plan.
 - b. Clarified dimensions on detail 3, general drawing cleanup.
 - c. Graphically showing TR-1 on the finish plan.
 - d. Updated solid surface material information.
 - e. Vinyl updated description to match product data and clarified install locations. Added transition strip TR-1.
5. Sheet - A301 PLANS AND EXTERIOR ELEVATIONS
 - a. Identified colors in finish legend for exterior finishes.
6. Sheet - A501 CASEWORK DETAILS
 - a. Added counter edge dimension to SSM material
7. Sheet - A801 DOOR HARDWARE SCHEDULE
 - a. Added sheet A801 door hardware.
 - a. Updated Panels A1, B1 and HS.



3624 Farnam Street
Omaha, Nebraska 68131

P | 402.342.5575
www.slatearchitecture.com

ADDENDUM NO. 001

ATTACHMENTS: 23042_Ralston-Apt-Reno_Add 01_09.19.2024.pdf

END OF ADDENDUM NO. 1

ISSUED BY:

Slate Architecture

Firm

Jeremy Carlson

Name

BUILDING CODE ANALYSIS

GENERAL PROJECT INFORMATION:

PROJECT: RALSTON APARTMENT RENOVATIONS
 LOCATION: 5617 S 77TH ST
 RALSTON, NE 68127

NEAREST INTERSECTION: 77TH AND PARK DRIVE
 COUNTY: DOUGLAS
 ARCH. PROJECT NUMBER: 23042

ARCHITECT: SLATE ARCHITECTURE
 3624 FARNAM STREET
 OMAHA, NEBRASKA 68131
 TEL: 402.342.5575
 WWW.SLATEARCHITECTURE.COM

CONSTRUCTION CODES:

BUILDING: 2018 INTERNATIONAL BUILDING CODE (IBC)
 EXISTING BUILDING CODE: 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
 ELECTRICAL: 2017 NATIONAL ELECTRICAL CODE (NEC)
 ENERGY: 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 FIRE: 2012 LIFE SAFETY CODE (NFPA 101)
 2012 INTERNATIONAL FIRE CODE (IFC)
 2009 ICC/ANSI A117.1 & 2018 IBC
 ACCESSIBILITY: 2018 INTERNATIONAL MECHANICAL CODE (IMC)
 MECHANICAL: 2021 RALSTON PLUMBING CODE
 PLUMBING: 2021 RALSTON PLUMBING CODE
 ZONING: CHAPTER 11 RALSTON MUNICIPAL CODE

IEBC 2018

CHAPTER 3 - PROVISIONS FOR ALL COMPLIANCE METHODS

IEBC 301.3.2 WORK AREA COMPLIANCE METHOD

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION:

OCCUPANCY CLASSIFICATION: RESIDENTIAL (IBC SECTION 302)
 GROUP R-2 BUSINESS (IBC SECTION 310.3)
 GROUP B (AS PERMITTED BY IBC SECTION 303.1.1)

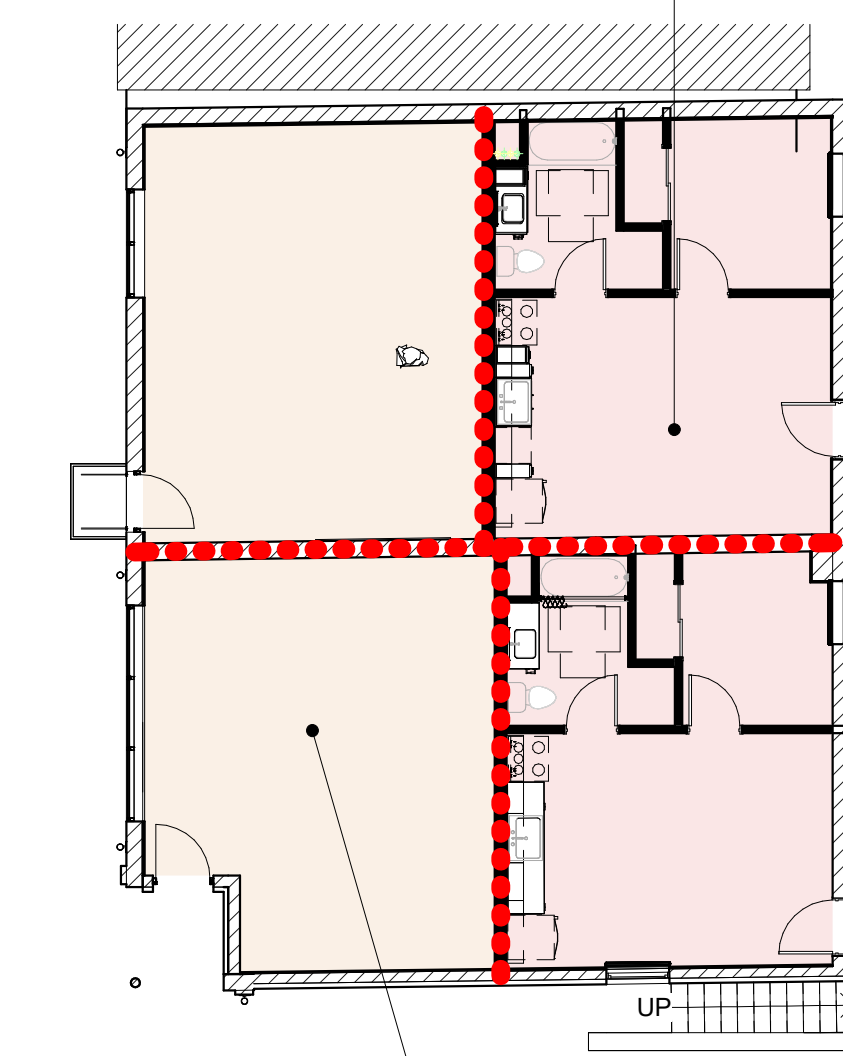
PLAN KEY

1-HR SEPARATION

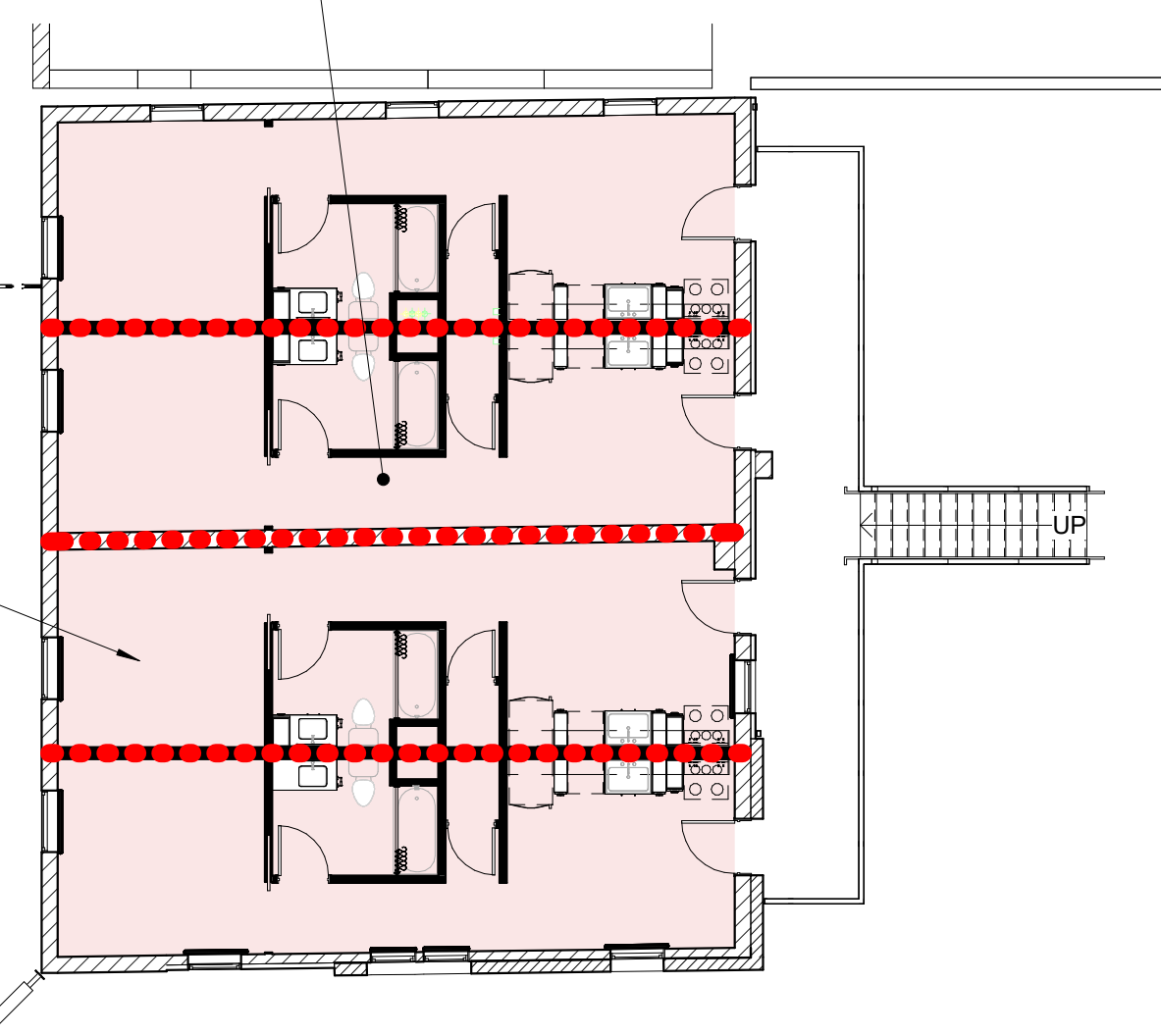
IBC Use and Classification

BUSINESS GROUP B
 RESIDENTIAL GROUP R-2

RESIDENTIAL GROUP R-2 (FIRST FLOOR)
 889 SF



RESIDENTIAL GROUP R-2 (SECOND FLOOR)
 1819 SF



BUSINESS GROUP B (FIRST FLOOR)
 895 SF

3 FIRST AND SECOND FLOOR CLASSIFICATION AND SEPARATION PLANS

G001 3/32" = 1'-0"

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS:

IBC TABLE 503 - ALLOWABLE HEIGHTS AND BUILDING AREAS

GROUP	TYPE VB
B	3 STORY / 27,000 SF
R-2	3 STORY / 21,000 SF

504.3 HEIGHT IN FEET: TABLE 504.3 ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE
 504.4 NUMBER OF STORIES: TABLE 504.4 ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE

IBC SECTION 506 AREA MODIFICATIONS
 NOT APPLICABLE FOR EXISTING CONSTRUCTION

IBC SECTION 508 MIXED USE AND OCCUPANCY
 WHERE A BUILDING CONTAINS MORE THAN ONE OCCUPANCY GROUP, THE BUILDING OR PORTION THEREOF SHALL COMPLY WITH SECTIONS 508.3.1, 508.3.3 OR A COMBINATION OF THISE SECTIONS.

IBC TABLE 508.3.3 - REQUIRED SEPARATION OF OCCUPANCIES (HOURS)
 OCCUPANCY B, R-2 1HR SEPARATION REQUIREMENT

GENERAL CODE INFORMATION:

OCCUPANCY TYPE: R-2, RESIDENTIAL
 CONSTRUCTION TYPE: V-B
 IBC 2018 SECTION 604: LEVEL-3 ALTERATION
 NFPA 101 CHAPTER 43: MODIFICATION

ALLOWABLE BUILDING AREA: 21,000
 ACTUAL BUILDING AREA: 3,914

ALLOWABLE BUILDING STORIES: 3
 ACTUAL BUILDING STORIES: 2

BUILDING SPRINKLED: YES - NFPA13

CHAPTER 6 - TYPES OF CONSTRUCTION:

TYPE IIB (IBC SECTION 602.5)

IBC TABLE 601 - FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS

BUILDING ELEMENT	TYPE VB
STRUCTURAL FRAME	0
BEARING WALLS	0
EXTERIOR	0
INTERIOR	0
NONBEARING WALLS & PARTITIONS	SEE TABLE 602
EXTERIOR	0
NONBEARING WALLS & PARTITIONS	0
INTERIOR	0
FLOOR CONSTRUCTION	0
ROOF CONSTRUCTION	0

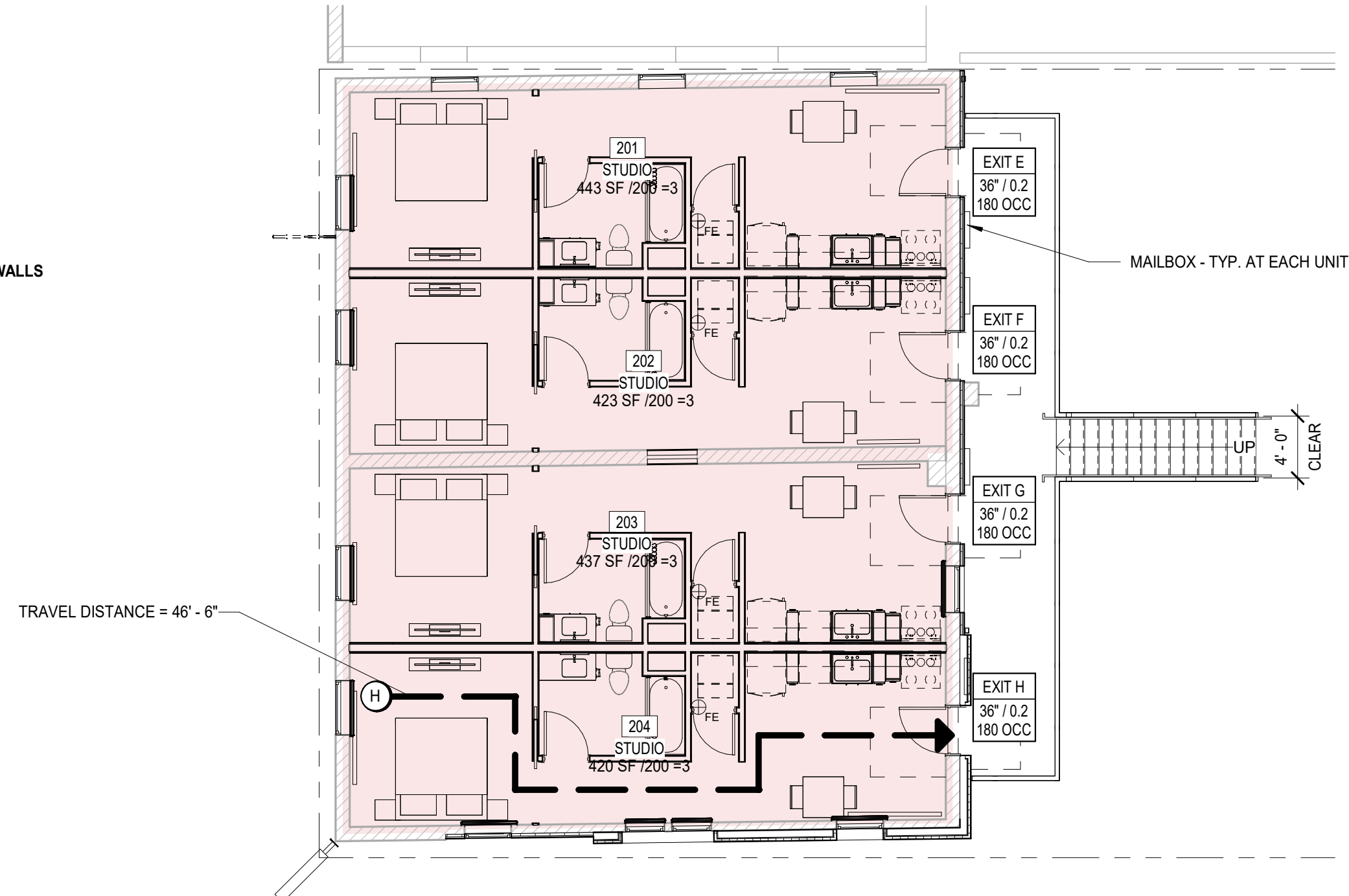
IBC TABLE 602 - FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE

X < 5	1
5 < X < 10	1
10 < X < 30	0
X > 30	0

CHAPTER 9 - FIRE PROTECTION SYSTEMS:
 NFPA 13

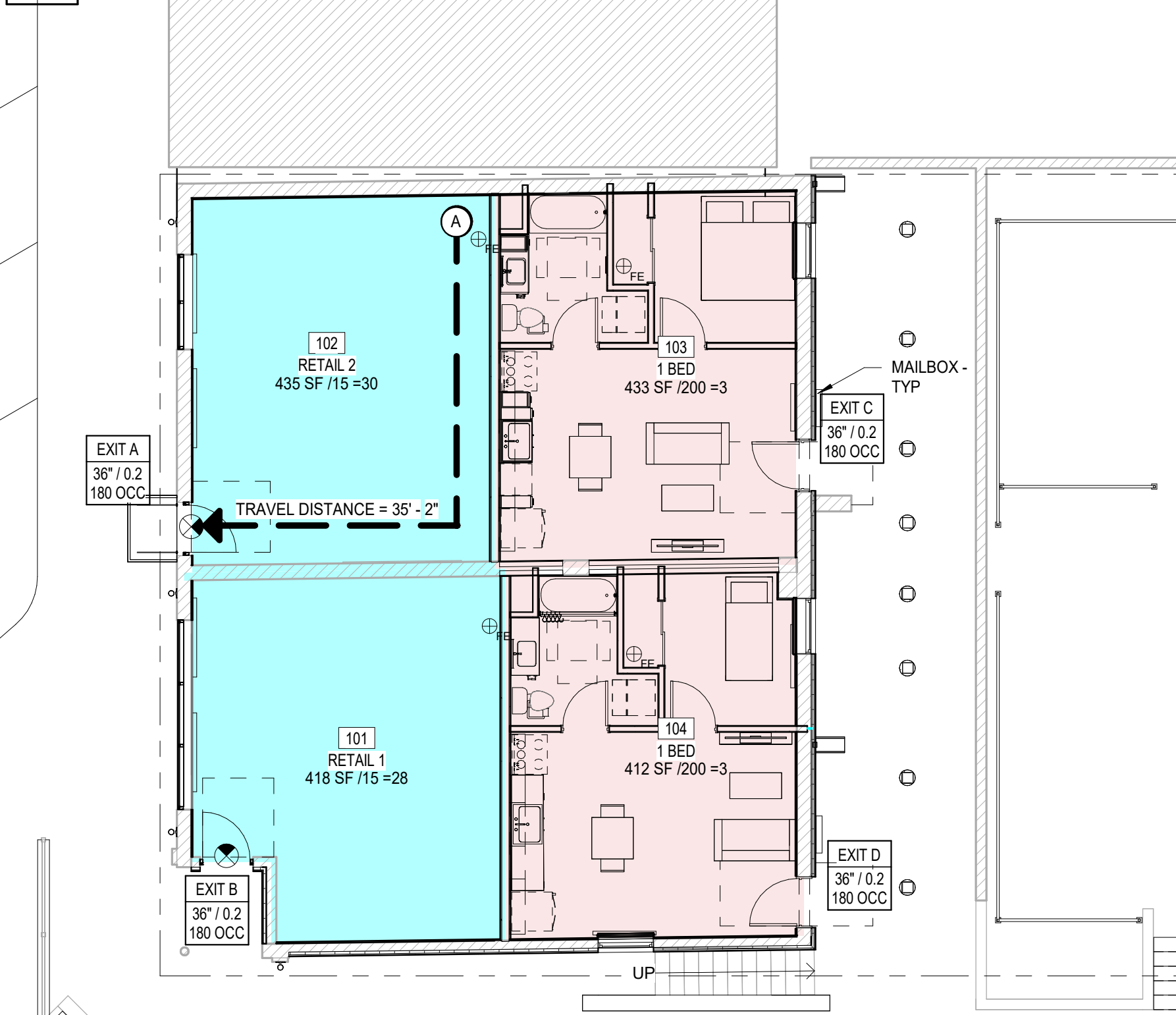
CHAPTER 10 - MEANS OF EGRESS:

IBC SECTION 1004 - OCCUPANT LOAD. IN DETERMINING MEANS OF EGRESS REQUIREMENTS, THE NUMBER OF OCCUPANTS FOR WHOM MEANS OF EGRESS FACILITIES SHALL BE PROVIDED SHALL BE DETERMINED IN ACCORDANCE TO THIS SECTION.
 IBC TABLE 1005 - MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT SEE PLAN



2 SECOND FLOOR OCCUPANCY PLAN

G001 1/8" = 1'-0"



1 FIRST FLOOR OCCUPANCY AND EXITING PLAN

G001 1/8" = 1'-0"

TOTAL OCCUPANT LOAD: 76 PEOPLE

IBC SECTION 1006.3.3 SINGLE EXITS
 IBC TABLE 1006.3.3(1) STORIES WITH ONE EXIT OR ACCESS TO ONE EXIT FOR R-2 OCCUPANCIES
 FIRST AND SECOND STORY

IBC SECTION 1014.3 - COMMON PATH OF TRAVEL. THE COMMON PATH OF TRAVEL DOES NOT EXCEED 75 FEET

IBC SECTION 1017 - EXIT ACCESS TRAVEL DISTANCE. THE MAXIMUM TRAVEL DISTANCE DOES NOT EXCEED 250 FEET

IBC SECTION 1020.4 - DEAD ENDS. THE MAXIMUM DEAD END DISTANCE DOES NOT EXCEED 20 FEET.

IBC SECTION 1006 - NUMBER OF EXITS AND EXIT ACCESS DOORWAYS. ONE (1) EXIT IS REQUIRED AND PROVIDED FOR EACH SPACE.

IBC 2018 OCCUPANCY CLASSIFICATION AND USE (Chapter 3)

FLOOR	OCCUPANCY CLASSIFICATION	AREA (SF)
FIRST FLOOR	BUSINESS GROUP B	895 SF
FIRST FLOOR	RESIDENTIAL GROUP R-2	889 SF
SECOND FLOOR	RESIDENTIAL GROUP R-2	1819 SF
TOTAL		3692 SF

KITCHEN	807 SF
SEATING	2926 SF
TOTAL AREA	3733 SF

PLAN KEY

PATH OF TRAVEL ID
 PATH OF TRAVEL
 EXIT SIGN
 FIRE EXTINGUISHER

Max Floor Area (Table 1004.1.2)
 Assembly Unconcentrated (tables and chairs)
 Residential

PATH OF TRAVEL SCHEDULE

(X) TAG INDICATING PATH OF TRAVEL ID

FIRST FLOOR

PATH OF EGRESS A
 35' - 2"
 35' - 2"

SECOND FLOOR

PATH OF EGRESS H
 46' - 6"
 46' - 6"

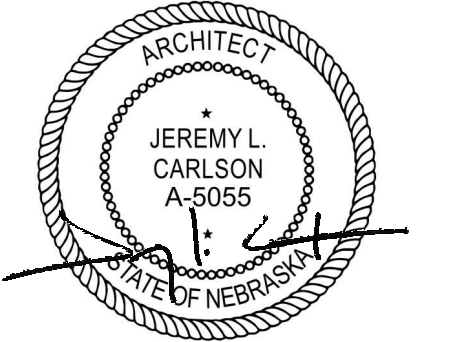
OCCUPANCY ROOM SCHEDULE

ROOM NUMBER	AREA/ROOM NAME	AREA	OCC. FACTOR	CALC TYPE	OCCUPANT LOAD
FIRST FLOOR					
Assembly Unconcentrated (tables and chairs)					
101	RETAIL 1	418 SF	15 SF	net	28
102	RETAIL 2	435 SF	15 SF	net	30
					58
Residential					
103	1 BED	433 SF	200 SF	gross	3
104	1 BED	412 SF	200 SF	gross	3
					6
					64
SECOND FLOOR					
Residential					
201	STUDIO	443 SF	200 SF	gross	3
202	STUDIO	423 SF	200 SF	gross	3
203	STUDIO	437 SF	200 SF	gross	3
204	STUDIO	420 SF	200 SF	gross	3
					12
					12
					12
					12
TOTAL OCCUPANT LOAD					76



3624 Farnam Street
 Omaha, Nebraska 68131
 Tel | 402.342.5575

www.slatearchitecture.com



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RALSTON APARTMENT RENOVATIONS
 5617 S 77TH ST
 RALSTON, NE 68127

Revisions

1 | 08/19/2024 | Addendum 01

Project No. | 23042

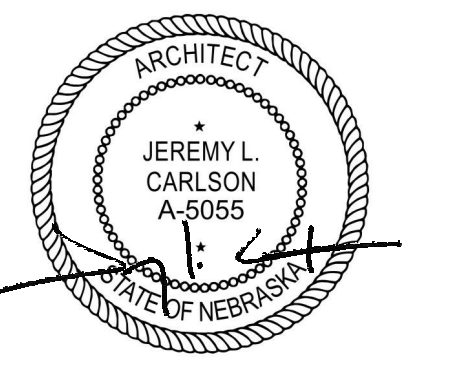
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CODE REVIEW & EGRESS PLAN

Sheet No. | G001



3624 Farnam Street
Omaha, Nebraska 68131
Tel | 402.342.5575
www.slatearchitecture.com



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RALSTON APARTMENT RENOVATIONS
5617 S 77TH ST
RALSTON, NE 68127

GENERAL NOTES - FLOOR PLAN	
1	THE INTENT OF THE DRAWINGS IS TO PROVIDE INFORMATION FOR CONSTRUCTION. IT IS IMPORTANT FOR THE CONTRACTOR TO VERIFY FIELD DIMENSIONS AND CONDITIONS BEFORE EXECUTION OF THE WORK. CONTACT THE ARCHITECT SHOULD DISCREPANCIES EXIST.
2	CONTRACTOR AND SUBCONTRACTORS SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO COMPLETE ALL WORK SHOWN ON PLANS, CALLED FOR IN SPECIFICATION, OR REASONABLY IMPLIED FOR A COMPLETE INSTALLATION EVEN THOUGH NEITHER SHOWN ON PLANS OR CALLED OUT IN SPECIFICATIONS.
3	REVIEW SHEET S100 AND PERFORM BUILDING REHABILITATION RECOMMENDATIONS PRIOR TO COMMENCING WORK. WHERE RECOMMENDATIONS AND SCOPE OF WORK OVERLAP, DEFER TO DRAWINGS.
4	WHERE FLOOR IS TRANSITIONING TO A DIFFERENT MATERIAL, INSTALL A TRANSITION STRIP.
5	DIMENSIONS ARE FROM FACE OF STUD UNLESS OTHERWISE NOTED.
6	DEBRIS SHALL BE PROMPTLY REMOVED FROM THE BUILDING AND THE SITE AND DISPOSED OF IN A LEGAL MANNER. SURFACES IN THE CONSTRUCTION AREA SHALL BE MAINTAINED IN A BROOM CLEAN CONDITION AT THE END OF EACH WORK DAY.
7	THE CONTRACTOR SHALL PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW AND RENOVATION CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTED, INCLUDING BUT NOT LIMITED TO, ALL OTHER WORK THAT MIGHT REASONABLY BE REQUIRED TO BE REMOVED IN PREPARATION FOR SPECIFIED FINISHES. DEMOLITION SHALL BE PERFORMED IN A MANNER THAT WILL NOT DAMAGE ANY ITEMS OR SURFACES INDICATED TO REMAIN. ITEMS OR SURFACES SHALL BE PATCHED IF NECESSARY TO PROVIDE A SUITABLE SUB-STRATA FOR NEW FINISHES.
8	FIRE EXTINGUISHERS FINAL LOCATIONS SHALL BE VERIFIED WITH LOCAL FIRE AUTHORITY.
9	UNIT LAYOUTS SHOWN HALF ONE FOR REFERENCE. REFER TO UNIT PLANS FOR LAYOUT.
10	NEW EXTERIOR WINDOWS AND DOORS TO BE LOCATED IN EXISTING OPENINGS U.N.O. NOTIFY ARCHITECT IMMEDIATELY IN THE CASE OF A DISCREPANCY.
11	NEW WINDOWS TO BE INSTALLED SUCH THAT BOTTOM OF THE CLEAR OPENING IS NOT GREATER THAN 4" AFF. U.N.O.
12	FURNITURE AND EQUIPMENT PROVIDED N.I.C. SHOWN DASHED FOR REFERENCE.
13	ALL NEW WALLS ARE TO EXTEND TO DECK, UNLESS OTHERWISE NOTED.

KEYNOTE LEGEND	
NO.	DESCRIPTION
25	ADJACENT EXG. BUILDING
S-01	EXISTING SIDEWALK
S-02	EXISTING STAIRS AND RAILING TO REMAIN
S-03	EXISTING PARKING
S-04	PLANTING BED TO REMAIN
S-05	EXISTING SITE LIGHTING TO REMAIN
S-06	PROPERTY LINE
S-07	EXISTING BUILDING FOOTPRINT AND SITE FOR RENOVATION
S-08	48" FENCE - 0240R OR APPROVED EQUAL. CONTACT TROY TRUMM 402.571.0511.
S-09	SELF-LATCHING, SPRING-HINGED RETRACTABLE GATE
S-10	PLANTING BED - BY OTHERS
S-11	PICNIC TABLE - BY OTHERS
S-12	NEW RETAINING WALL TO MATCH OPPOSITE
S-13	NEW CIP STAIR
S-14	4" CIP SLAB
S-15	EXISTING RETAINING WALL TO REMAIN

Revisions	
1	08/19/2024 Addendum 01

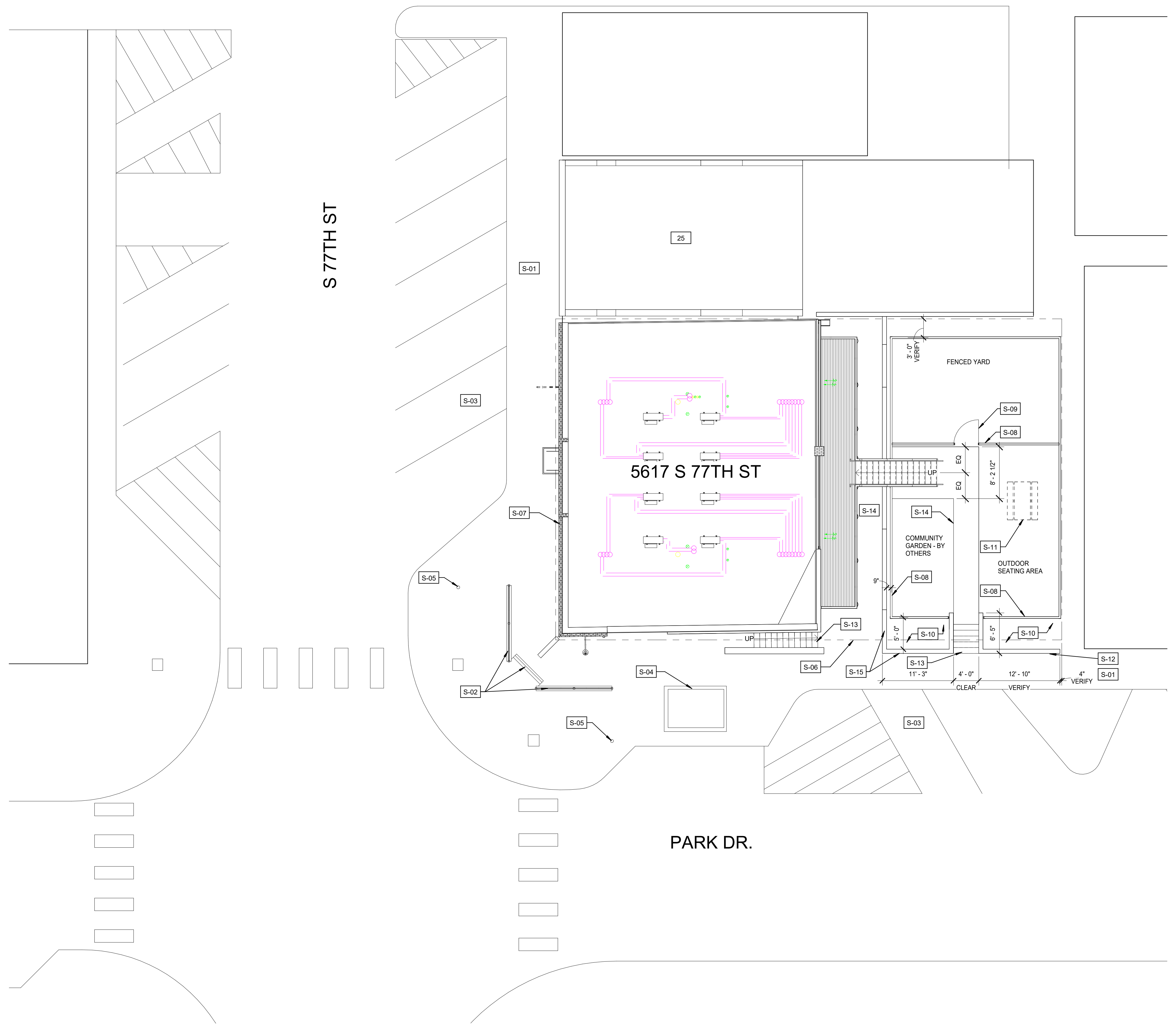
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ARCH SITE PLAN

Sheet No. | **A001**

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1 ARCHITECTURAL SITE PLAN
A001 1/8" = 1'-0"



WINDOW SCHEDULE				
MARK	MATERIAL	FINISH	GLAZING TYPE	COMMENTS
A	FIBERGLASS	SOLID-BLACK	IG-1	PELLA IMPERVIA - PICTURE WINDOW, BLACK, MATCH EXG. WDW SIZE
I	FIBERGLASS	SOLID-BLACK	IG-1	PELLA IMPERVIA - DOUBLE-HUNG, BLACK - MATCH EXG. OPENING SIZE
J	FIBERGLASS	SOLID-BLACK	IG-1	PELLA IMPERVIA - DOUBLE-HUNG, BLACK - MATCH EXG. OPENING SIZE
K	FIBERGLASS	SOLID-BLACK	IG-1	PELLA IMPERVIA - DOUBLE-HUNG, BLACK - MATCH EXG. OPENING SIZE

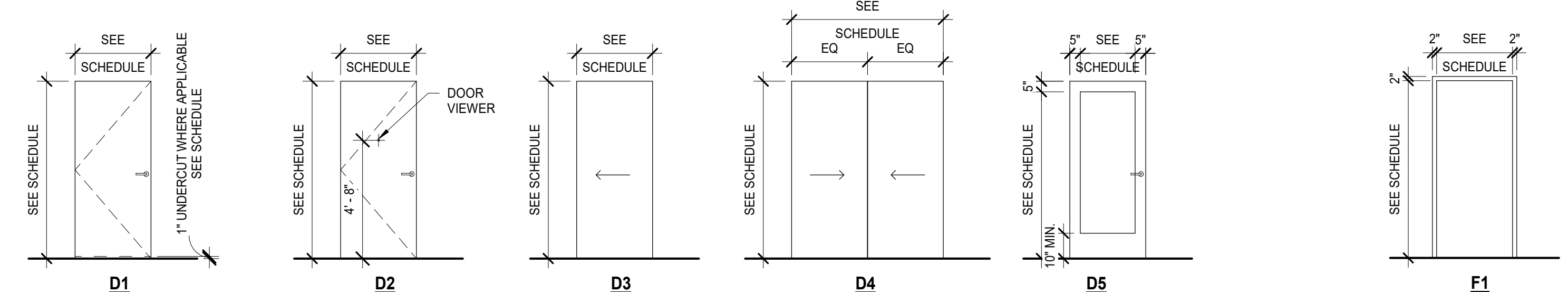
STOREFRONT SCHEDULE						
MARK	MATERIAL	FINISH	HEAD	JAMB	SILL	COMMENTS
SF1	ALUM	PERMAFLUOR BLACK				IG-1 KAWNEER TRIFAB 451 AS BASIS OF DESIGN
SF2	ALUM	PERMAFLUOR BLACK				IG-1 KAWNEER TRIFAB 451 AS BASIS OF DESIGN
SF3	ALUM	PERMAFLUOR BLACK				IG-1 KAWNEER TRIFAB 451 AS BASIS OF DESIGN
SF4	ALUM	PERMAFLUOR BLACK				IG-1 KAWNEER TRIFAB 451 AS BASIS OF DESIGN

DOOR SCHEDULE															
DOOR NO.	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	FRAME TYPE	MATERIAL	FINISH	FIRE RATING	HARDWARE	JAMB	HEAD	SILL	COMMENTS
101	D5	3'-0"	7'-0"	0'-1 3/4"	ALUM	BLACK	SF4	ALUM	BLACK		3.0				
102	D5	3'-0"	7'-0"	0'-1 3/4"	ALUM	BLACK	SF3	ALUM	BLACK		2.0				
103	D1	3'-0"	6'-8"	0'-1 3/4"	HM	PNT	F1	HM	PNT		1.0				
104	D1	3'-0"	6'-8"	0'-1 3/4"	HM	PNT	F1	HM	PNT		1.0				
201	D1	3'-0"	6'-8"	0'-1 3/4"	HM	PNT	F1	HM	PNT		1.0				
202	D1	3'-0"	6'-8"	0'-1 3/4"	HM	PNT	F1	HM	PNT		1.0				
203	D1	3'-0"	6'-8"	0'-1 3/4"	HM	PNT	F1	HM	PNT		1.0				
204	D1	3'-0"	6'-8"	0'-1 3/4"	HM	PNT	F1	HM	PNT		1.0				

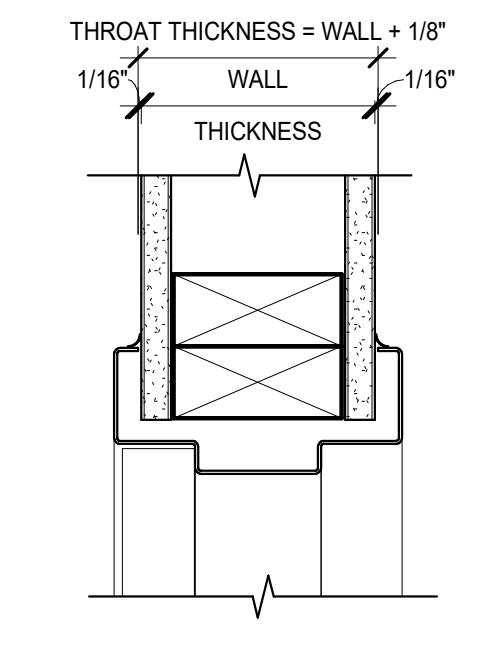
UNIT DOOR SCHEDULE													
DOOR NO.	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	FRAME TYPE	MATERIAL	FINISH	HARDWARE	COMMENTS		
BA34	D1	2'-10"	6'-8"	0'-1 3/4"	WD	PREFIN	F1	WD	PREFIN	PREHUNG WITH BLACK HDW	1		
BB34	D1	2'-10"	6'-8"	0'-1 3/4"	WD	PREFIN	F1	WD	PREFIN	PREHUNG WITH BLACK HDW	2		
CL32	D1	2'-8"	6'-8"	0'-1 3/4"	WD	PREFIN	F1	WD	PREFIN	PREHUNG WITH BLACK HDW	2		
PK48	D3	4'-0"	6'-8"	0'-1 3/4"	WD	PREFIN	F1	WD	PREFIN	PREHUNG WITH BLACK HDW	2		
SL48	D4	4'-0"	6'-8"	0'-1 3/8"	WD	PREFIN	F1	WD	PREFIN	PREHUNG WITH BLACK HDW	2		

GENERAL NOTES - FLOOR PLAN		GENERAL NOTES - FLOOR PLAN		KEYNOTE LEGEND	
1	THE INTENT OF THE DRAWINGS IS TO PROVIDE INFORMATION FOR CONSTRUCTION. IT IS IMPORTANT FOR THE CONTRACTOR TO VERIFY FIELD DIMENSIONS AND CONDITIONS BEFORE EXECUTION OF THE WORK. CONTACT THE ARCHITECT SHOULD DISCREPANCIES EXIST.	7	THE CONTRACTOR SHALL PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW AND RENOVATION CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTED, INCLUDING, BUT NOT LIMITED TO, ALL OTHER WORK THAT MIGHT REASONABLY BE REQUIRED TO BE REMOVED IN PREPARATION FOR SPECIFIED FINISHES. DEMOLITION SHALL BE PERFORMED IN A MANNER THAT WILL NOT DAMAGE ANY ITEMS OR SURFACES INDICATED TO REMAIN. ITEMS OR SURFACES SHALL BE PATCHED IF NECESSARY TO PROVIDE A SUITABLE SUB-STRATA FOR NEW FINISHES.	NO.	DESCRIPTION
2	CONTRACTOR AND SUBCONTRACTORS SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO COMPLETE ALL WORK SHOWN ON PLANS, CALLED FOR IN SPECIFICATION, OR REASONABLY IMPLIED FOR A COMPLETE INSTALLATION EVEN THOUGH NEITHER SHOWN ON PLANS OR CALLED OUT IN SPECIFICATIONS.	8	FIRE EXTINGUISHERS FINAL LOCATIONS SHALL BE VERIFIED WITH LOCAL FIRE AUTHORITY.	02	ROLLER BLINDS: G.C. TO FIELD VERIFY FINAL SIZE(S)
3	REVIEW SHEET S100 AND PERFORM BUILDING REHABILITATION RECOMMENDATIONS PRIOR TO COMMENCING WORK. WHERE RECOMMENDATIONS AND SCOPE OF WORK OVERLAP, DEFER TO DRAWINGS.	9	UNIT LAYOUTS SHOWN HALFTONE FOR REFERENCE. REFER TO UNIT PLANS FOR LAYOUT.	06	INFILL OPENING WITH 2X10'S AT 16" ON-CENTER. ATTACH TO THE BRICK WALL VIA 3/8" DIA. EPOXY ADHESIVE ANCHORS (EMBED 5") AT 24" ON-CENTER, STAGGERED, ON TO THE 2X10 RIM-BOARD. COVER FLOOR JOISTS W/ TONGUE-AND-GROOVE 3/4" THICK OSB SHEATHING
4	WHERE FLOOR IS TRANSITIONING TO A DIFFERENT MATERIAL, INSTALL A TRANSITION STRIP.	10	NEW EXTERIOR WINDOWS AND DOORS TO BE LOCATED IN EXISTING OPENINGS U.N.O. NOTIFY ARCHITECT IMMEDIATELY IN THE CASE OF A DISCREPANCY.	07	INFILL PORTION OF EXISTING WALL. REFER TO WALL TYPES FOR CONSTRUCTION.
5	DIMENSIONS ARE FROM FACE OF STUD UNLESS OTHERWISE NOTED.	11	NEW WINDOWS TO BE INSTALLED SUCH THAT BOTTOM OF THE CLEAR OPENING IS NOT GREATER THAN 44" AFF. U.N.O.	08	SILL HEIGHT OF NEW CONSTRUCTION TO MATCH EXISTING.
6	DEBRIS SHALL BE PROMPTLY REMOVED FROM THE BUILDING AND THE SITE AND DISPOSED OF IN A LEGAL MANNER. SURFACES IN THE CONSTRUCTION AREA SHALL BE MAINTAINED IN A BROOM CLEAN CONDITION AT THE END OF EACH WORK DAY.	12	FURNITURE AND EQUIPMENT PROVIDED N.I.C. SHOWN DASHED FOR REFERENCE.	11	PREFINISHED MTL. DOWNSPOUT
		13	ALL NEW WALLS ARE TO EXTEND TO DECK, UNLESS OTHERWISE NOTED.	15	NEW BLADE SIGN - BY OTHERS.
				16	WALL-MOUNTED LIGHT FIXTURE - REVIEW ELECTRICAL DRAWINGS.
				24	CONC. SPLASH PAD
				29	1 1/2" O.D. ALUM. HANDRAIL - DARK BRONZE
				31	POSTS BELOW AS STATED IN DRY-ROT WOOD FRAMING & CLAY-TILE BLOCK DETERIORATION RECOMMENDATIONS.

NOTE: HARDWARE SHOWN FOR REFERENCE - REFER TO HARDWARE SCHEDULE FOR ACTUAL HARDWARE



5 DOOR ELEVATIONS A202 1/4" = 1'-0"
6 DOOR FRAME ELEVATIONS A202 1/4" = 1'-0"



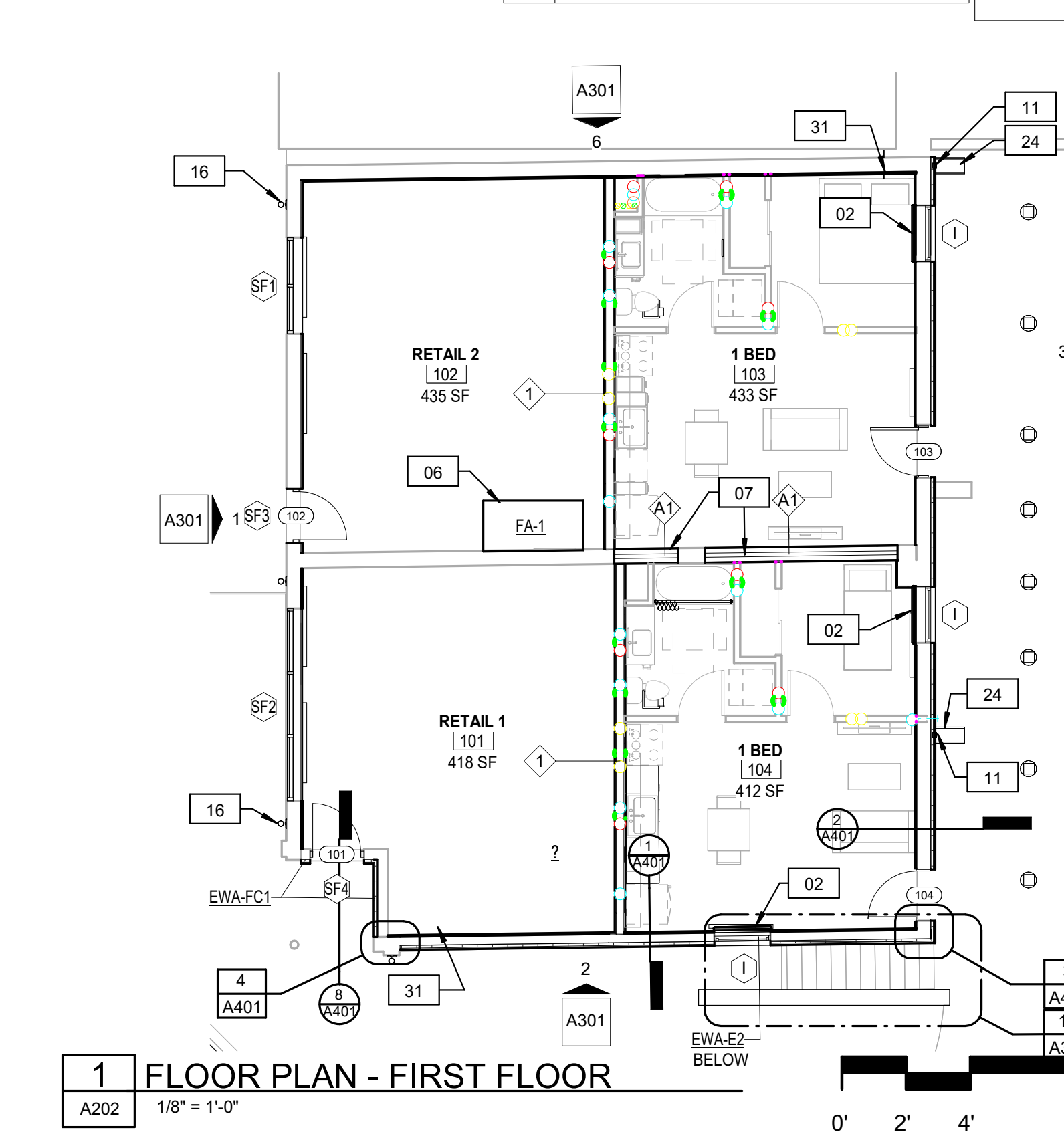
7 FRAME THROAT DETAIL A202 3" = 1'-0"

088000 GLAZING SCHEDULE								
TAG	DESCRIPTION	GLAZING COMPOSITION	TINT	GL-COATING	MIN. U-FACTOR	MIN SHGC	GL-GLAZING METHOD	GL-REMARKS
G-2	MONOLITHIC INTERIOR VISION GLAZING	1/4" ANNEALED FLOAT GLASS	CLEAR	-	-	-	DRY GLAZING METHOD, GASKET GLAZING	
G-3	MONOLITHIC INTERIOR SAFETY GLAZING: NON-FIRE RATED	SAME AS G-2, EXCEPT USE FULLY-TEMPERED GLASS	CLEAR	-	-	-	DRY GLAZING METHOD, GASKET GLAZING	
IG-1	INSULATING GLASS UNITS: VISION GLASS, DOUBLE GLAZED	(2) LAYERS 1/4" ANNEALED FLOAT GLASS W/ 1/2" GAP BETWEEN LITES FILLED W/ AIR	CLEAR	LOW-E ON #2 SURFACE	0.38 (0.29 WINTER)	0.39*	DRY GLAZING METHOD, GASKET GLAZING	SOLARBAN 60 (2) + CLEAR AS BASIS OF DESIGN
IG-5	INSULATING GLASS UNITS: SAFETY GLAZING	SAME AS IG-1, EXCEPT USE FULLY TEMPERED FLOAT GLASS FOR BOTH OUTBOARD AND INBOARD LITES	CLEAR	SAME AS IG-1	SAME AS IG-1	SAME AS IG-1	DRY GLAZING METHOD, GASKET GLAZING	SAME AS IG-1

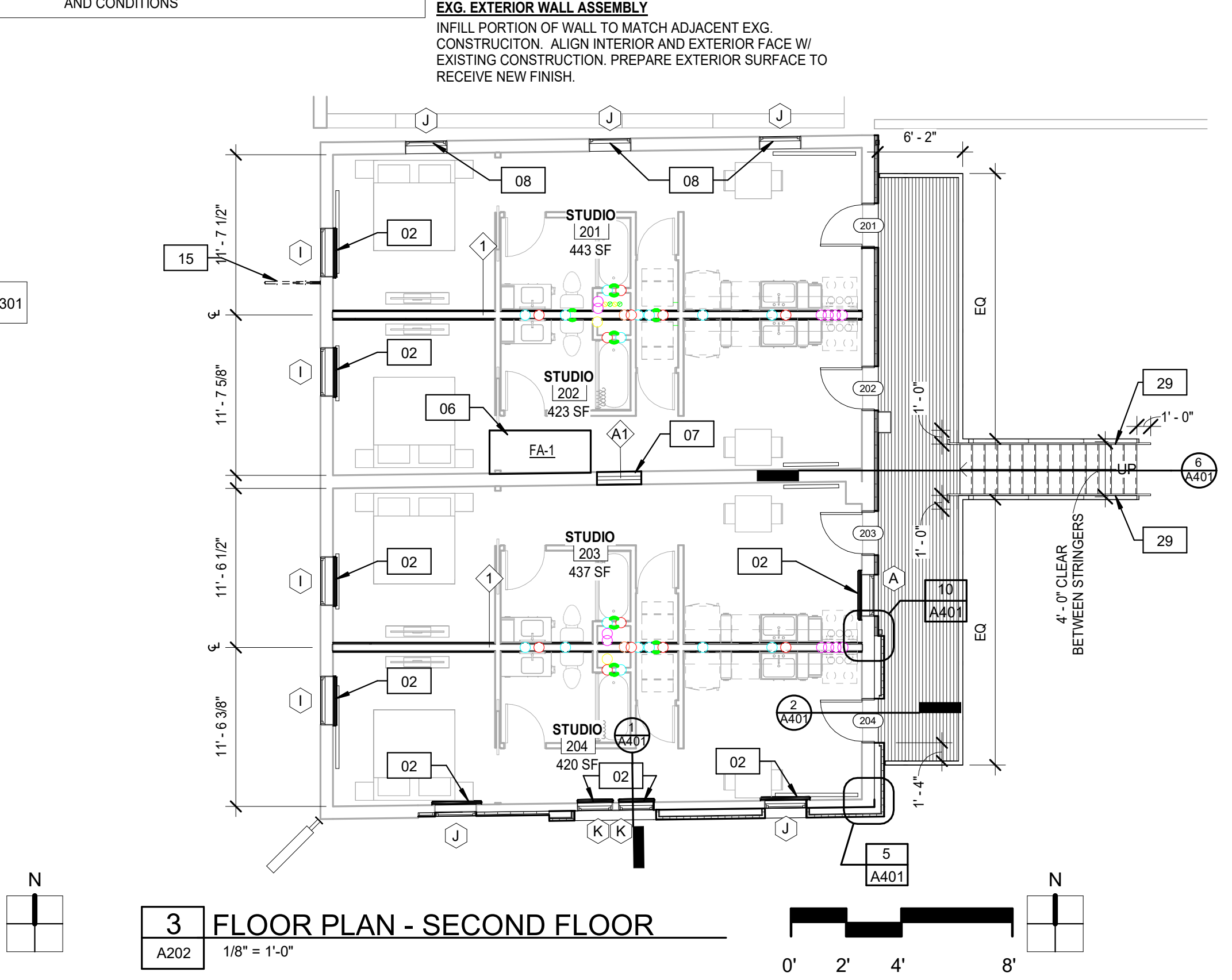
- GENERAL NOTES - DOOR AND FRAME**
- VERIFY ALL EXISTING OPENINGS WITH DIMENSIONS IN DOOR SCHEDULE PRIOR TO CONSTRUCTION. STOP WORK AND NOTIFY ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES EXIST.
 - ALL EXTERIOR SAFETY GLAZING TO BE IG-5. COORDINATE LOCATIONS AS REQUIRED BY APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS.
 - ALL EXTERIOR GLAZING TO BE IG-1 U.N.O.
 - ALL INTERIOR SAFETY GLAZING TO BE G-3. COORDINATE LOCATIONS AS REQUIRED BY APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS.
 - PNT TO BE SW 7588 SHOW STOPPER

DOOR AND FRAME COMMENTS LEGEND

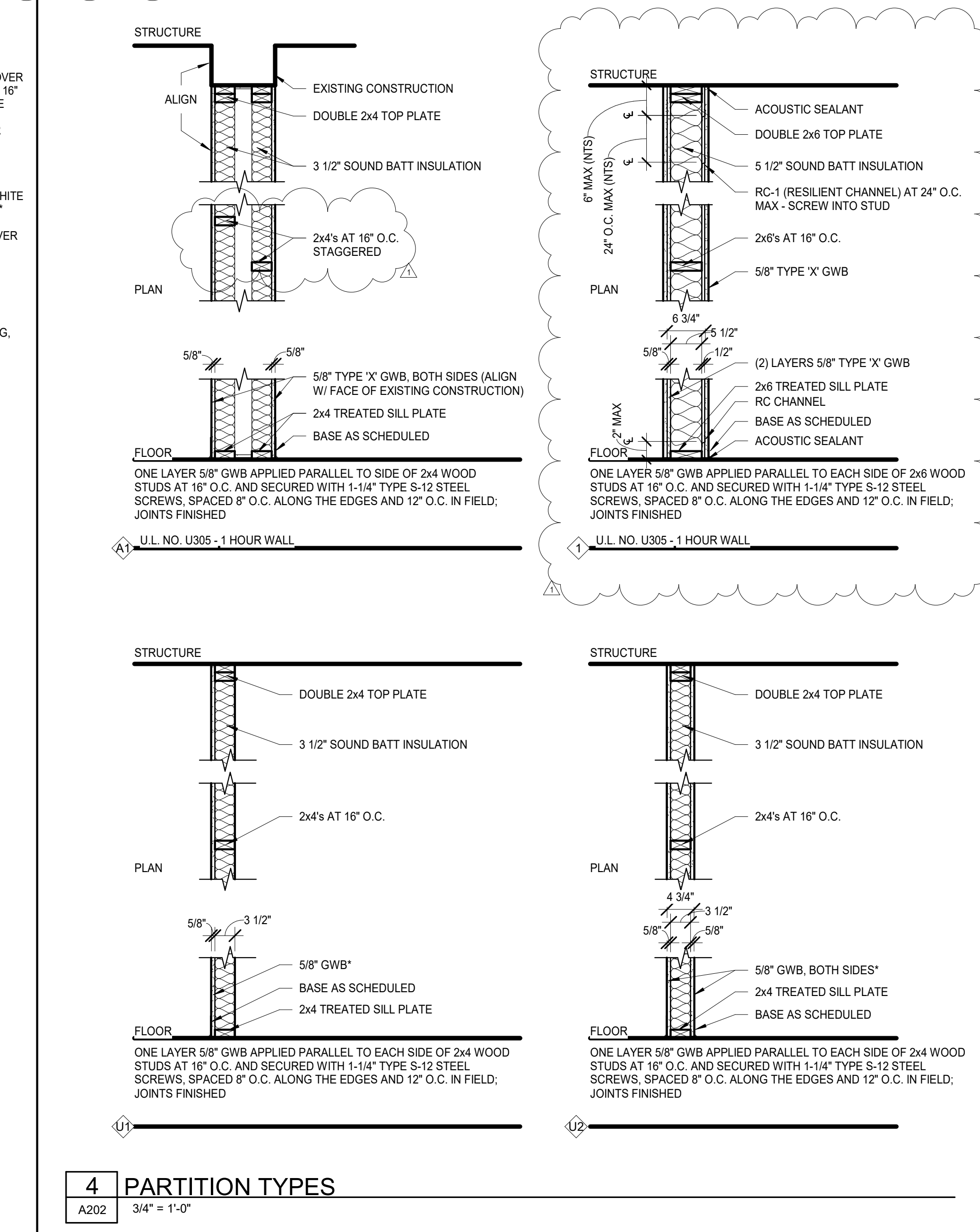
- UNDERCUT DOOR BY 1"
- PROVIDE LOUVERED VENT



1 FLOOR PLAN - FIRST FLOOR A202 1/8" = 1'-0"



3 FLOOR PLAN - SECOND FLOOR A202 1/8" = 1'-0"



4 PARTITION TYPES A202 3/4" = 1'-0"

RALSTON APARTMENT RENOVATIONS
 5617 S 77TH ST
 RALSTON, NE 68127

Revisions |

1	09/19/2024	Addendum 01
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Project No. | 23042
Issue Date | 08.23.2024

FLOOR PLANS, WALL TYPES, DOOR AND WINDOW SCHEDULES

GENERAL NOTES - FLOOR PLAN

- THE INTENT OF THE DRAWINGS IS TO PROVIDE INFORMATION FOR CONSTRUCTION. IT IS IMPORTANT FOR THE CONTRACTOR TO VERIFY FIELD DIMENSIONS AND CONDITIONS BEFORE EXECUTION OF THE WORK. CONTACT THE ARCHITECT SHOULD DISCREPANCIES EXIST.
- CONTRACTOR AND SUBCONTRACTORS SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO COMPLETE ALL WORK SHOWN ON PLANS, CALLED FOR IN SPECIFICATION, OR REASONABLY IMPLIED FOR A COMPLETE INSTALLATION EVEN THOUGH NEITHER SHOWN ON PLANS OR CALLED OUT IN SPECIFICATIONS.
- REVIEW SHEET S100 AND PERFORM BUILDING REHABILITATION RECOMMENDATIONS PRIOR TO COMMENCING WORK. WHERE RECOMMENDATIONS AND SCOPE OF WORK OVERLAP, DEFER TO DRAWINGS.
- WHERE FLOOR IS TRANSITIONING TO A DIFFERENT MATERIAL, INSTALL A TRANSITION STRIP.
- DIMENSIONS ARE FROM FACE OF STUD UNLESS OTHERWISE NOTED.
- DEBRIS SHALL BE PROMPTLY REMOVED FROM THE BUILDING AND THE SITE AND DISPOSED OF IN A LEGAL MANNER. SURFACES IN THE CONSTRUCTION AREA SHALL BE MAINTAINED IN A BROOM CLEAN CONDITION AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW AND RENOVATION CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTED, INCLUDING, BUT NOT LIMITED TO, ALL OTHER WORK THAT MIGHT REASONABLY BE REQUIRED TO BE REMOVED IN PREPARATION FOR SPECIFIED FINISHES. DEMOLITION SHALL BE PERFORMED IN A MANNER THAT WILL NOT DAMAGE ANY ITEMS OR SURFACES INDICATED TO REMAIN. ITEMS OR SURFACES SHALL BE PATCHED IF NECESSARY TO PROVIDE A SUITABLE SUB-STRATA FOR NEW FINISHES.
- FIRE EXTINGUISHERS FINAL LOCATIONS SHALL BE VERIFIED WITH LOCAL FIRE AUTHORITY.
- UNIT LAYOUTS SHOWN HALFTONE FOR REFERENCE. REFER TO UNIT PLANS FOR LAYOUT.
- NEW EXTERIOR WINDOWS AND DOORS TO BE LOCATED IN EXISTING OPENINGS U.N.O. NOTIFY ARCHITECT IMMEDIATELY IN THE CASE OF A DISCREPANCY.
- NEW WINDOWS TO BE INSTALLED SUCH THAT BOTTOM OF THE CLEAR OPENING IS NOT GREATER THAN 44" AFF. U.N.O.
- FURNITURE AND EQUIPMENT PROVIDED N.I.C. SHOWN DASHED FOR REFERENCE.
- ALL NEW WALLS ARE TO EXTEND TO DECK, UNLESS OTHERWISE NOTED.

SYMBOL LEGEND

- NEW WALL/ITEM/ELEMENT TO BE CONSTRUCTED, FIELD VERIFY TYPES AND CONDITIONS
- EXISTING WALL/ITEM/ELEMENT TO REMAIN AND BE PROTECTED, FIELD VERIFY TYPES AND CONDITIONS

KEYNOTE LEGEND

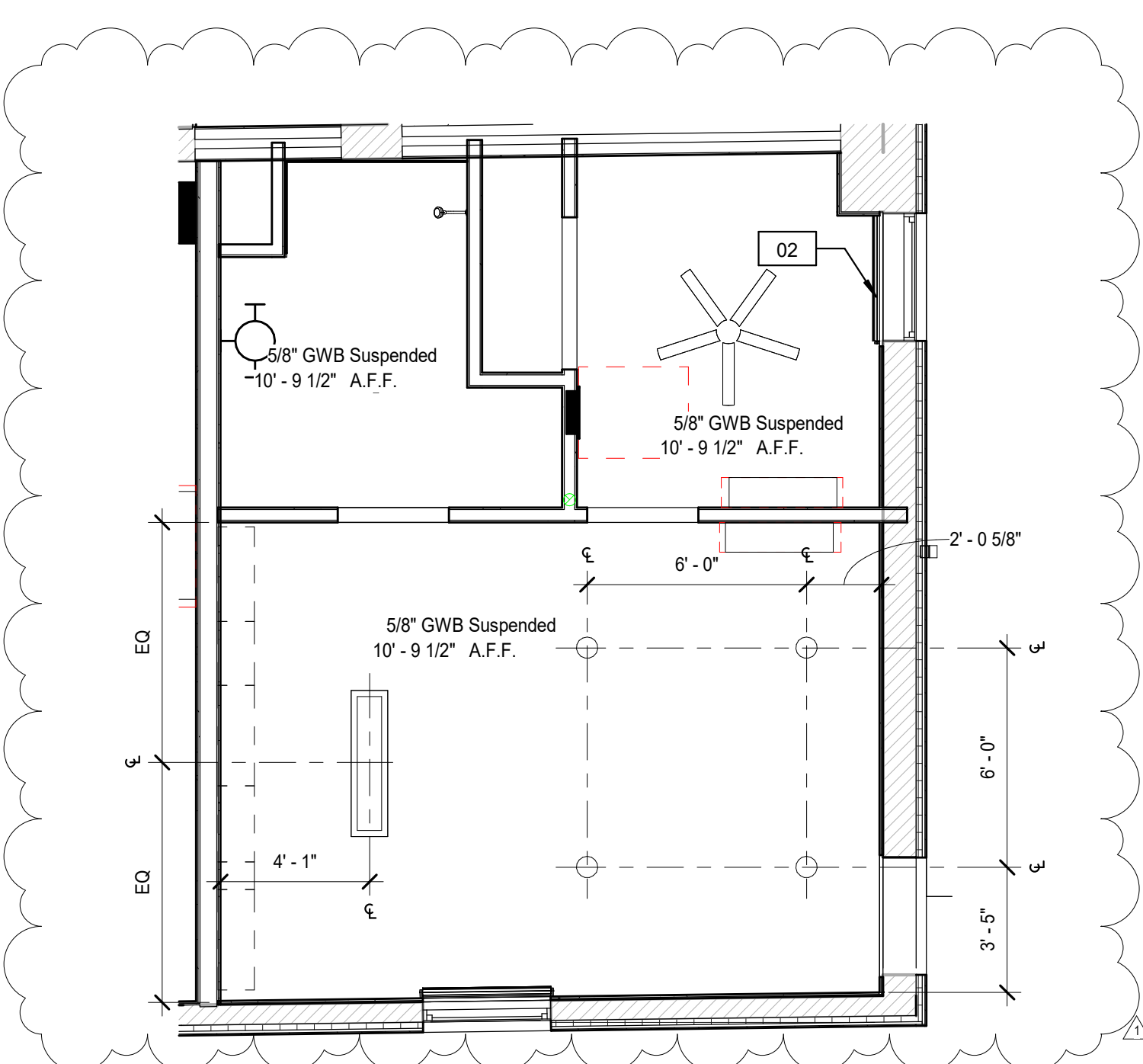
NO.	DESCRIPTION
02	ROLLER BLINDS; G.C. TO FIELD VERIFY FINAL SIZE(S)
20	EQUIPMENT IS OFCI.
21	ROLLER BLINDS, TYP. SEE A202 FOR LOCATIONS

TOILET ACCESSORIES SCHEDULE

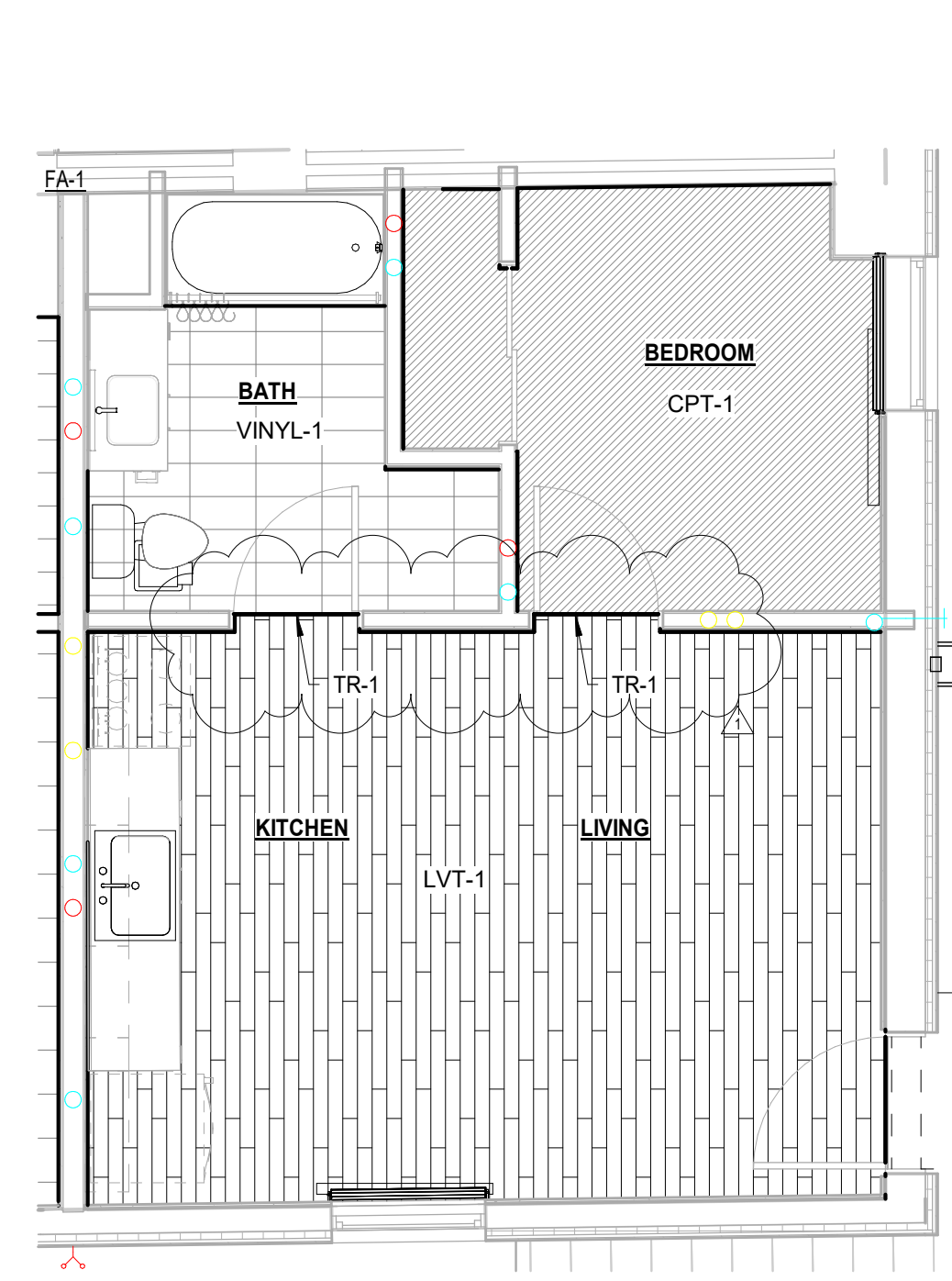
TAG	DESCRIPTION	MODEL
TA-4B	Toilet Tissue Dispenser	508-52
TA-7	Wall mounted tub/shower valve	
TA-7.1	Wall mounted shower head	
TA-12	Shower Curtain Rod	
TA-20	Towel Bar - 24" W	907-24
TA-21	Round Mirror 22 Inch	K-31367-CPL

NOTE: HATCH INDICATES MATERIAL TYPE AND IS NOT A REPRESENTATION OF INDIVIDUAL MATERIAL COURSING

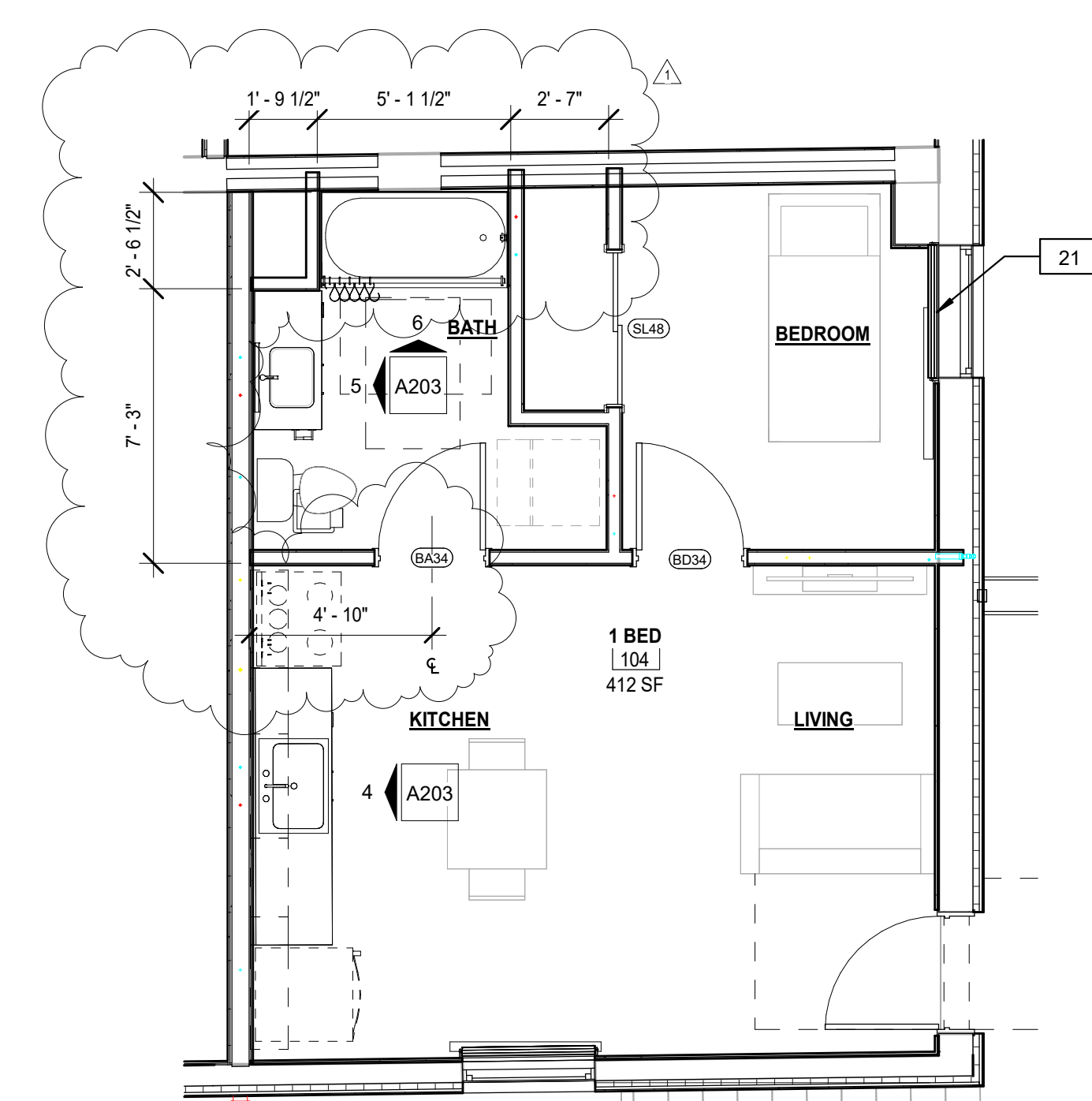
- FLOORS**
- CARPET TILE (CPT-1)
 - VINYL TILE (VINYL-1)
 - LUXURY VINYL TILE (LVT-1)



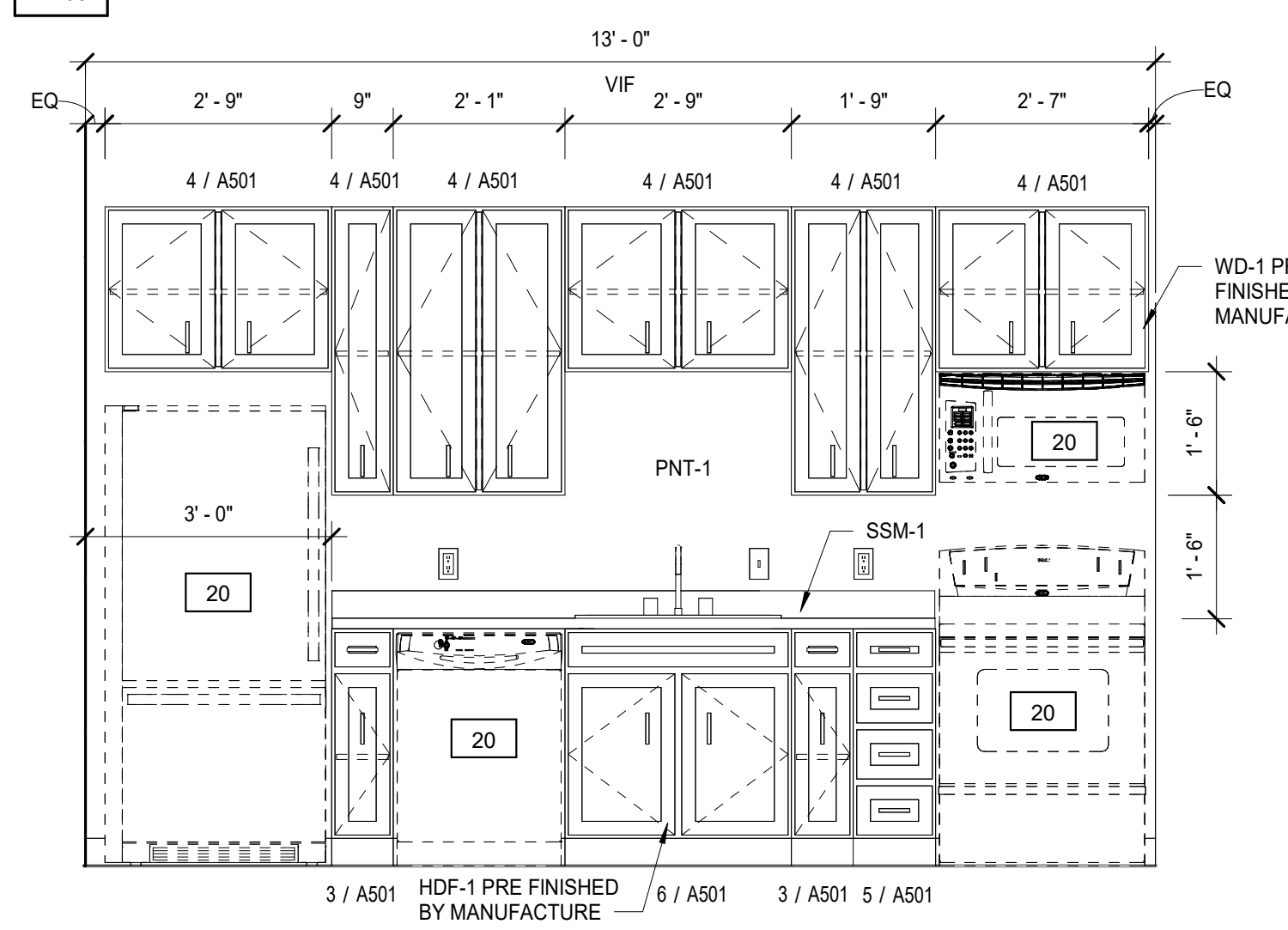
1 TYPICAL UNIT A - 1 BEDROOM REFLECTED CEILING PLAN
A203 1/4" = 1'-0"



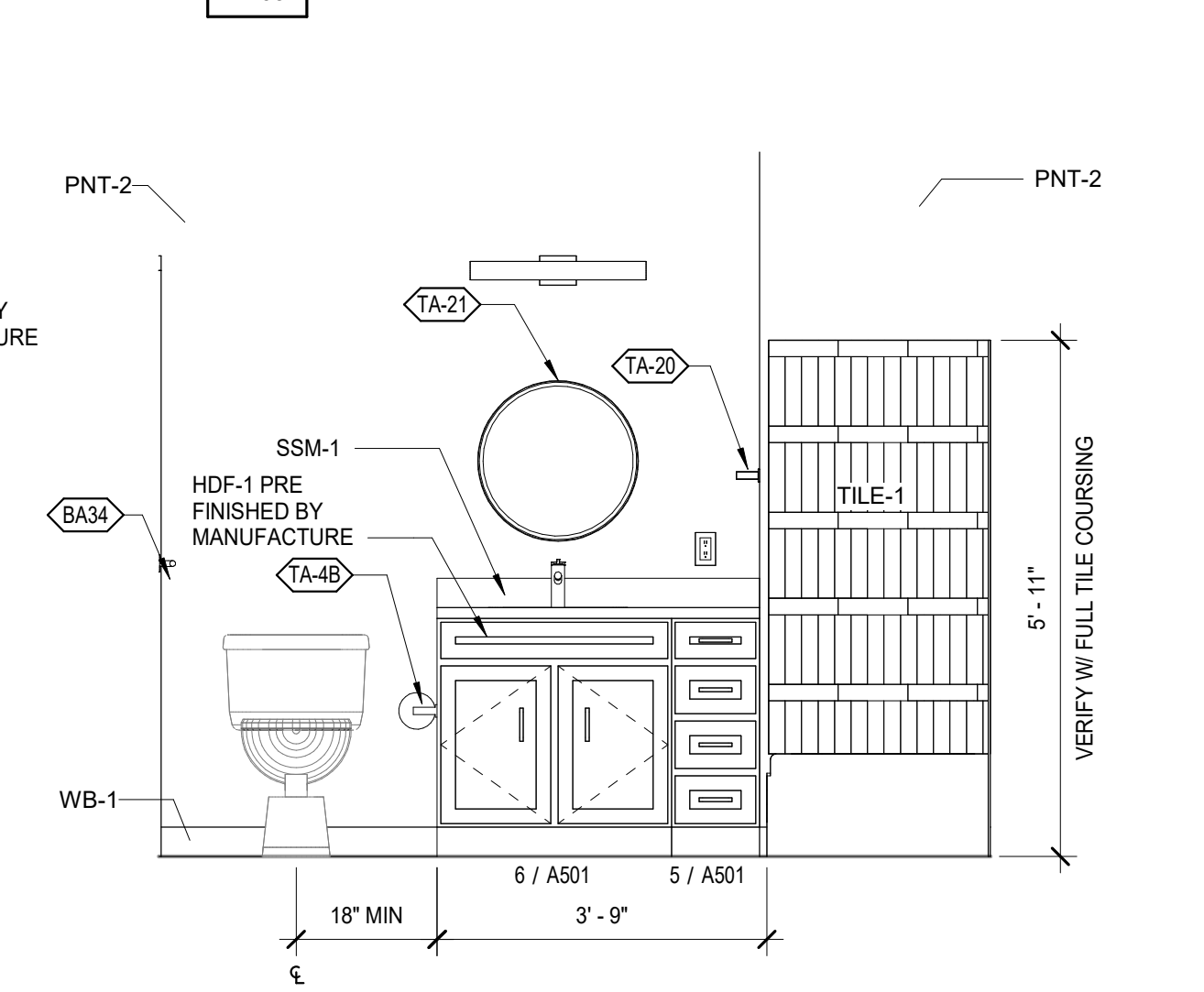
2 TYPICAL UNIT A - 1 BEDROOM FINISH PLAN
A203 1/4" = 1'-0"



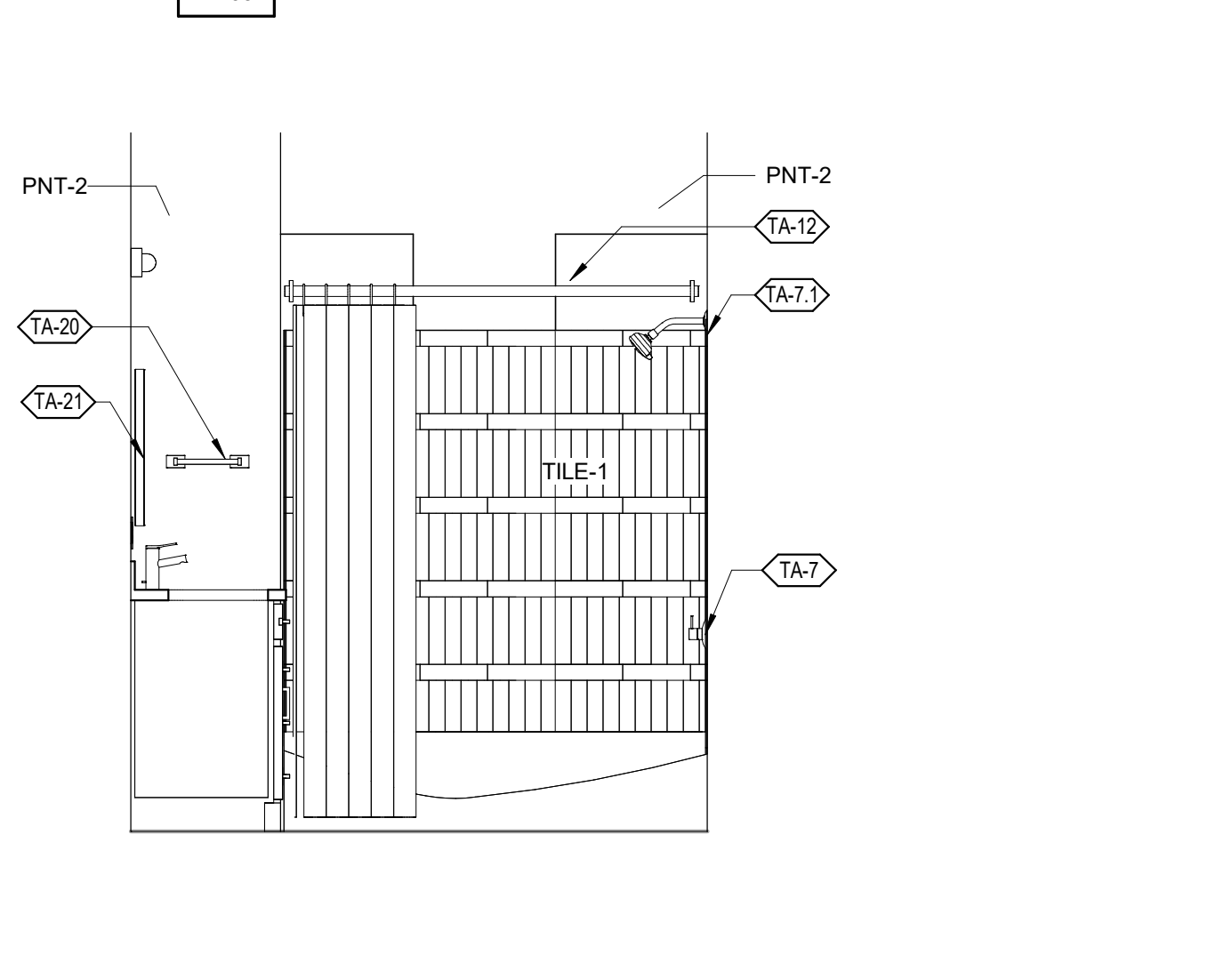
3 TYPICAL UNIT A - 1 BEDROOM FLOOR PLAN
A203 1/4" = 1'-0"



4 TYPICAL KITCHEN ELEVATION
A203 1/2" = 1'-0"



5 UNIT 1 BATHROOM ELEVATION WEST
A203 1/2" = 1'-0"



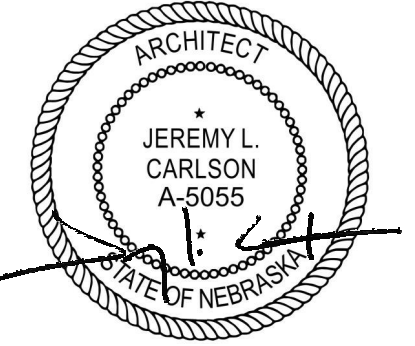
6 UNIT 1 BATHROOM ELEVATION NORTH
A203 1/2" = 1'-0"

FINISH SPECIFICATIONS

ABBREVIATION	MANUFACTURER	DESCRIPTION	PRODUCT INFORMATION	COLOR	SIZE	REMARKS
CARPET (CPT-)						
CPT-1	PATCRAFT	CARPET TILE	ARTEFACT, PATINA I0511	MARK OF TIME 00200	12" X 48"	
GROUT (GR-)						
GR-1	MAPEI	SERENE	USE WITH TILE-1	WARM GRAY; 93		
HIGH DENSITY FIBER BOARD (HDF-)						
HDF-1	CKF CABINETS	HDF PIONEER DOOR STYLE	ELEMENT	PAINT GRADE, NAVAL		BASIS OF DESIGN
LUXURY VINYL TILE (LVT-)						
LVT-1	TARKETT	LUXURY VINYL TILE	ID LATITUDE WOOD	7533 NORDIC	6" X 48"	
PAINT (PNT-)						
PNT-1	SHERWIN WILLIAMS		EGGSHELL	TINSMITH; 7657		MAINFIELD PAINT COLOR
PNT-2	SHERWIN WILLIAMS		EGGSHELL	CADET; 9143		ACCENT WALL PAINT
PNT-3	SHERWIN WILLIAMS		EGGSHELL	CEILING BRIGHT WHITE; 7007		GWB CEILING PAINT COLOR
PNT-4	SHERWIN WILLIAMS		EGGSHELL	HIGH REFLECTIVE WHITE; 7757		RETAIL FIELD PAINT COLOR
SOLID SURFACE(SSM-)						
SSM-1	CORIAN	CORIAN COUNTERTOPS	SOLID SURFACE	CIRRUS WHITE	1/2" THICK	W/ 1 1/2" MITER AND 4" BACKSPASH WHERE NOTED
TILE (TILE-)						
TILE-1	DAL TILE	PROCELAIN WALL TILE	REMEDY	EXLIJR RD20	2 1/4" X 9 1/2"	BATHROOM WALL TILE
TRANSITION STRIP (TR-)						
TR-1	SCHLUTER	TRANSITION STRIP	VINEPRO-S	TBD		PROVIDE SAMPLES FROM MFR. STD. COLOR LINE FOR APPROVAL BY ARCHITECT.
VINYL (VINYL-)						
VINYL-1	TARKETT	SHEET VINYL	ACCZENT; 251	CONCRETE COOL GREY 28500	2300 cm x 200 cm	BATHROOM
WALL BASE (WB-)						
WB-1	JOHNSONITE-TARKETT	TRADITIONAL WALL BASE	CB/DC-XX	STORM CLOUD CG		TYPICAL UNO.
WOOD (WD-)						
WD-1	CKF CABINETS	SOLID WOOD & VENEER PIONEER DOOR STYLE	ELEMENT	MAPLE; CASHEW		BASIS OF DESIGN

UNIT FINISH SCHEDULE

ROOM NAME	FLOOR FINISH	WALL FINISH						CEILING MATERIAL	COMMENTS
		BASE	NORTH	EAST	SOUTH	WEST			
1 BEDROOM									
LIVING	LVT-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		
BEDROOM	CPT-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		
KITCHEN	LVT-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-2	PNT-3		
BATH	VINYL-1	WB-1	PNT-2	PNT-2	PNT-2	PNT-2	PNT-3		
STUDIO									
LIVING/BD	CPT-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		
KITCHEN	LVT-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		
BATH	VINYL-1	WB-1	PNT-2	PNT-2	PNT-2	PNT-2	PNT-3		



08.23.2024

RALSTON APARTMENT RENOVATIONS
 5617 S 77TH ST
 RALSTON, NE 68127

Revisions |

1	08/19/2024	Addendum 01
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Project No. | 23042
Issue Date | 08.23.2024

UNIT PLANS

GENERAL NOTES - FLOOR PLAN

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- REVIEW SHEET S100 AND PERFORM BUILDING REHABILITATION RECOMMENDATIONS PRIOR TO COMMENCING WORK. WHERE RECOMMENDATIONS AND SCOPE OF WORK OVERLAP, DEFER TO DRAWINGS.
- WHERE FLOOR IS TRANSITIONING TO A DIFFERENT MATERIAL, INSTALL A TRANSITION STRIP.
- DIMENSIONS ARE FROM FACE OF STUD UNLESS OTHERWISE NOTED.
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- ALL NEW WALLS ARE TO EXTEND TO DECK, UNLESS OTHERWISE NOTED.

SYMBOL LEGEND

- NEW WALL/ELEMENT TO BE CONSTRUCTED, FIELD VERIFY TYPES AND CONDITIONS
- EXISTING WALL/ELEMENT TO REMAIN AND BE PROTECTED, FIELD VERIFY TYPES AND CONDITIONS

KEYNOTE LEGEND

NO.	DESCRIPTION
13	STACKED WASHER AND DRYER - OFCI
21	ROLLER BLINDS, TYP. SEE A202 FOR LOCATIONS

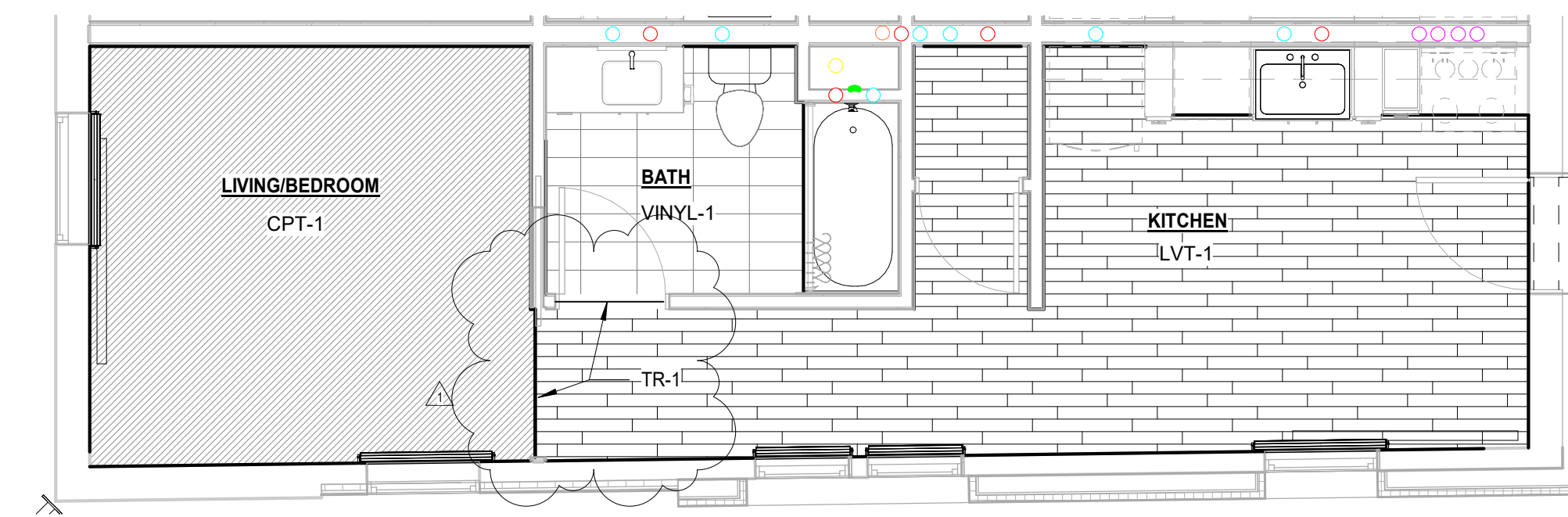
TOILET ACCESSORIES SCHEDULE

TAG	DESCRIPTION	MODEL
TA-4B	Toilet Tissue Dispenser	508-52
TA-7	Wall mounted tub/shower valve	
TA-7.1	Wall mounted shower head	
TA-12	Shower Curtain Rod	
TA-20	Towel Bar - 24" W	907-24
TA-21	Round Mirror 22 Inch	K-31367-CPL

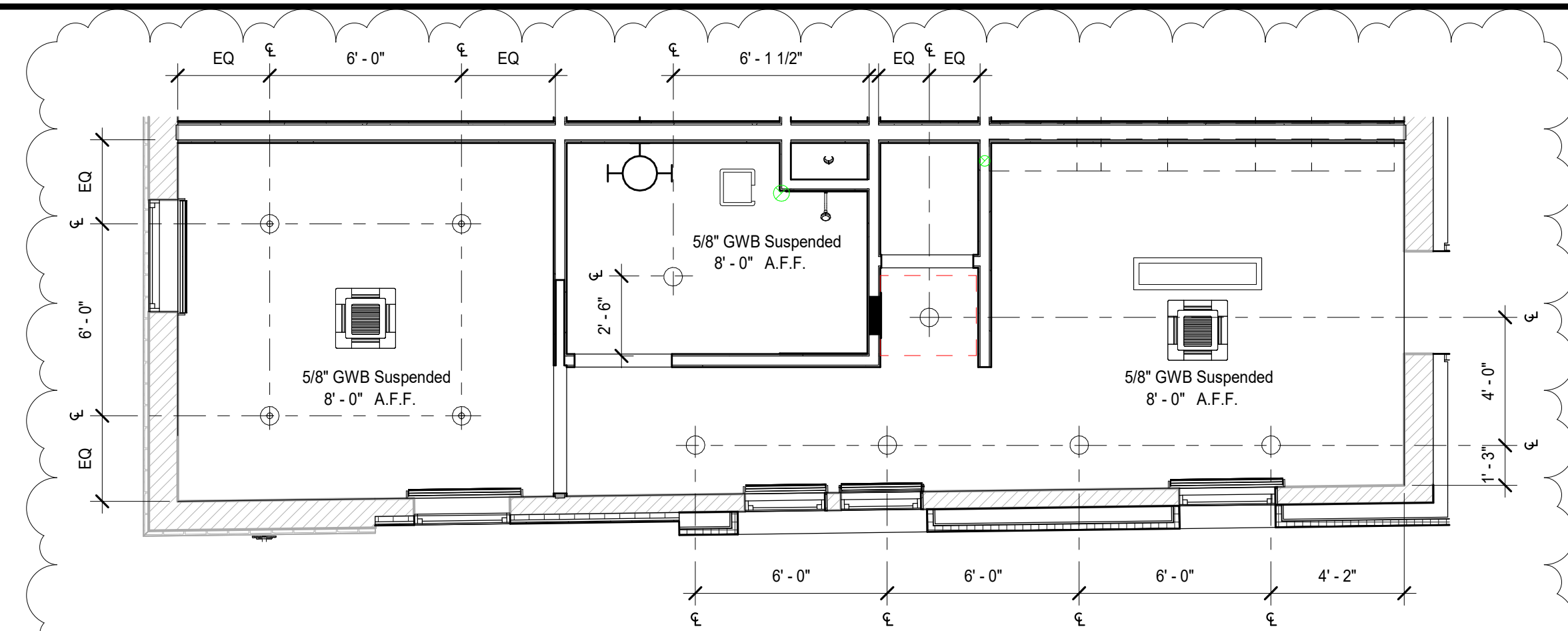
NOTE: HATCH INDICATES MATERIAL TYPE AND IS NOT A REPRESENTATION OF INDIVIDUAL MATERIAL COURSING

FLOORS

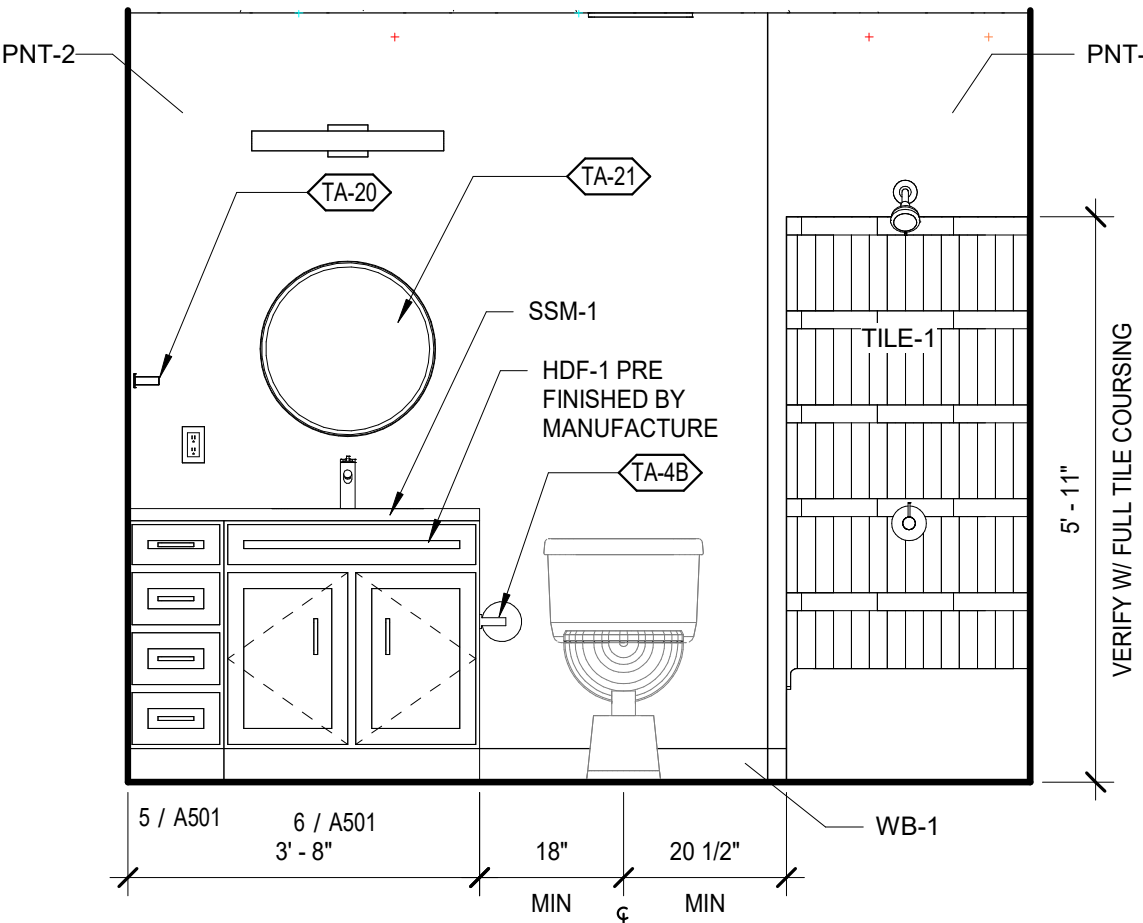
- CARPET TILE (CPT-1)
- VINYL TILE (VINYL-1)
- LUXURY VINYL TILE (LVT-1)



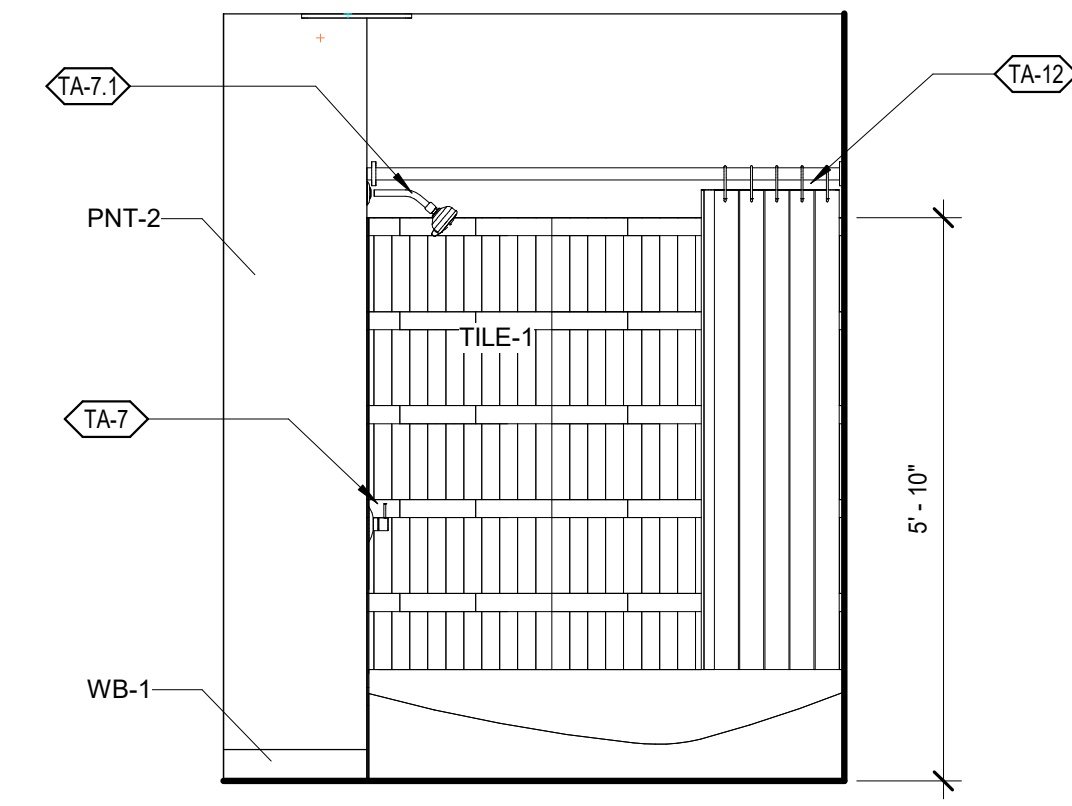
2 TYPICAL UNIT B - STUDIO FINISH PLAN
A204 1/4" = 1'-0"



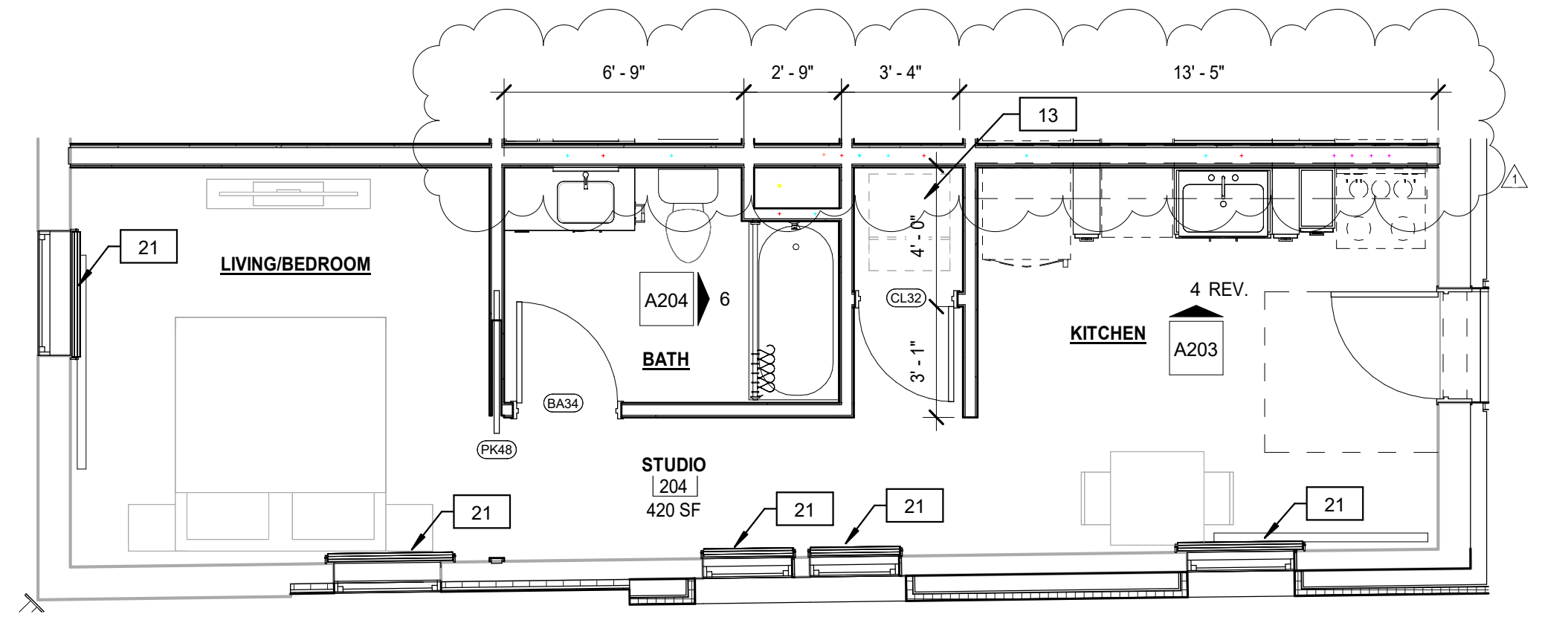
1 TYPICAL UNIT B - STUDIO REFLECTED CEILING PLAN
A204 1/4" = 1'-0"



5 STUDIO BATHROOM ELEVATION
A204 1/2" = 1'-0"



6 STUDIO BATHROOM ELEVATION BATH
A204 1/2" = 1'-0"



3 TYPICAL UNIT B - STUDIO FLOOR PLAN
A204 1/4" = 1'-0"

FINISH SPECIFICATIONS

ABBREVIATION	MANUFACTURER	DESCRIPTION	PRODUCT INFORMATION	COLOR	SIZE	REMARKS
CARPET (CPT-)						
CPT-1	PATCRAFT	CARPET TILE	ARTEFACT, PATINA I0511	MARK OF TIME 00200	12" X 48"	
GROUT (GR-)						
GR-1	MAPEI	SERENE	USE WITH TILE-1	WARM GRAY; 93		
HIGH DENSITY FIBER BOARD (HDF-)						
HDF-1	CKF CABINETS	HDF PIONEER DOOR STYLE	ELEMENT	PAINT GRADE, NAVAL		BASIS OF DESIGN
LUXARY VINYL TILE (LVT-)						
LVT-1	TARKETT	LUXARY VINYL TILE	ID LATITUDE WOOD	7533 NORDIC	6" X 48"	
PAINT (PNT-)						
PNT-1	SHERWIN WILLIAMS		EGGSHELL	TINSMITH; 7657		MAINFIELD PAINT COLOR
PNT-2	SHERWIN WILLIAMS		EGGSHELL	CADET; 9143		ACCENT WALL PAINT
PNT-3	SHERWIN WILLIAMS		EGGSHELL	CEILING BRIGHT WHITE; 7007		GWB CEILING PAINT COLOR
PNT-4	SHERWIN WILLIAMS		EGGSHELL	HIGH REFLECTIVE WHITE; 7757		RETAIL FIELD PAINT COLOR
SOLID SURFACE(SSM-)						
SSM-1	CORIAN	CORIAN COUNTERTOPS	SOLID SURFACE	CIRRUS WHITE	1/2" THICK	W/ 1 1/2" MITER AND 4" BACKSPASH WHERE NOTED
TILE (TILE-)						
TILE-1	DAL TILE	PROCELAIN WALL TILE	REMEDY	EXLJR RD20	2 1/4" X 9 1/2"	BATHROOM WALL TILE
TRANSITION STRIP (TR-)						
TR-1	SCHLUTER	TRANSITION STRIP	VINEPRO-S	TBD		PROVIDE SAMPLES FROM MFR. STD. COLOR LINE FOR APPROVAL BY ARCHITECT.
VINYL (VINYL-)						
VINYL-1	TARKETT	SHEET VINYL	ACCZENT; 251	CONCRETE COOL GREY 28500	2300 cm x 200 cm	BATHROOM
WALL BASE (WB-)						
WB-1	JOHNSONITE-TARKETT	TRADITIONAL WALL BASE	CB/DC-XX	STORM CLOUD CG		TYPICAL UNO.
WOOD (WD-)						
WD-1	CKF CABINETS	SOLID WOOD & VENEER PIONEER DOOR STYLE	ELEMENT	MAPLE; CASHEW		BASIS OF DESIGN

UNIT FINISH SCHEDULE

ROOM NAME	FLOOR FINISH	WALL FINISH				CEILING MATERIAL	COMMENTS
		BASE	NORTH	EAST	SOUTH		
1.BEDROOM							
LIVING	LVT-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3
BEDROOM	CPT-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3
KITCHEN	LVT-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-2	PNT-3
BATH	VINYL-1	WB-1	PNT-2	PNT-2	PNT-2	PNT-2	PNT-3
STUDIO							
LIVING/BED	CPT-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3
KITCHEN	LVT-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3
BATH	VINYL-1	WB-1	PNT-2	PNT-2	PNT-2	PNT-2	PNT-3

GENERAL NOTES - FLOOR PLAN		GENERAL NOTES - FLOOR PLAN	
1	THE INTENT OF THE DRAWINGS IS TO PROVIDE INFORMATION FOR CONSTRUCTION. IT IS IMPORTANT FOR THE CONTRACTOR TO VERIFY FIELD DIMENSIONS AND CONDITIONS BEFORE EXECUTION OF THE WORK. CONTACT THE ARCHITECT SHOULD DISCREPANCIES EXIST.	7	THE CONTRACTOR SHALL PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW AND RENOVATION CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTED, INCLUDING, BUT NOT LIMITED TO, ALL OTHER WORK THAT MIGHT REASONABLY BE REQUIRED TO BE REMOVED IN PREPARATION FOR SPECIFIED FINISHES. DEMOLITION SHALL BE PERFORMED IN A MANNER THAT WILL NOT DAMAGE ANY ITEMS OR SURFACES INDICATED TO REMAIN. ITEMS OR SURFACES SHALL BE PATCHED IF NECESSARY TO PROVIDE A SUITABLE SUB-STRATA FOR NEW FINISHES.
2	CONTRACTOR AND SUBCONTRACTORS SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO COMPLETE ALL WORK SHOWN ON PLANS, CALLED FOR IN SPECIFICATION, OR REASONABLY IMPLIED FOR A COMPLETE INSTALLATION EVEN THOUGH NEITHER SHOWN ON PLANS OR CALLED OUT IN SPECIFICATIONS.	8	FIRE EXTINGUISHERS FINAL LOCATIONS SHALL BE VERIFIED WITH LOCAL FIRE AUTHORITY.
3	REVIEW SHEET S100 AND PERFORM BUILDING REHABILITATION RECOMMENDATIONS PRIOR TO COMMENCING WORK. WHERE RECOMMENDATIONS AND SCOPE OF WORK OVERLAP, DEFER TO DRAWINGS.	9	UNIT LAYOUTS SHOWN HALFTONE FOR REFERENCE. REFER TO UNIT PLANS FOR LAYOUT.
4	WHERE FLOOR IS TRANSITIONING TO A DIFFERENT MATERIAL, INSTALL A TRANSITION STRIP.	10	NEW EXTERIOR WINDOWS AND DOORS TO BE LOCATED IN EXISTING OPENINGS U.N.O. NOTIFY ARCHITECT IMMEDIATELY IN THE CASE OF A DISCREPANCY.
5	DIMENSIONS ARE FROM FACE OF STUD UNLESS OTHERWISE NOTED.	11	NEW WINDOWS TO BE INSTALLED SUCH THAT BOTTOM OF THE CLEAR OPENING IS NOT GREATER THAN 4" AFF. U.N.O.
6	DEBRIS SHALL BE PROMPTLY REMOVED FROM THE BUILDING AND THE SITE AND DISPOSED OF IN A LEGAL MANNER. SURFACES IN THE CONSTRUCTION AREA SHALL BE MAINTAINED IN A ROOM CLEAN CONDITION AT THE END OF EACH WORK DAY.	12	FURNITURE AND EQUIPMENT PROVIDED N.I.C. SHOWN DASHED FOR REFERENCE.
		13	ALL NEW WALLS ARE TO EXTEND TO DECK, UNLESS OTHERWISE NOTED.

KEYNOTE LEGEND	
NO.	DESCRIPTION
02	ROLLER BLINDS; G.C. TO FIELD VERIFY FINAL SIZE(S)
03	PREFINISHED MTL. GUTTER
06	INFILL OPENING WITH 2X10'S AT 16" ON-CENTER, ATTACH TO THE BRICK WALL VIA 5/8" DIA. EPOXY ADHESIVE ANCHORS (EMBED 5") AT 24" ON-CENTER, STAGGERED, ON TO THE 2X10 RIM-BOARD. COVER FLOOR JOISTS W/ TONGUE-AND-GROOVE 3/4" THICK OSB SHEATHING
09	POWERWASH EXISTING STAIRS AND SEAL W/ SILANE/SILOXANE SEALER.
10	NEW RETAINING WALL - REVIEW STRUCTURAL DRAWINGS.
11	PREFINISHED MTL. DOWNSPOUT
12	PAINT EXISTING WINDOW FRAME. SEE EXTERIOR ELEVATIONS FOR COLOR.
14	REPAIRED AND RELOCATED EXISTING BLADE SIGN.
15	NEW BLADE SIGN - BY OTHERS.
16	WALL-MOUNTED LIGHT FIXTURE - REVIEW ELECTRICAL DRAWINGS.
17	ALUMINUM CANOPY - BASIS OF DESIGN: MAPES SUPER LUMIDECK. CONTRACTOR TO FIELD VERIFY DIMENSIONS.
19	EXISTING FINISH TO REMAIN
22	CLEAN EXG. BRICK
23	PRIME AND PAINT SURFACE P-
24	CONC. SPLASH PAD
25	ADJACENT EXG. BUILDING
26	ADJACENT EXG. BUILDING SHOWN DASHED FOR REFERENCE
27	ROOF CRICKET; SLOPED INSULATION W/ ROOF MEMBRANE. MATCH EXG. ROOF MEMBRANE. PATCH AND REPAIR W/ EXG. ROOF PER MANUFACTURER REQUIREMENTS. SLOPE AS INDICATED. RETURN MEMBRANE UP BACK-SIDE OF PARAPET WALL AND FLASH PER MANUFACTURER'S REQUIREMENTS.
28	GUARDRAIL
30	ROOF-TOP MECHANICAL EQUIPMENT - REVIEW MECHANICAL DRAWINGS.

ELEVATION MATERIAL LEGEND

	EIFS W DRAINAGE (STO-1) STO CORP. STOTHERM CI LOTUSAN SYSTEM - 80310-500 STO FINE SAND FINISH, 33137 GRAY DAWN
	FIBER CEMENT (FC-1) JAMES HARDIE HARDIE PANEL VERTICAL SIDING WITH TRIM BOARDS BATTEN STRIPS - DEEP OCEAN
	FIBER CEMENT (FC-2) NICHHA VINTAGE WOOD - CEDAR AWP 1818

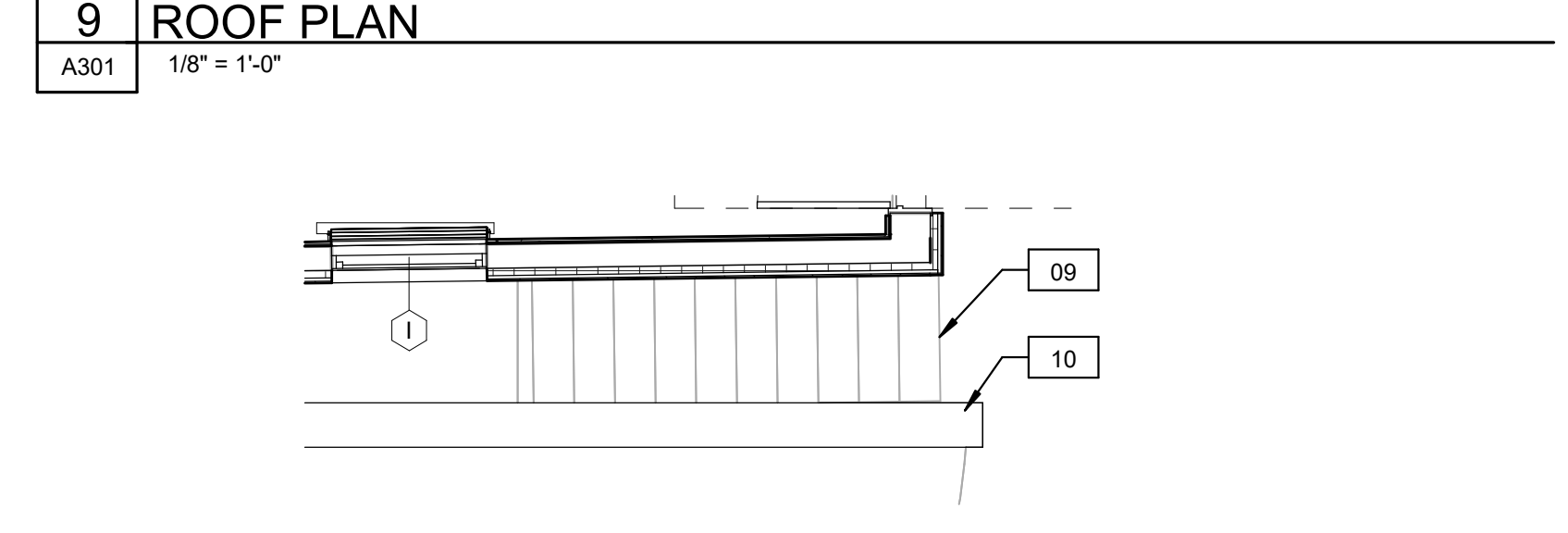
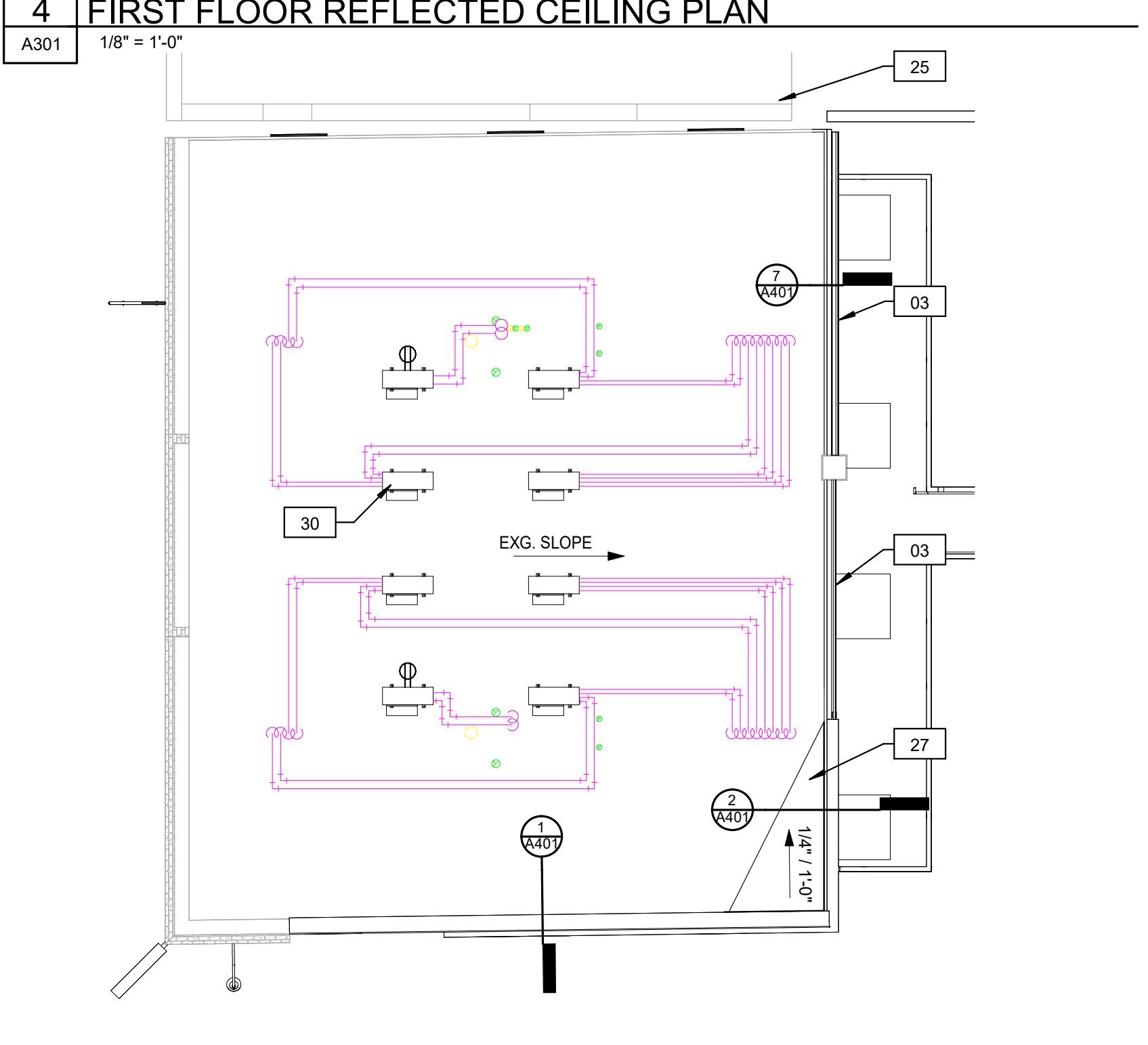
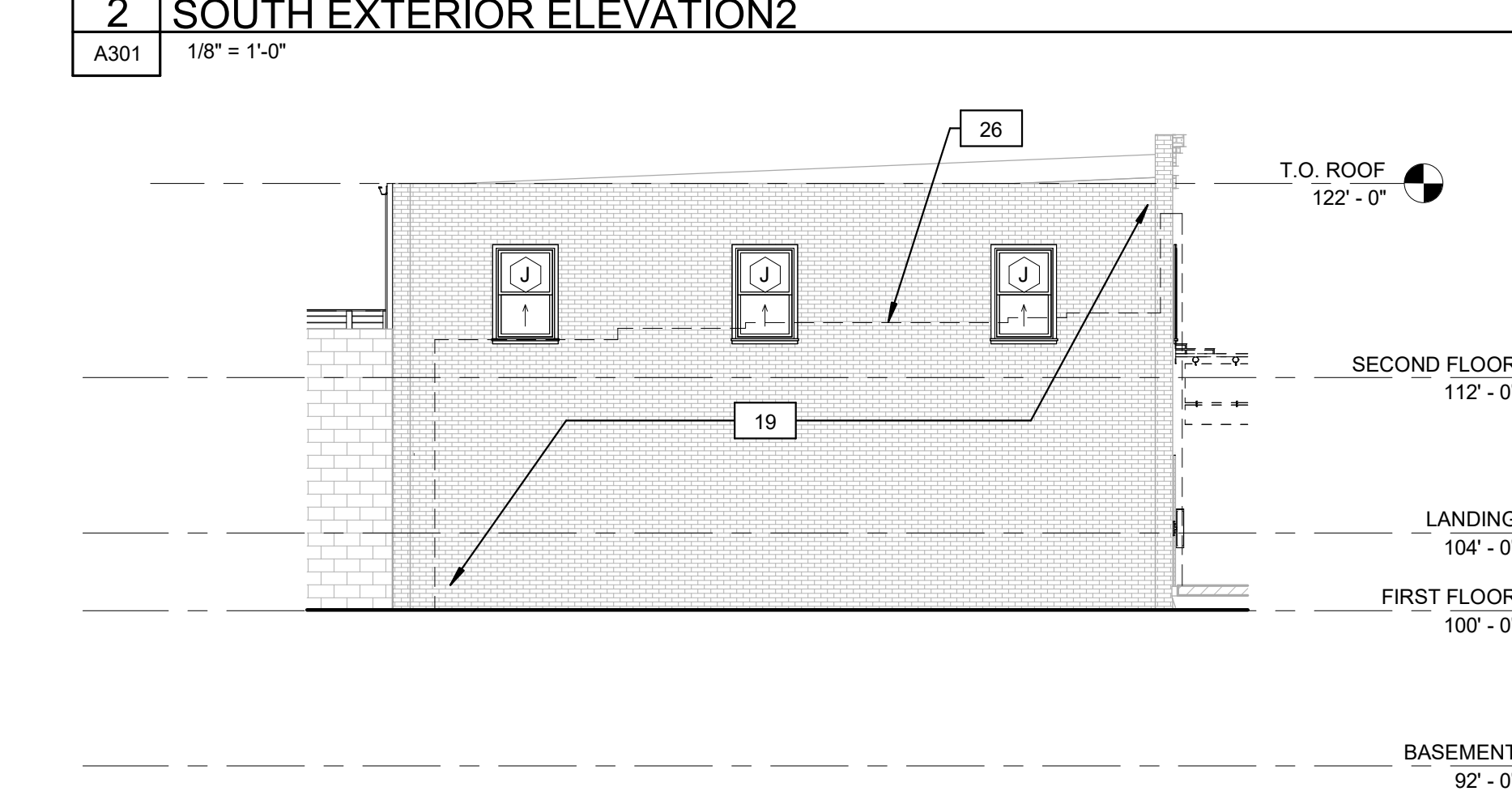
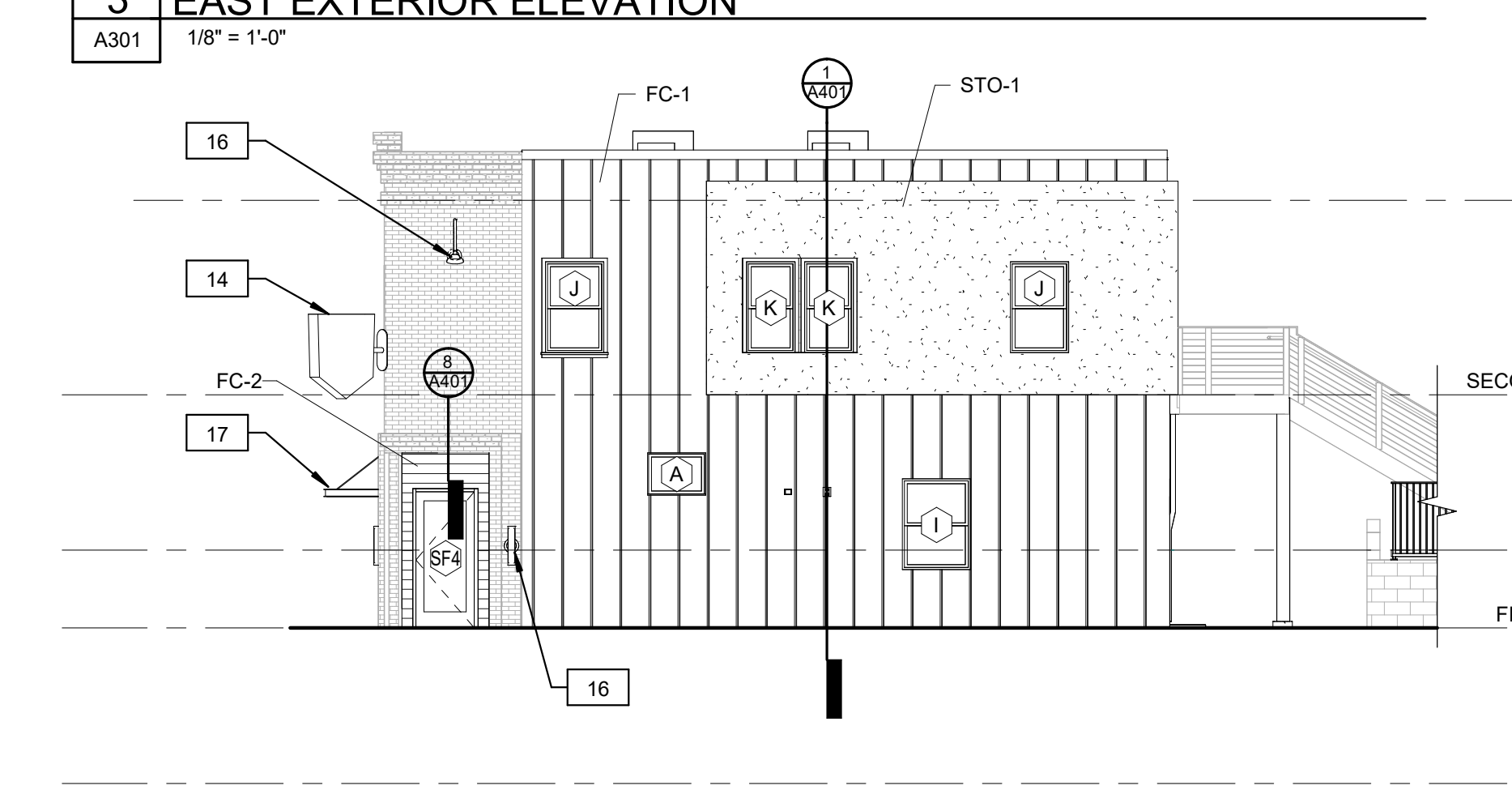
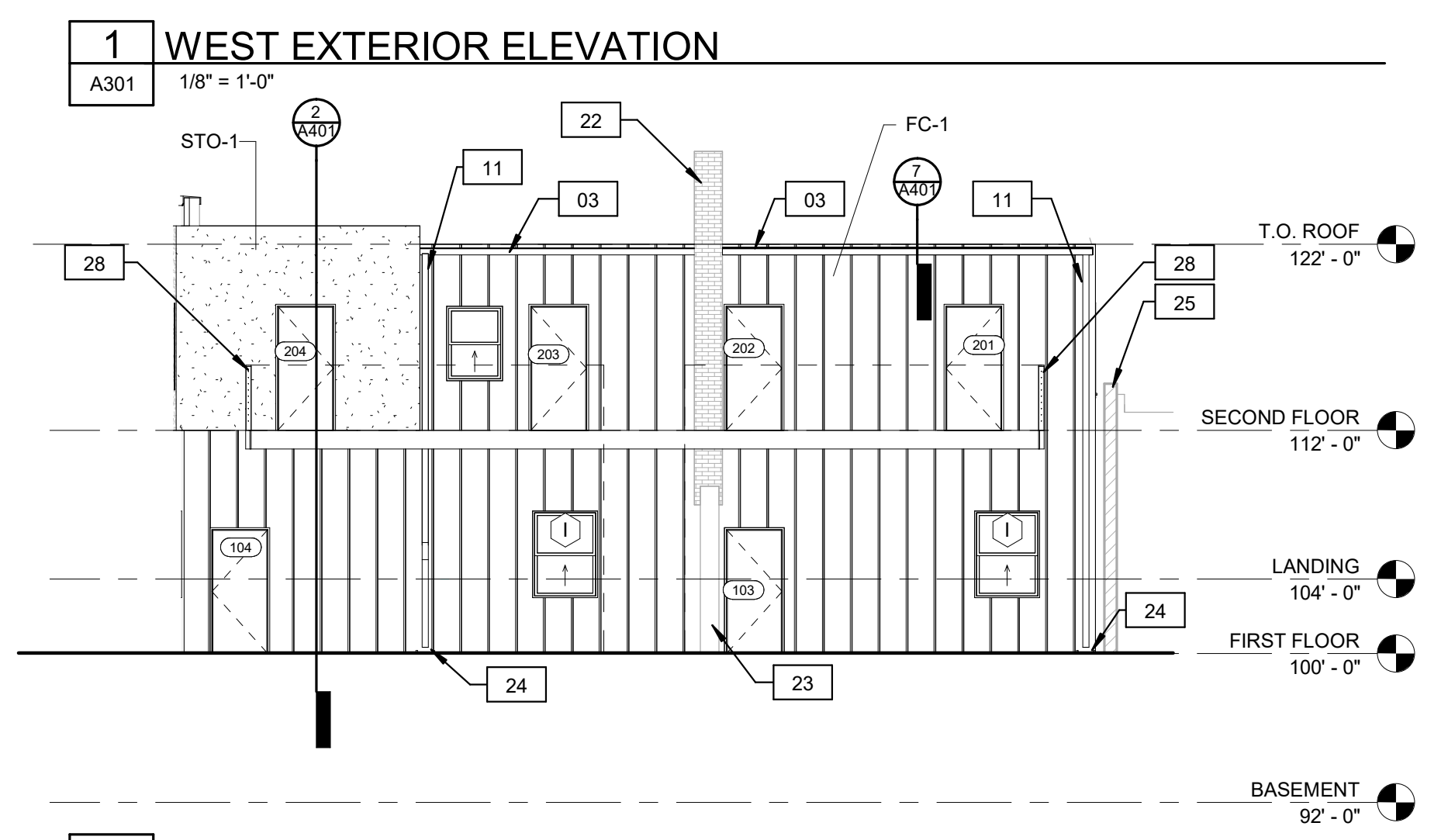
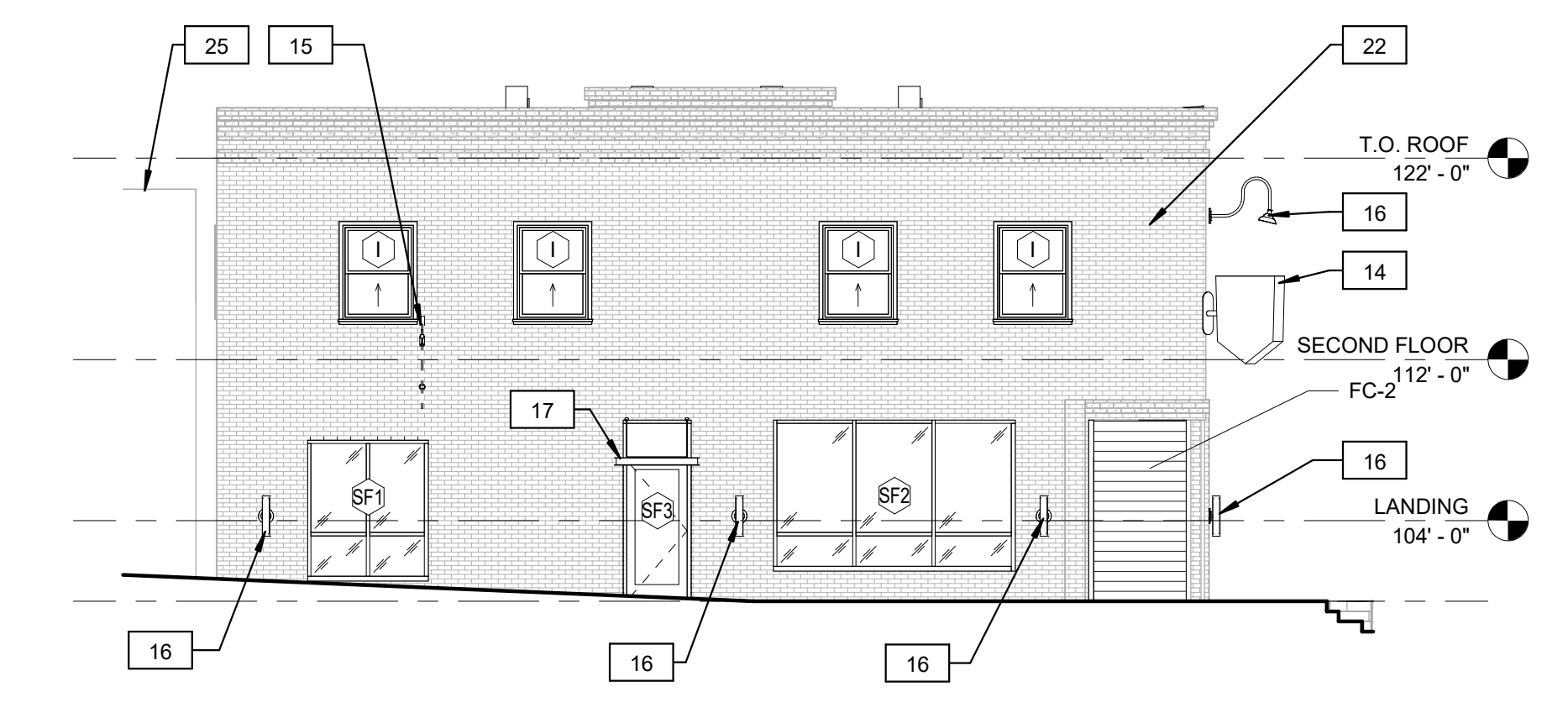
FRAME ELEVATIONS

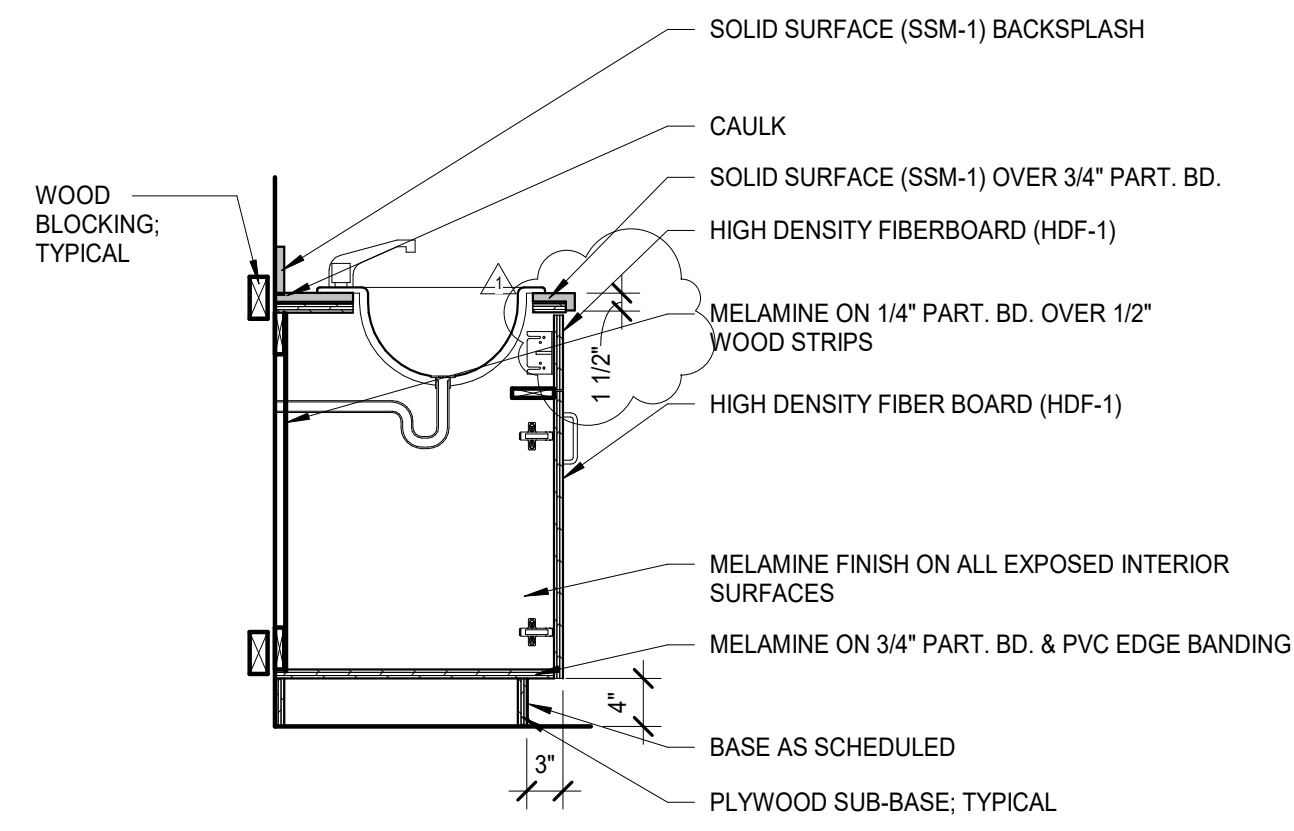
6'-0" (VIF)
3'-0" EQ 3'-0" EQ 3'-0" EQ
7'-0" (VIF)
2'-4" (VIF)
1'-0" AFF (VIF)
1'-6" AFF (VIF)
7'-11" (VIF)
7'-1" (VIF)
1'-6" AFF (VIF)

Revisions	
1	08/19/2024 Addendum 01

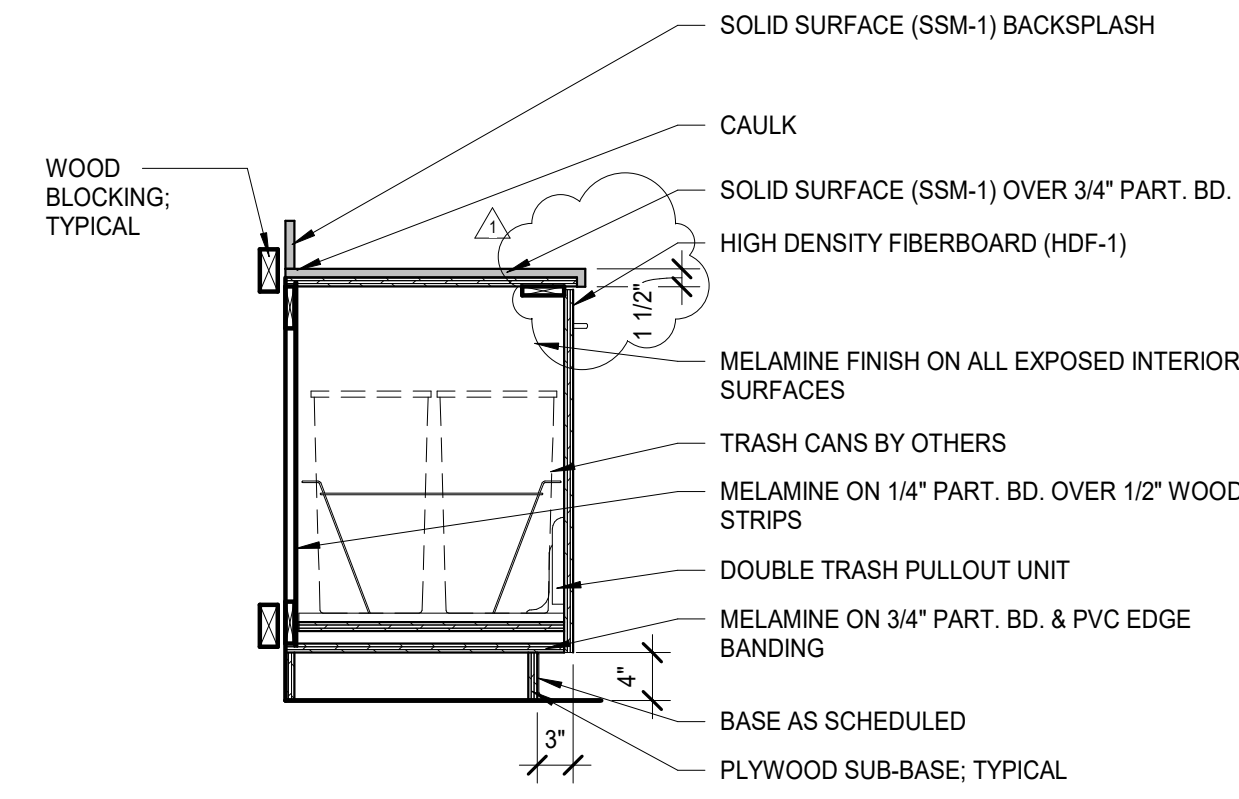
Project No. | 23042
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PLANS AND EXTERIOR ELEVATIONS

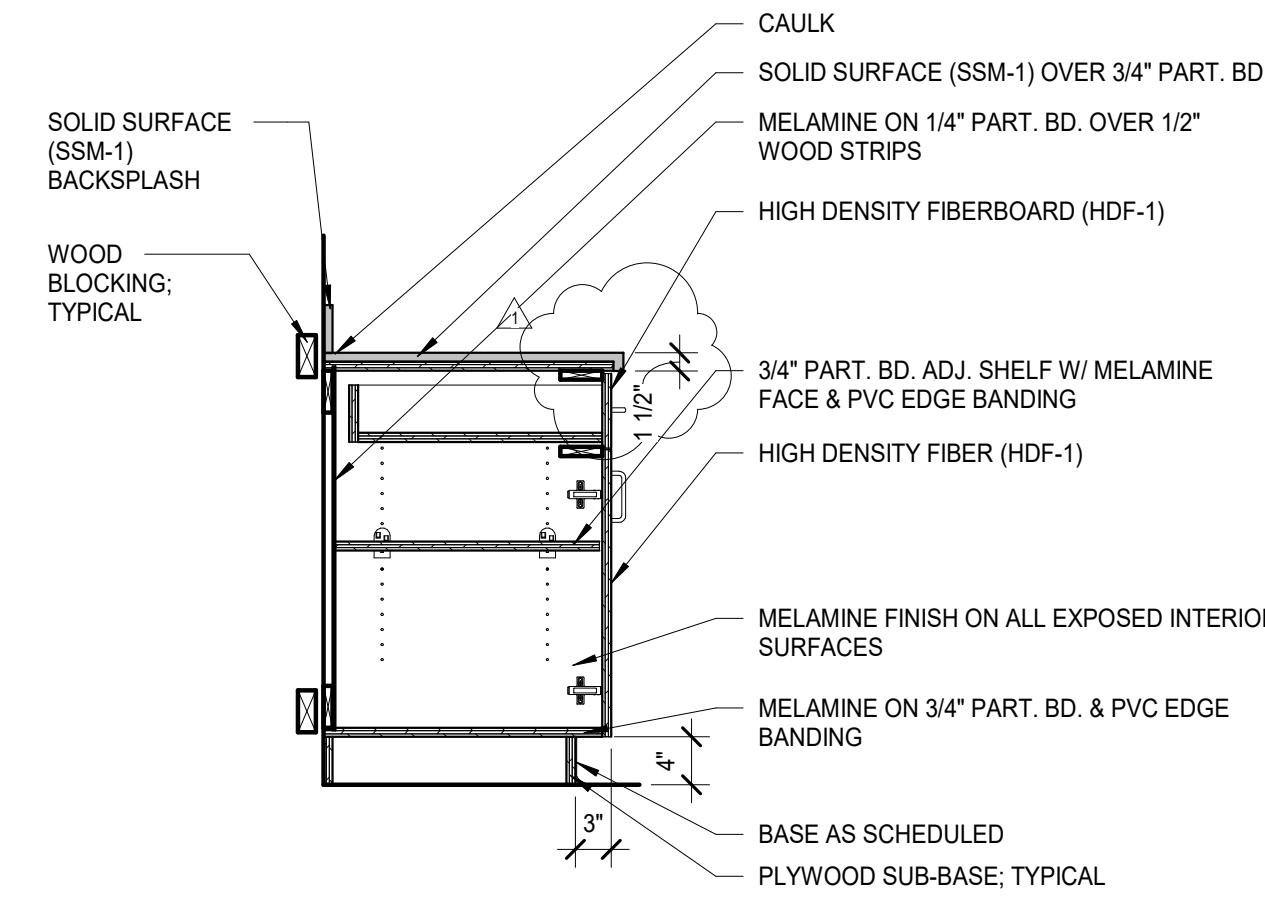




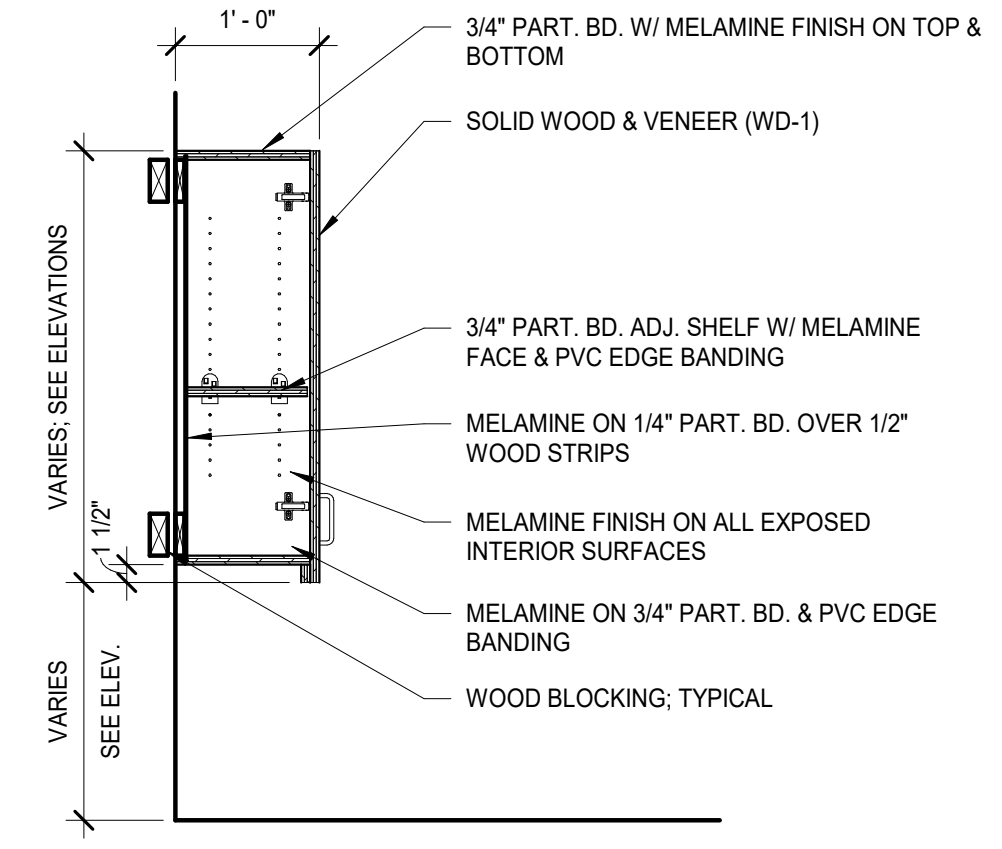
1 BASE UNIT BATHROOM VANITY
A501 3/4" = 1'-0"



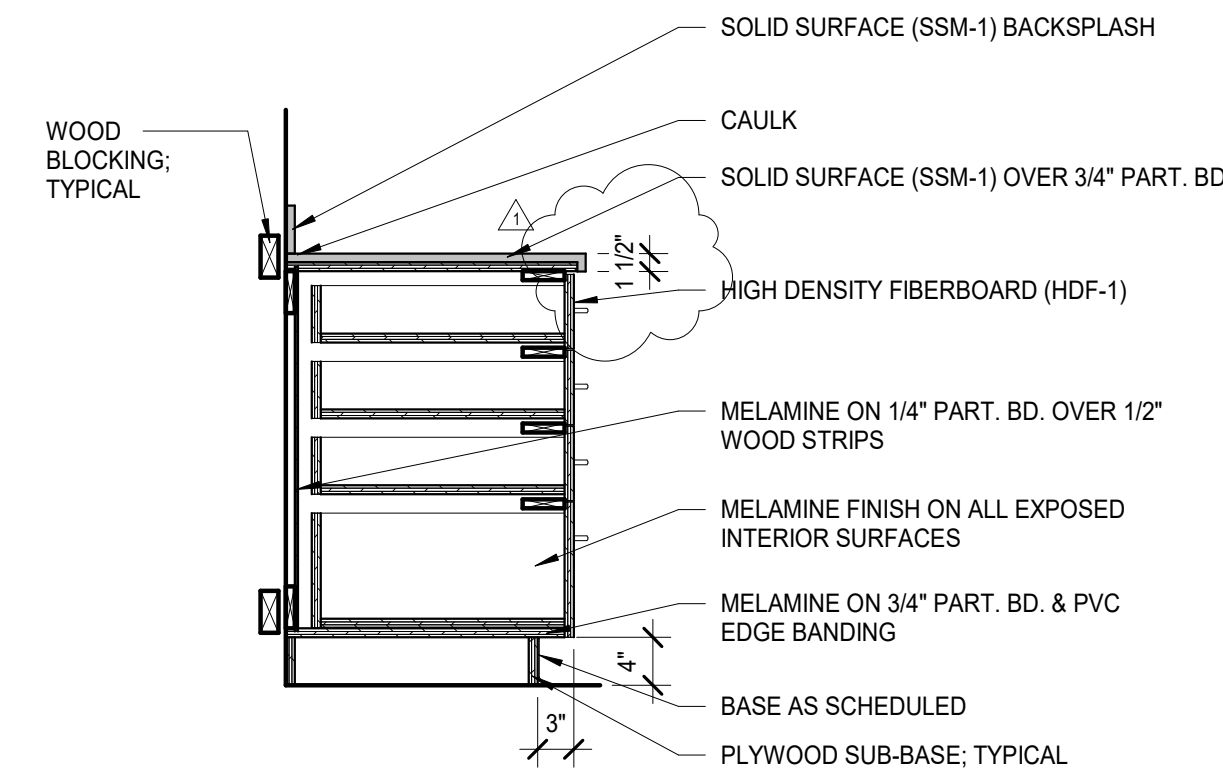
2 BASE UNIT TRASH ENCLOSURE
A501 3/4" = 1'-0"



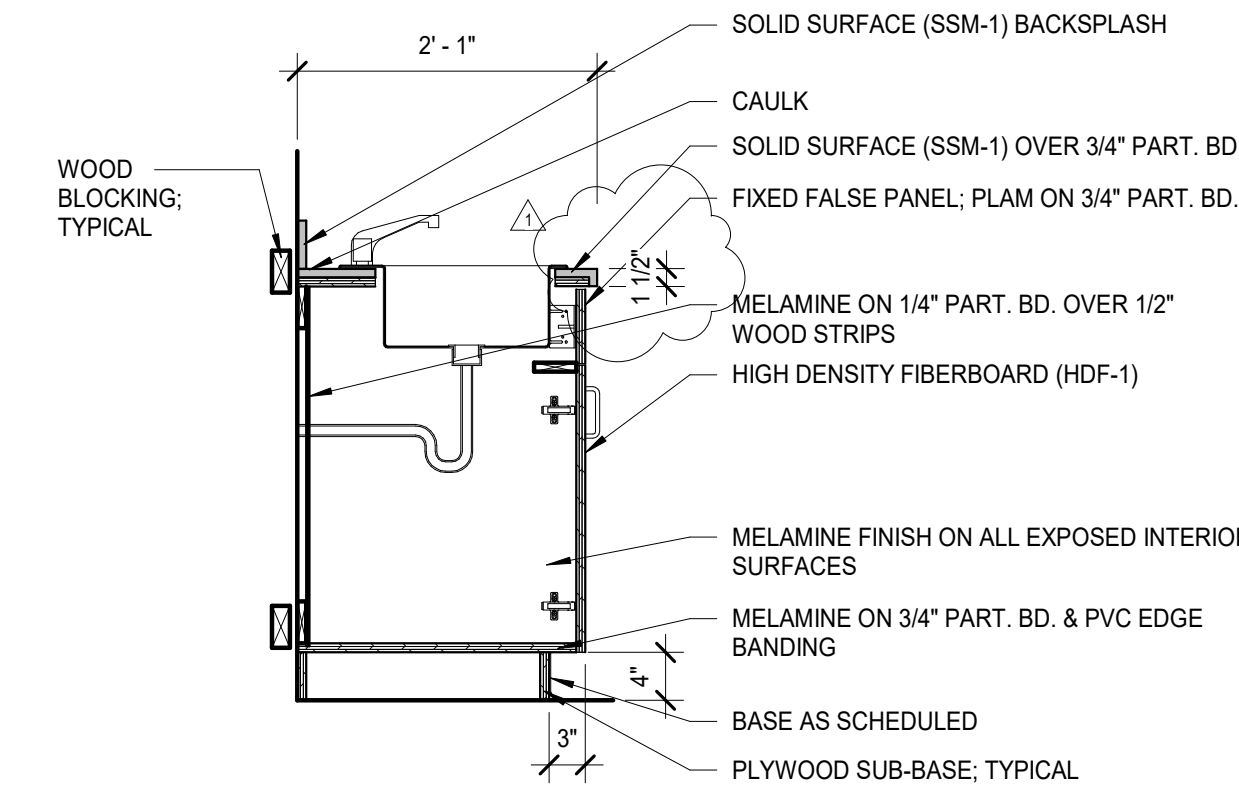
3 BASE UNIT DOOR/DRAWER COMBO
A501 3/4" = 1'-0"



4 TYPICAL WALL CABINET
A501 3/4" = 1'-0"



5 BASE UNIT DRAWER
A501 3/4" = 1'-0"



6 BASE UNIT SINK W/ FIXED PANEL
A501 3/4" = 1'-0"

RALSTON APARTMENT RENOVATIONS
5617 S 77TH ST
RALSTON, NE 68127

Revisions	
1	08/19/2024 Addendum 01

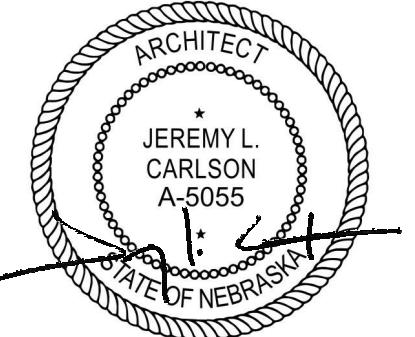
Project No. | 23042
Issue Date | 08.23.2024

CASEWORK
DETAILS



3624 Farnam Street
Omaha, Nebraska 68131
Tel | 402.342.5575

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RALSTON APARTMENT RENOVATIONS
5617 S 77TH ST
RALSTON, NE 68127

- 1. MK - McKinney
- 2. YA - ASSA ABLOY ACCENTRA
- 3. AD - Adams Rite
- 4. RO - Rockwood
- 5. RF - Rixson
- 6. PE - Pemko

Hardware Sets

Set: 1.0

Doors: 103, 104, 201, 202, 203, 204
Description: Unit Entry

2 Hinge, Spring	1502 4-1/2" x 4-1/2"	BSP	MK
1 Hinge, Full Mortise	TA2714 4-1/2" x 4-1/2"	BSP	MK
1 Passage Latch	UCR3 RL201	BSP	YA
1 Deadbolt w/ Thumbturn	D212 1210	BSP	YA
1 Gasketing	2891BSPV		PE
1 Sweep	315BSPN		PE
1 Threshold	171BSP		PE
1 Viewer	627	BLK	RO

Set: 2.0

Doors: 102
Description: Retail Space - OHS

3 Hinge, Full Mortise	TA2714 4-1/2" x 4-1/2"	BSP	MK
1 Mortise Deadlock	MS1850S	335	AD
1 Mortise Cylinder	2196	BSP	YA
1 Cylinder	4066-01	335	AD
1 Push Bar & Pull	BF15747	BSP	RO
1 Surf Overhead Stop	10-336	BSP	RF
1 Surface Closer	2701	BSP	YA
1 Rain Guard	346BSP		PE
1 Sweep	315BSPN		PE
1 Threshold	171BSP		PE

Notes: Gasketing by door mfg.

Set: 3.0

Doors: 101
Description: Retail Space

3 Hinge, Full Mortise	TA2714 4-1/2" x 4-1/2"	BSP	MK
1 Mortise Deadlock	MS1850S	335	AD
1 Mortise Cylinder	2196	BSP	YA
1 Cylinder	4066-01	335	AD
1 Push Bar & Pull	BF15747	BSP	RO
1 Surface Closer	2701	BSP	YA
1 Door Stop	441	BSP	RO
1 Rain Guard	346BSP		PE
1 Sweep	315BSPN		PE
1 Threshold	171BSP		PE

Notes: Gasketing by door mfg.

Revisions |

1	08/19/2024	Addendum 01
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Project No. | 23042

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DOOR
HARDWARE
SCHEDULE

Sheet No. | A801